

TOWN OF LAKEVILLE MEETING POSTING & AGENDA

Town Clerk's Time Stamp
received & posted:

LAKEVILLE TOWN CLERK
RCJD 2022 OCT 24 PM 12:05

48-hr notice effective
when time stamped

Notice of every meeting of a local public body must be filed and time-stamped with the Town Clerk's Office at least 48 hours prior to such meeting (excluding Saturdays, Sundays and legal holidays) and posted thereafter in accordance with the provisions of the Open Meeting Law, MGL 30A §18-22 (Ch. 28-2009). Such notice shall contain a listing of topics the Chair reasonably anticipates will be discussed at the meeting.

Name of Board or Committee:	Planning Board
Date & Time of Meeting:	Thursday, October 27, 2022 at 7:00 p.m.
Location of Meeting:	Lakeville Police Station 323 Bedford Street, Lakeville, MA 02347
Clerk/Board Member posting notice:	Cathy Murray

Cancelled/Postponed to: _____ (circle one)

Clerk/Board Member Cancelling/Postponing: _____

Revised A G E N D A

- Public Hearing #1 (7:05) – To amend the Zoning By-Law Section 7.0, Special Regulations, Sub-section 7.4 Special Permits, and add 7.4.4.1 Planning Board Associate Member with a description and specific details regarding the position to follow.
- Public Hearing #2 (7:10) – To amend the Zoning By-Law Section 2.0, Definitions, and add a definition for “Reusable Materials or Equipment”. It will also include how such materials may be stored.
- Public Hearing #3 (7:15) – To amend the Zoning By-Law Section 4.0, Use Regulations by adding to Sub-section 4.1.2 Business Uses, “Licensed Junk Dealers” which will be allowed in the Business Zone.
- Public Hearing #4 (7:20) – To amend the Zoning By-Law Section 7.0, Special Regulations, Sub-section 7.5, Mixed Use Development District Regulations by making various amendments to Sub-section 7.5.1, Title and Purpose, Sub-section 7.5.3, Permitted Principal Uses, Sub-section 7.5.5.2, Buffer Zones, Sub-section 7.5.5.3, Lot Coverage for Office and R & D Uses, Sub-section 7.5.5.7, Site Plan Approval, and Sub-section 7.5.5.8:
- Discuss and review of the Lakeville State Hospital Development Agreement.
- Presentation on the proposed Revitalization of the Lakeville State Hospital.
- Site Plan Review - 310 Kenneth W. Welch Drive, continued - TAC VEGA MA Owner, LLC - Site Plan Review with a request for a density bonus of 70%.
- Site Plan Review – 156 Rhode Island Rd., continued – T. Sikorski Realty, LLC – applicant
- Approve the September 8, 2022, Meeting Minutes
- Review correspondence
- Next meeting. . . November 10, 2022 at the Lakeville Police Station
- Any other business that may properly come before the Planning Board.
- Adjourn

Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the Planning Board arise after the posting of this agenda, they may be addressed at this meeting

Town of Lakeville

PLANNING BOARD
346 Bedford Street
Lakeville, MA 02347
774-776-4350



NOTICE OF PUBLIC HEARING LEGAL NOTICE

The LAKEVILLE PLANNING BOARD will hold Public Hearings pursuant to the Town of Lakeville Zoning Bylaw and M.G.L. Ch. 40A §5 on **THURSDAY, October 27, 2022 at 7:00 PM** at the Lakeville Police Station Meeting Room. The purpose of the Public Hearings is to provide the public with an opportunity to comment on proposed amendments to the Lakeville Zoning Bylaw as follows:

7:05 P.M. Public Hearing #1

The Article would **Amend** Section 7.4 to create the position of Associate Planning Board Member as authorized by G.L. c. 40A, §9 and **add**:

7.4.4.1 Planning Board Associate Member

There shall be one Associate Member, recommended by the Planning Board and appointed annually by the Select Board for a one-year term. The Chair may designate the associate member to sit on the Board for purposes of acting on special permit applications in the case of absence, inability to act, or conflict of interest on the part of any member of the Planning Board or in the event of a vacancy on the Board.

7:10 P.M. Public Hearing #2

This Article would Amend the Lakeville Zoning By-Law, by **Adding to Section 2.0**

Definitions:

Reusable Materials or Equipment: Used yard maintenance equipment, tools, car parts, construction materials, metal, furniture, (excluding farm equipment).

On residential property, outdoor storage of Reusable Materials or Equipment shall be kept in one area and shall not exceed 500 sq. ft. The storage area shall be screened from view from the street and abutting properties. No Reusable Materials or Equipment shall be stored in any front yard, whether screened or not.

7:15 P.M. Public Hearing #3

This Article would Amend the Lakeville Zoning By-Law, Section 4.0 Use Regulations by:

Adding to Section 4.1.2 Business Uses

	R	B	I	I-B
Licensed junk dealers (Pursuant to the Town of Lakeville General Bylaws)	N	Y	N	N

Licensed junk dealers will be allowed (Y) only in the Business Zoning District

7:20 P.M. Public Hearing #4

This Article would Amend the Lakeville Zoning By-Law by modifying the following sections

1. **Section 7.5.1 (Title and Purpose) to delete the words “each as in effect as of June 16, 2003”** in the second sentence of the last paragraph thereof.
2. **Amend Section 7.5.3 (Permitted Principal Uses) to add a new Subsection (6) as follows:** “6) Warehouse, Offices or Facilities for Distributing Merchandise.”
3. **Amend Section 7.5.5.2 (Buffer Zones) to delete the existing text thereof and replace it with the text as follows:** “Developments in the Mixed Use Development District shall be subject to Section 5.2.5 of this Bylaw notwithstanding underlying zoning districts. The provisions of Section 5.2.5 of this Bylaw shall not apply to zoning boundaries internal to the Mixed Use Development District.”
4. **Amend Section 7.5.5.3 (Lot Coverage for Office and R&D Uses) to replace the existing Section with the following:** “Lot Coverage– For all office; warehouse, offices or facilities distributing merchandise; and R&D uses located in the Mixed Use Development District, a maximum of 60% of the upland area of the lot may be covered by structures, parking and paved areas.
5. **Amend Section 7.5.5.7 (Site Plan Approval) to insert the following at the end thereof:** “, provided that the Planning Board may grant exemptions from the provisions in Section 6.7.7 as set forth and based on the factors in the introductory paragraph to such Section or based on the type of structure proposed in the Mixed Use Development District.”
6. **Amend Section 7.5.5.8 to add a new sentence at the end thereof as follows:** “Notice of the public hearing shall be provided as required by M.G.L. c. 40A s. 11.”

The proposed amendments to the Zoning Bylaw may be viewed at the Lakeville Town Clerk’s office in Town Hall, 346 Bedford Street, Lakeville, MA 02347 by appointment only. Amendments are also available for review on the Planning Department page of the Town website.

Planning Board Members
 Mark Knox, Chairman
 Peter Conroy, Vice-Chair
 Jack Lynch
 Michele MacEachern
 Nora Cline
 October 13, 2022 & October 20, 2022

To see if the Town will vote to amend the Town of Lakeville Zoning By-Law, Section 7.4 to create the position of Associate Planning Board Member as authorized by G.L. c. 40A, §9 and add:

7.4.4.1 Planning Board Associate Member

There shall be one Associate Member, recommended by the Planning Board and appointed annually by the Select Board for a one-year term. The Chair may designate the associate member to sit on the Board for purposes of acting on special permit applications in the case of absence, inability to act, or conflict of interest on the part of any member of the Planning Board or in the event of a vacancy on the Board.

#2

To see if the Town will vote to amend the Lakeville Zoning By-Law, by adding to Section 2.0, Definitions.

Reusable Materials or Equipment: Used yard maintenance equipment, tools, car parts, construction materials, metal, furniture, (excluding farm equipment).

On residential property, outdoor storage of Reusable Materials or Equipment shall be kept in one area and shall not exceed 500 sq. ft. The storage area shall be screened from view from the street and abutting properties. No Reusable Materials or Equipment shall be stored in any front yard, whether screened or not.

To see if the Town will vote to amend the Lakeville Zoning By-Law, Section 4.0, Subsection 4.1.2, Business Uses by adding:

Add to Section 4.1.2 Business Uses

	R	B	I	I-B
Licensed junk dealers (Pursuant to the Town of Lakeville General Bylaws)	N	Y	N	N

To see if the Town will vote to amend the Town’s Zoning By-law Section 7.5, Mixed Use Development District Regulations by modifying the following sections with deletions in ~~strikethrough~~ and additions in red

- 1. **Section 7.5.1 (Title and Purpose)** to delete the words “*each as in effect as of June 16, 2003*” in the second sentence of the last paragraph thereof.

The Mixed-Use Development District is an overlay district superimposed over the underlying district(s). The provisions of the underlying zoning district(s), and the provisions of this By-Law generally, ~~each as in effect as of June 16, 2003,~~

- 2. **Amend Section 7.5.3 (Permitted Principal Uses)** to add a new Subsection (6) as follows: **6) Warehouse, Offices or Facilities for Distributing Merchandise.**
- 3. **Amend Section 7.5.5.2 (Buffer Zones)** to delete the existing text thereof and replace it with the text as follows:

~~7.5.5.2 Buffer Zones - The provisions of Section 5.2.4 of this By Law shall not apply to zoning boundaries internal to the Mixed Use Development District.~~

“Developments in the Mixed-Use Development District shall be subject to Section 5.2.5 of this Bylaw notwithstanding underlying zoning districts. The provisions of Section 5.2.5 of this Bylaw shall not apply to zoning boundaries internal to the Mixed-Use Development District.”

- 4. **Amend Section 7.5.5.3 (Lot Coverage for Office and R&D Uses)** to replace the existing Section with the following:

~~Lot Coverage for Office and R&D Uses—For all office and R&D uses located outside of the Business District, a maximum of 60% of the upland area of the lot may be covered by structures, parking, and paved areas.~~

“Lot Coverage— For all office; warehouse, offices or facilities distributing merchandise; and R&D uses located in the Mixed-Use Development District, a maximum of 60% of the upland area of the lot may be covered by structures, parking and paved areas.

- 5. **Amend Section 7.5.5.7 (Site Plan Approval)** to insert the following at the end thereof:

Site Plan Approval – For the purposes of determining compliance with provisions of the Mixed Use Development District the applicant shall submit a site plan to the Planning Board of the Town of Lakeville, which site plan shall be prepared in accordance with the requirements set forth in Section 6.7 of this By-Law **provided that the Planning Board may grant exemptions from the provisions in Section 6.7.7 as set forth and based on the factors in the introductory paragraph to such Section or based on the type of structure proposed in the Mixed Use Development District**

- 6. **Amend Section 7.5.5.8** to add a new sentence at the end thereof as follows:

Site Plan review for a project within the Mixed Use Development District shall be conducted as a public hearing, and notice of the hearing shall be given to abutters. **Notice of the public hearing shall be provided as required by M.G.L. c. 40A s. 11.”**

MEMORANDUM OF AGREEMENT
43 Main Street

Lakeville Assessors Map: 60; Block 007; Lots 001, 001D, 001G, 001I, and 001J

October xx, 2022

This Agreement (“Agreement”) is entered into by and between Lakeville Owner LLC, successor in interest to Rhino Capital, LLC (in the Project (defined below), Woodlawn Hall at Old Parkland, 3953 Maple Avenue, Suite 300, Dallas Texas 75219 (hereinafter referred to “Rhino”), with a usual place of business at 139A Charles Street, Boston, MA 02114, and the Town of Lakeville, a municipal corporation organized under the laws of the Commonwealth of Massachusetts, with a usual place of business at 346 Bedford Street, Lakeville, MA 02347 (“Town”), acting by and through its duly elected Select Board, regarding the proposed warehouse development at 43 Main Street, Lakeville, MA, said property shown on Lakeville’s Assessor’s map 60; Block 007; Lots 001, 001D, 001G, 001I, and 001J consisting of 49.4 acres more or less (“Property”), with the Developer, Town, and Select Board collectively referred to herein as the “Parties.”

WHEREAS, Rhino represents and warrants that it owns the real property, consisting of approximately 49.4 acres of land at 43 Main Street and hereinafter referred to as the “Property”; and

WHEREAS, Rhino wishes to develop a warehouse and distribution center with associated uses and improvements with approximately 402,000 +/- square feet of gross floor area, along with parking and loading, landscaping, lighting and other improvements (the “Project”) on the Property; and

WHEREAS, as a means to mitigate the potential impacts to Lakeville of the development of the Project, and to make commitments designed to protect the public health, safety, or general welfare of the residents of Lakeville and others as a result of the Project, Rhino has voluntarily offered to make commitments to Lakeville in connection with the development of the Project and the Town has agreed to accept those commitments for the purposes set forth herein, all as more particularly described below; and

NOW THEREFORE, Rhino and Lakeville have agreed that for good and valuable consideration, and if other preconditions are met as described herein, and this Agreement is authorized to be executed by a majority vote of the Lakeville Select Board, Rhino and Lakeville will enter into and agree to be bound by the terms of this Agreement for the Project, subject to the terms and conditions herein contained.

I. TERMS

A. General Conditions

- A.1) Limitations on Project. The Project will not exceed 402,000 square feet of gross floor area with no loading areas located on the Rush Pond Road side of the building as generally depicted on the site plan attached as Exhibit A, with such site plan subject to refinement during the approval process.
- A.2) Rhino shall keep the Town updated on local permit and approval filings for the Project through periodic status updates.
- A.3) If the Building Department determines that the Project requires a Third-Party Review, any review period will begin when the consultant's fee has been fully funded by Rhino.
- A.4) The sidewalks, driveways, utilities, drainage systems, and all other infrastructure on the Property serving the Project shall remain private in perpetuity, and the Town of Lakeville shall not have, now or in the future, any legal responsibility for the operation or maintenance of the infrastructure, including but not limited to snow removal, drainage and landscape maintenance.
- A.5) Rhino will provide "will serve" letters from the local utilities to the Town of Lakeville when received. These letters will be provided prior to completion of demolition.
- A.6) High Hazard use groups (Group H) as identified in, and regulated by, the Massachusetts State Building Code (780 CMR) are prohibited from occupying this proposed facility or any land area associated with the Project.
- A.7) Rhino will provide a surety to guarantee the clean-up of solid waste and hazardous materials and buildings on the property in the amount of one million dollars being secured by cash in an interest bearing account with the interest going to Rhino. Any security and/or escrow agreement shall be approved by the Town. The surety value can be reduced upon the request of Rhino and approval by a majority of the Select Board.
- A.8) Copies of all additional permits received, including but not limited to:
 - a) Water Quality Certification from the Massachusetts Department of Environmental Protection.
 - b) Certificate on Single Environmental Impact Report from the Office of Energy and Environmental Affairs, will be provided to the Town.
- A.9) A Licensed Site Professional will oversee the removal of Solid Waste Disposal Area to ensure all materials are handled in accordance with appropriate state regulations. Copies of observation reports will be submitted to the Town of Lakeville.
- A.10) Copies of all grading or construction easements will be provided to the Town of Lakeville by Rhino.
- A.11) Actual costs incurred by the Town of Lakeville regarding the hiring of outside consultants to monitor progress during construction will be borne by Rhino.

B Construction

- B.1) Rhino will conduct a preconstruction meeting with appropriate Town staff including, but not limited to the Building Commissioner, Health Agent and a representative from the Conservation Commission and Planning Board prior to the start of demolition, and the start of building foundations.
- B.2) Demolition and construction (not including interior work) hours will be limited to 7:00 AM to 5:00 PM Monday through Friday and 8:00 AM to 4:00 PM on Saturdays. Vehicles may enter the Property up to ½ hour prior to construction start times and personnel may remain on the Property for up to one hour after construction end times for clean-up work only. This shall not apply to passenger vehicles and trips associated with interior work. No heavy equipment (except for a sweeper) shall be utilized before or after listed start and end times. The hours of construction may be modified by the Planning Board at a duly noticed public meeting at the recommendation of the Building Commissioner. No construction will be allowed on Sunday's or the following holidays; Christmas, New Year's Day, Memorial Day, July 4th, Labor Day, and Thanksgiving Day.
- B.3) During construction Rt.105 (Main St.) is to be swept clean of sediment and debris as often as needed.
- B.4) Dust control, including but not limited to the use of water trucks, will be used throughout the construction period to mitigate dust leaving the site.
- B.5) Landscape berms shall be constructed as early in the demolition and construction process as logistically possible. Rhino shall submit a construction schedule, including the construction of the landscape berms, prior to any demolition or construction activities on-site.
- B.6) Rhino and the Project contractor shall be responsible for clean up and disposal of any debris that may blow onto abutting properties, and perform daily checks for debris during construction.
- B.7) Any and all hazardous materials, including asbestos, shall be handled and removed consistent with all applicable state and federal guidelines. Copies of all documentation regarding the handling and removal of hazardous materials will be provided to the Town of Lakeville.
- B.8) Any police details required by the Project will be the responsibility of Rhino and contractor.
- B.9) All Asbestos Containing Materials shall be abated and/or removed from the existing buildings pursuant to 310 CMR 7.00 and/or any Order issued by the Massachusetts Department of Environmental Protection. The total duration of the timeframe for the demolition of buildings will occur as outlined on the proposed Demolition Schedule

submitted by Rhino Capitol dated March 25, 2021.¹ Rhino may apply for one demolition permit for the Project but may only conduct structural dismantling on up to three buildings at one time. Any modification of the total duration of the timeframe for the demolition of the buildings set forth in the Demolition Schedule may be approved by the Building Commissioner.

- B.10) Removal of the solid waste disposal area will be observed by a licensed site professional, professional engineer.
- B.11) Rhino shall adopt a Pest Management Plan acceptable to the Building Commissioner and Health Agent prior to demolition.

C. Noise

- C.1) All emergency generators should have a manufacturer approved exhaust muffler.
- C.2) All emergency generators should be scheduled for daytime-only testing.
- C.3) Refrigerator trucks (reefers) are not allowed for use on the Property.
- C.4) Rhino will endeavor to use low-noise back-up beepers for tenant owned trucks.
- C.5) All Acoustifence (or equivalent) to shield noise from abutters (only if required by the Planning Board Site Plan Review) will be maintained in good condition in perpetuity.
- C.6) Any tenant owned or leased loading equipment or machinery (including forklift, yard truck, mule, etc.) that mostly operate externally of the building, will include reduced decibel back up alarms if legally allowed.
- C.7) Intermittent or occasional noise from the operation of the Project shall not exceed 10 decibels over ambient levels as described in the noise memorandum dated February 24, 2021 at residential receptor(s).

D. Landscaping & Lighting

- D.1) All site landscaping will be maintained in good condition in perpetuity. The Town of Lakeville reserves the right to inspect all landscaping for five years to insure it is being maintained properly and provides screening as intended by the project's landscape architect.
- D.2) All landscape materials shall be installed prior to the issuance of an occupancy permit; a Temporary Certificate of Occupancy may be issued absent full installation.
- D.3) Upon selection of a tenant, a site lighting schedule will be provided by Rhino to the Town of Lakeville. Rhino will endeavor to reduce lighting, either by turning lights off or

¹ Pursuant to a recommendation by the Planning Board, the Town may accept subsequent reports.

include dimmers on specific lights as appropriate. The lighting schedule shall be dark sky compliant and endeavor to have the temperatures of lighting to be 3000K or lower and mounted on poles of a dark color.

- D.4) Snow will not be stored on the proposed planting areas.
- D.5) Rhino will provide a landscape maintenance plan to the Town of Lakeville that stipulates that Creeping red fescue will be mown only once annually in the spring.

E. Traffic

- E.1) Rhino shall fund the engineering design services for the proposed Bridge Street intersection improvements and traffic light.
- E.2) A traffic monitoring plan will be conducted as directed by MassDOT in five annual intervals with ongoing communication with the Town of Lakeville and the appropriate MassDOT units, including the Public/Private Development Unit (PPDU) and the District 5 office. The monitoring plan will begin six-months after initial occupancy of the warehouse. Post opening data collection will consist of Automatic Traffic Recorder (ATR) counts to be conducted for a continuous typical one week (7 day) period at each site driveway. Turning Movements Counts (TMCs) will be collected at select study area intersections to be determined by MassDOT and the Town of Lakeville during the morning and evening peak hour of the same weekday. Any additional requirements imposed by the MEPA Review shall be incorporated into the traffic monitoring plan.
- E.3) Rhino shall require that the tenant implement a Transportation Demand Management program on site to promote the use of alternative modes of transportation and to minimize the use of single occupancy vehicles as specified in the former project's Traffic Impact and Access Study dated October 2020.
- E.4) All site generated trucks not making local deliveries or pick-ups will be directed to and from the I-495 interchange at Route 105. Site truck traffic shall not use Route 79 or Route 105 to access Route 44 or use secondary roads, either Town-owned or private, throughout Lakeville.
- E.5) The project's average trip generation shall be equal to or less than the following thresholds: 682 total vehicle trips per day; 242 truck trips per day; or 77 vehicles trips per hour.
 - a) Following the site being in operation and recognizing that trip generation may slightly exceed the above noted thresholds occasionally, if the five-day (Monday through Friday) workweek average site generated traffic counted during the monitoring efforts exceed the above thresholds; or if at any time during the seven-day week, the thresholds are exceeded in excess of 10%, the average trip generation shall be considered exceeded. If the average trip generation is exceeded, Rhino shall produce

a new traffic impact study to prove no impacts result for review and approval by the Town.

- b) In the event that there is a permanent and substantial change in traffic delay or a change in Level of Service grade as a result of the increase in site generated trips identified during the supplemental study, Rhino shall be responsible for all off-site mitigation required to mitigate the increase in trips with physical improvements in coordination with the Town and MassDOT.

- E.6) All supplemental Town traffic reviews of the project, including reviews of the monitoring plan data, shall be funded by Rhino.

F. Operations

- F.1) There will be no loading docks on the Rush Pond Road side of the proposed buildings.
- F.2) Trucks will not idle on site for more than five minutes.
- F.3) Snow will be removed from the tops of trailers prior to them leaving the site.
- F.4) The entry booth will be operated to provide security for the tenant.
- F.5) The tenant shall endeavor to dim or shut off the lights on the South West side of building between 10pm - 6am.
- F.6) Delivery Vans consistent with a fulfillment center are not allowed.
- F.7) Use of drones for shipping and receiving is not allowed.
- F.8) Vehicle fueling stations will not be included on-site, with the exception of electric charging stations.

G. Post Construction

- G.1) Prior to the application for the Certificate of Occupancy, construction must be fully completed.
- G.2) Within 45 days of the issuance of a Certificate of Occupancy, Rhino shall submit the following:
 - a) One hard copy set of the as-built plans. The as-built plans shall contain the following at a minimum:
 - i. Location of all buildings, driveways, parking areas, utilities, stormwater basins, site lights, plantings, and all other visible – and subsurface – elements installed and constructed as part of the project.

- ii. All wetland resource area boundaries with associated buffer zones and regulatory setback areas.
 - iii. Site topography.
 - iv. Wetland resource line delineating the limit of work – “work” includes any filling, excavating and/or disturbance of soils or vegetation.
 - v. Wetland resource replication areas constructed as depicted on the site plans.
- b) An electronic copy of the as-built plans; and
 - c) Stormwater calculations based on the as-built plans demonstrating consistency with the approved stormwater calculations.
- G.3) In perpetuity: Rhino shall perform Annual Maintenance to the Project’s Stormwater management system consistent with the approved Operations and Maintenance Plan. Rhino shall submit annual Operations and Maintenance Reports to the Town of Lakeville.
- G.4) In the event that Project impacts increase due to the selection of a tenant, and the Project requires off-site mitigation, all off-site mitigation measures will be constructed prior to the issuance of a Certificate of Occupancy. As-built plans of those off-site improvements will be required to be submitted to the Town of Lakeville.
- G.5) Any requirement of the Planning Board Site Plan Review shall be incorporated into this Agreement.

II. CONDITIONS, TERMINATION, DEFAULT AND REMEDY

- A. **Conditions to Rhino’s Performance.** Excepting for any payments made by Rhino or other obligations satisfied prior to the date of termination (collectively, the “Surviving Obligations”), all of the obligations of Rhino as described in this Agreement are subject to and contingent upon Rhino obtaining all final local, state and federal permits and approvals necessary to construct the Project in a form reasonably acceptable to Rhino and all appeal periods applicable to such permits and approvals shall have expired without an appeal having been taken, or if appeal has been taken, after successful resolution thereof and all further appeal periods having expired (“Final Approvals”), and with satisfaction of this condition and receipt of all Final Approvals to be deemed complete upon and evidenced by issuance of a building permit to Rhino beyond appeal for the warehouse building(s) in the Project.
- B. **No Guarantee of Permit Issuance; No Preferential Treatment.** Notwithstanding the foregoing paragraph, or anything else in this Agreement, Rhino acknowledges that certain discretionary permits, licenses and approvals will be required to complete the Project and it agrees that nothing herein shall be deemed to waive Rhino’s obligations to apply for, obtain and comply with all such permits, approvals and conditions governing the Project, and the Town does not hereby promise or guarantee that any such permits, licenses or approvals will be granted. Rhino further acknowledges and agrees that, to the extent that it is required to obtain such licenses, permits and approvals from Town

officials, boards and/or committees, Rhino shall receive no preferential treatment as a result of this Agreement.

C. **No Guarantee of Approval of Bylaw Amendments.** Rhino acknowledges that certain amendments to the Town's zoning and general bylaws may be required for it to complete the Project as planned, and it agrees that it shall receive no preferential treatment as a result of this Agreement and that the determination and extent of any such zoning and general bylaw amendments is within the sole authority of the Lakeville Town Meeting and that no such amendments are guaranteed or promised.

D. **Termination.** Either party shall have the right to terminate this Agreement following the Default and failure to cure of the other party within the period as set forth in Section E. In addition, Rhino shall have the right to terminate this Agreement upon written notice to Lakeville in the event that: (i) Rhino determines in its reasonable discretion that it is unlikely that all necessary Final Approvals can be obtained for the Project and Rhino will no longer seek Final Approvals for or develop the Project, or (ii) Rhino is denied Final Approvals for the Project. Following termination of this Agreement, all obligations of the parties hereto shall cease, and this Agreement shall be void and without recourse to the parties hereto excepting for any Surviving Obligations, as defined under Section II.A. above, then incurred.

E. **Default.**

1. **By Rhino.** If Rhino shall default in the performance of any term, covenant or condition of this Agreement, which default shall continue for more than thirty (30) days after written notice to Rhino (or if such default shall be reasonably expected to take more than thirty (30) days to cure, said longer period of time), Lakeville shall have the right to (i) terminate this Agreement; (ii) withhold the issuance of any permits or approvals, including Final Approvals issued by Lakeville; or (iii) exercise any other remedy available at law or in equity, including commencing an action for specific performance. Without limiting the foregoing, if Rhino shall fail to pay any sum owed to Lakeville within sixty (60) days after Rhino receives an invoice from Lakeville, such sum shall bear interest at the of 12% per annum until paid in full. Lakeville agrees that if, within ten (10) days after Rhino receipt of a notice of a claim of default, Rhino shall give notice to Lakeville that Rhino contests the same, then Lakeville shall not have the right to terminate this Agreement or assess interest until such claim shall have been finally adjudicated in such contest. Rhino agrees to diligently prosecute any such contest. If such matter is determined adversely to Rhino, then Rhino shall have thirty (30) days (or such longer period of time as shall be reasonable under the circumstances) to effect such cure.

2. **By Lakeville.** If Lakeville shall default in the performance of any term, covenant or condition of this Agreement, which default shall continue for more than thirty (30)

days after written notice to Lakeville (or if such default shall be reasonably expected to take more than thirty (30) days to cure, said longer period of time), Rhino shall have the right to (i) terminate this Agreement; or (ii) exercise any other remedy available at law or in equity, including commencing an action for specific performance.

- F. **Notice.** Notice shall be sent, in the case of Lakeville, to Town Administrator's Office, Town Hall, 346 Bedford Street, Lakeville, MA 02347, and, in the case of Rhino, to Lakeville Owner LLC, Woodlawn Hall at Old Parkland, 3953 Maple Avenue, Suite 300, Dallas Texas 75219. Any notice shall be in writing and shall be given by mailing the same by certified mail or registered mail, return receipt requested, postage prepaid, or by Federal Express, U.S. Post Office Express Mail, or similar overnight courier which delivers only upon signed receipt of the addressee. The time of the giving of any notice shall be the time of receipt thereof by the addressee or any agent of the addressee, except that in the event the addressee or such agent of the addressee shall refuse to receive any notice, receipt shall be deemed to be the time of such refusal or the time of such delivery, as the case may be. Either party may change its notice address hereunder by sending notice in the manner set forth above to the other party hereto setting forth such change.
- G. **Force Majeure.** Notwithstanding anything to the contrary herein, a party will not be deemed to be in breach, default or otherwise in violation of any term of this Agreement to the extent such party's action, inaction or omission is the result of a Force Majeure Event (as defined below). Rhino and the Town agree to use commercially reasonable efforts to promptly resolve any Force Majeure Event that adversely and materially impacts their performance under this Agreement. A force majeure event pauses a party's performance obligation for the duration of the event but does not excuse it. "Force Majeure Event" means any event or occurrence that is not within the control of such party or its Affiliates and prevents a party from performing its obligations under this Agreement, including without limitation, a pandemic, any act of God; act of a public enemy; war; riot; sabotage; blockage; embargo; failure or inability to secure materials, supplies or labor through ordinary sources by reason of shortages or priority; labor strike, lockout or other labor or industrial disturbance (whether or not on the part of agents or employees of either party); civil disturbance; terrorist act; power outage; fire, flood, windstorm, hurricane, earthquake or other casualty; any law, order, regulation or other action of any governing authority; any action, inaction, order, ruling moratorium, regulation, statute, condition or other decision of any governmental agency having jurisdiction over the party hereto, over the project or over a party's operations. For purposes of this Agreement 'Affiliate' shall mean any entity that directly or indirectly controls, is controlled by, or is under common control with Rhino.

III. MISCELLANEOUS


- A. **Governing Requirements.** To the extent that any of the terms and conditions described in the Agreement are duplicative of, or are in conflict with, the terms and conditions to be imposed as a part of any Town or State or Federal permit or approval, the terms

established within the permits and approvals shall control so as not to duplicate the obligations and costs related thereto as set forth above.

- B. **Ratification; Amendment.** This Agreement shall not take effect or be effective unless ratified by a majority vote of the Select Board of the Town of Lakeville. Upon such ratifying vote, this Agreement shall thereafter be administered and enforced on behalf of Lakeville by its Select Board. This Agreement may not be varied, amended or modified in its terms by an oral agreement or representation or otherwise, and none of the terms hereof may be waived amended or modified, except by an instrument in writing executed by all of the parties.
- C. **Effective Date of Agreement.** This Agreement shall be effective as of the date it shall be fully executed by both Rhino and Lakeville.
- D. **Cooperation.** The parties to this Agreement agree to cooperate in good faith to implement the requirements in this Agreement.
- E. **Assignment.** Rhino maintains the right to assign the Agreement to an affiliate or other special purpose entity which Rhino controls, provided that prior to such assignment Rhino shall provide the Town with written notice of its intent to assign to such an affiliate or other special purpose entity and evidence of Rhino's control thereof. Rhino shall have the right to assign this Agreement to any other party with the Town's consent, which consent shall not be unreasonably withheld or delayed, provided that the assignee's creditworthiness and financial condition is reasonably equivalent to Rhino, and any assignee of Rhino agrees in writing that it shall accept and be bound by all of the rights, obligations and powers of Rhino hereunder.
- F. **Covenants; Binding on Successors.** The terms of this Agreement shall be binding on the parties, and their respective successors, heirs and assigns, and any assignee of Rhino.
- G. **Severability.** In the event that any provision of this Agreement shall be determined to be invalid or illegal by a court of competent jurisdiction, such provision shall not affect the enforceability of the remainder of this Agreement, and shall be deemed to be omitted from this Agreement, and the remainder of this Agreement shall continue in full force and effect.
- H. **Authority to Sign.** Each undersigned representative hereby certifies that he or she is fully authorized to enter into the terms and conditions of this Agreement and to legally bind the party on whose behalf such representative is signing.
- I. **Governing Law.** This Agreement shall be deemed to have been executed within the Commonwealth of Massachusetts, and the rights and obligations of the parties hereto shall be construed and enforced in accordance with, and governed by, the laws of the Commonwealth of Massachusetts and any dispute concerning this Agreement shall be adjudicated in the courts of the Commonwealth of Massachusetts and the parties hereto agree to be subject to the jurisdiction of said courts.

- J. **Entire Agreement.** Unless otherwise specified herein, this Agreement is the entire agreement among the parties with respect to the subject matter hereof and supersedes all prior and contemporaneous oral and written agreements and discussions.
- K. **Counterparts.** This Agreement may be executed in counterparts, and when each party has signed and delivered at least one such counterpart, each counterpart shall be deemed an original, and, when taken together with other signed counterparts, shall constitute one agreement, which shall be binding upon and effective as to all parties.
- L. **Notice of Agreement.** This Agreement shall bind and inure to the benefit of and be enforceable by the parties and their respective successors and assigns as provided herein. A notice thereof in the form attached hereto as Exhibit B shall be executed by Rhino and Lakeville and recorded with the Plymouth County Registry of Deeds upon Rhino receiving Site plan Approval from the Planning Board and the expiration of all appeal periods. In the event of termination of this Agreement, or if the obligations herein are fulfilled, then both Rhino and Lakeville agree to cooperate to execute and record a notice of termination of agreement in a form mutually acceptable to the parties.

[Signatures Follow]



LAKEVILLE STATE HOSPITAL



LAKEVILLE STATE HOSPITAL BRIEF HISTORY



LAKEVILLE STATE HOSPITAL CURRENT PERMITTING HISTORY



- Permitted through the Development Opportunities District (DOD)
 - 2020 Approved by the Planning Board
 - 2020 Appeal filed by residents
 - 2022 Land Court determined that the Property was not properly within the DOD
 - 2022 Decision of Land Court appealed



LAKEVILLE STATE HOSPITAL PUBLIC BENEFITS

DEMOLITION OF DERELICT BUILDINGS

REMOVAL OF ENVIRONMENTAL CONTAMINATION

PARTICIPATION IN BRIDGE STREET INTERSECTION IMPROVEMENTS

TAX REVENUE (ESTIMATED \$500,000/YEAR)





Lakeville Hospital Revitalization

October 19th Informational Meeting



Who Is Rhino Capital?

- Boston based real estate development firm who owns and operates properties throughout Massachusetts and Southern New Hampshire
- Our portfolio focuses on land development, value add opportunities, and buy/hold assets
- While the majority of our work has been in the industrial and flex space, we also do lab and multifamily work
- Some examples include:
 - 412,500 sf warehouse in East Bridgewater
 - 100,000 sf precision manufacturing facility in Taunton
 - 87-unit mixed use apartment community in Londonderry NH



Agenda

1. Who is Rhino Capital
2. Why Are We Here
3. Three Themes
4. Addressing Three Themes
5. Town Meeting vs. Proposed Plan
6. Mixed-Use Development District
7. FAQ's
8. Closing Comments
9. Learn More

Why Are We Here

- Rhino was approved in March of 2021 to construct a 402,500 square foot warehouse on the Lakeville Hospital site at which time we purchased the site with our equity partner Rockpoint Group. Together we own the property outright.
- Two appeals were filed thereafter against the Town. The appeals named named Rhino Capital given we were the project applicant.
- Both appeals argued the validity of the Development Opportunities District ("DOD") location, not the merits of the warehouse project.
- Given the two appeals were nearly identical, the court ruled to combine them to be heard at the same time by the same judge.
- The judge ultimately ruled in the plaintiffs favor that the DOD needed a Town Meeting to be clearly located on the zoning map.
- Rhino Capital appealed the decision, and the appeal process is currently under way.

Agenda

1. Who is Rhino Capital
2. **Why Are We Here**
3. Three Themes
4. Addressing Three Themes
5. Town Meeting vs. Proposed Plan
6. Mixed-Use Development District
7. FAQ's
8. Closing Comments
9. Learn More

Three Themes from the Appeal

Theme One:

- There was a feeling that the DOD was invalid because of the lack of clarity surrounding how/where it could be applied, this was the basis of the appeal, not the warehouse itself.

Theme Two:

- Lakeville residents should get to vote on what happens on the Hospital site.

Theme Three:

- Rush Pond Rd residents are concerned about the loading docks on the Southwest side of the proposed building. This was evident more from one-on-one conversations and planning board hearings than the appeal itself.

Agenda

1. Who is Rhino Capital
2. Why Are We Here
3. **Three Themes**
4. Addressing Three Themes
5. Town Meeting vs.
Proposed Plan
6. Mixed-Use Development
District
7. FAQ's
8. Closing Comments
9. Learn More

Addressing Themes from the Appeal

Theme One (DOD Invalid):

- Article 14 on the November 14th Warrant Article to be voted at Town Meeting proposes to remove the DOD from the Zoning By-Laws.

Theme Two (Residents Should Get To Vote):

- The Town has proposed Article 15 on the November 14th Warrant Article to Town Meeting which amends the existing Mixed-Use District by-laws. Details of Article 15 will be discussed later in the presentation.

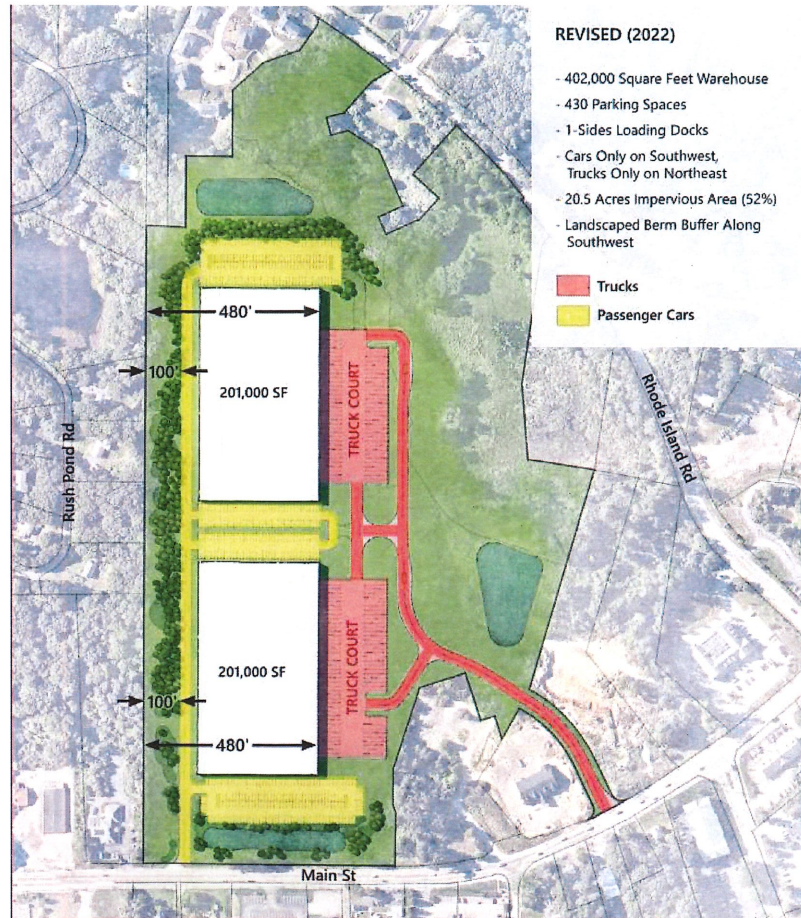
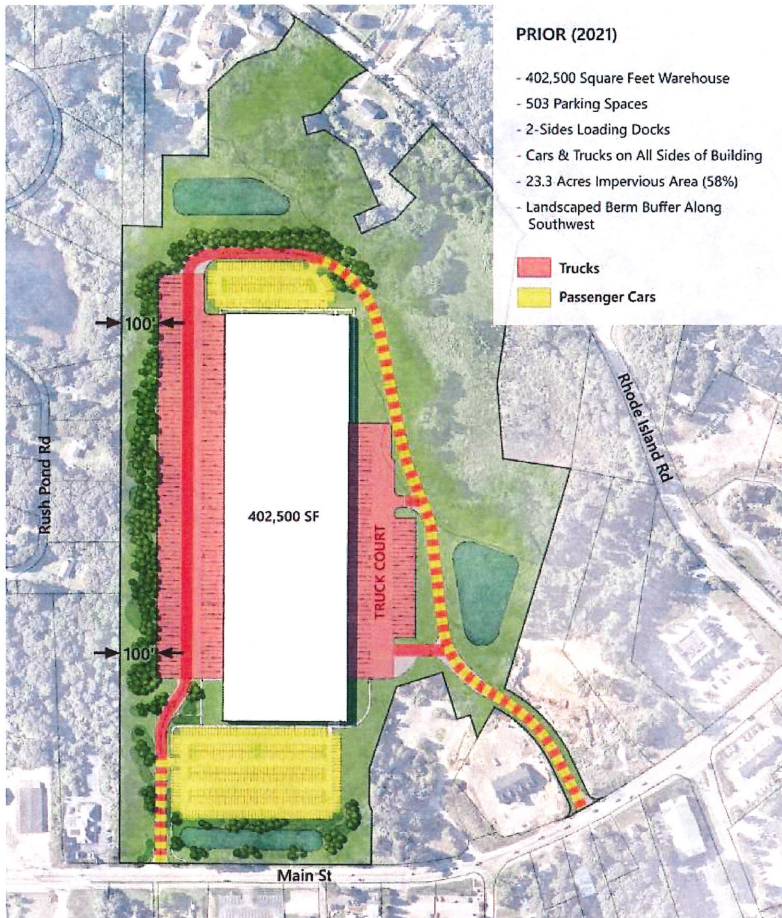
Theme Three (Loading Dock Location):

- A new proposal has been developed which is shown on the next slide. All the changes are focused at addressing abutter concerns.

Agenda

1. Who is Rhino Capital
2. Why Are We Here
3. Three Themes
4. **Addressing Three Themes**
5. Town Meeting vs. Proposed Plan
6. Mixed-Use Development District
7. FAQ's
8. Closing Comments
9. Learn More

Addressing Themes from the Appeal



Agenda

1. Who is Rhino Capital
2. Why Are We Here
3. Three Themes
4. Addressing Three Themes
5. Town Meeting vs. Proposed Plan
6. Mixed-Use Development District
7. FAQ's
8. Closing Comments
9. Learn More



Existing Conditions

Agenda

1. Who is Rhino Capital
2. Why Are We Here
3. Three Themes
4. **Addressing Three Themes**
5. Town Meeting vs. Proposed Plan
6. Mixed-Use Development District
7. FAQ's
8. Closing Comments
9. Learn More

Proposed Conditions 2021 Design



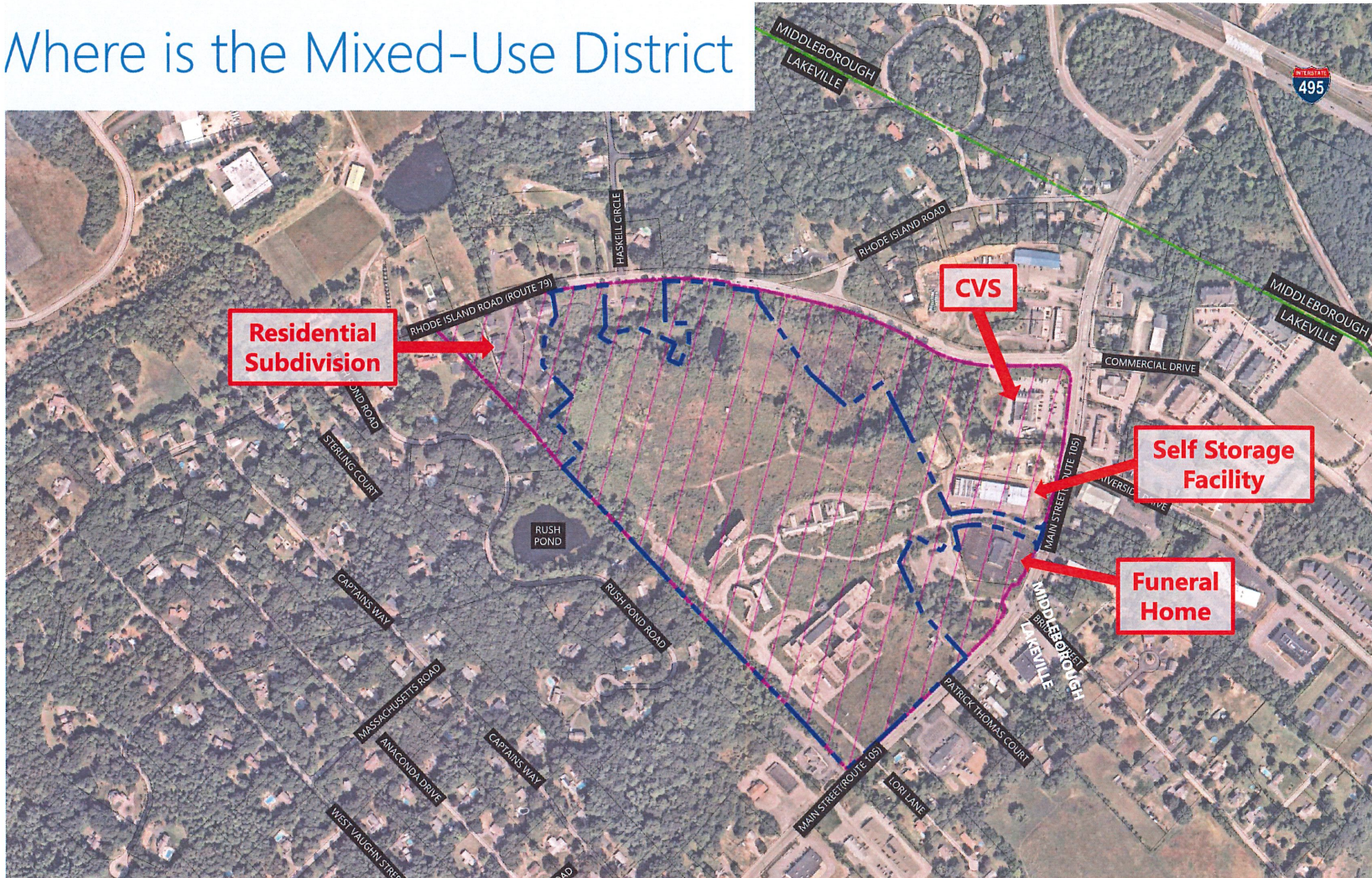
What is the correlation between the Town Meeting vote and the proposed plan?

- **Article 15 contains six provisions**
 - Three items are focused on allowing warehouse as a primary use in the mixed-use district.
 - Three items are for further resident protections (noticing, buffer zone, clerical edit to tie it to the latest bylaws)
- The passing of this article will allow Rhino Capital to return in front of the planning board to go through a typical site plan approval process, similar to the 2021 approval process.
- We plan to submit a detailed version of the plan that was previously shown if successful.

Agenda

1. Who is Rhino Capital
2. Why Are We Here
3. Three Themes
4. Addressing Three Themes
5. **Town Meeting vs. Proposed Plan**
6. Mixed-Use Development District
7. FAQ's
8. Closing Comments
9. Learn More

Where is the Mixed-Use District



Agenda

1. Who is Rhino Capital
2. Why Are We Here
3. Three Themes
4. Addressing Three Themes
5. Town Meeting vs. Proposed Plan
6. **Mixed-Use Development District**
7. FAQ's
8. Closing Comments
9. Learn More

Frequently Asked Questions

1. Why are you proposing warehouse and not mixed-use?

- Mixed-Use is expected to generate between 7,500 and 10,250 vehicle trips per day
 - Proposed warehouse facility expected to generate 682 vehicle trips per day
 - Included in the 682 trips are 122 truck trips per day
- Mixed-Use creates a large draw on Town utilities and generates large amounts of waste- water
- Mixed-Use is not economically viable, and feedback from grocers has been discouraging
- The high barrier to entry of \$10 million, which includes remediation of the buildings and the removal of the 1.12 acre landfill

2. What is the tax revenue and job creation from a warehouse project?

- An estimated \$500,000 in net new tax revenue
- An estimated 402 new jobs created in Lakeville
- Drive commercial activity, and remove a blighted eyesore

Agenda

1. Who is Rhino Capital
2. Why Are We Here
3. Three Themes
4. Addressing Three Themes
5. Town Meeting vs. Proposed Plan
6. Mixed-Use Development District
7. FAQ's
8. Closing Comments
9. Learn More

Frequently Asked Questions

3. Does this mean warehouse can go anywhere in Town?

- No, this change only applies to the Mixed-Use district, which exists only in the area previously shown

4. Who is the tenant and why is it speculative?

- Tenants in the warehouse market look for clear schedules and 12 month or less timelines for occupancy
- To attract a tenant, construction needs to be under way
- Our other projects have had interest from: electrical suppliers, hydroponics, paper goods, government contractors
- Smaller building sizes allow for a more diverse tenant market and can be further subdivided

Agenda

1. Who is Rhino Capital
2. Why Are We Here
3. Three Themes
4. Addressing Three Themes
5. Town Meeting vs. Proposed Plan
6. Mixed-Use Development District
7. FAQ's
8. Closing Comments
9. Learn More

Closing Comments

The site cannot continue to exist in its current state

- **Crime**
 - Thrill Seekers
 - Drug Users
 - Breaking & Entering
 - 4 separate B&E's last weekend alone (reportedly all teens), one of which resulted in arrests
 - Site walk incident involving a firearm
- **Environmental issues**
 - Clean up costs estimated to be \$10 million
 - Documented asbestos in all 6 existing building
 - 1.12 acre Solid Waste Disposal Area ("SWDA") in the rear of the property
 - Environmental due diligence determined the SWDA contains high levels of lead, arsenic, and asbestos
- **Hazard for first responders**
 - Asbestos presents unique challenges to first-responders
 - 7-story dormitory building was deemed structurally unsound for abatement activity

Agenda

1. Who is Rhino Capital
2. Why Are We Here
3. Three Themes
4. Addressing Three Themes
5. Town Meeting vs. Proposed Plan
6. Mixed-Use Development District
7. FAQ's
8. **Closing Comments**
9. Learn More

Learn More

- **October 24th**– Select Board review of all Town Meeting Warrant Articles
- **October 27th** – Planning Board Hearing Presentation
- **November 14th** – Town Meeting
- Please visit our **Website** for updates!

■ **Get Out to Vote!**



<https://43mainstreetrevitalization.com/>

Agenda

1. Who is Rhino Capital
2. Why Are We Here
3. Three Themes
4. Addressing Three Themes
5. Town Meeting vs. Proposed Plan
6. Mixed-Use Development District
7. FAQ's
8. Closing Comments
9. Learn More

LAKEVILLE STATE HOSPITAL ZONING REVISIONS

-
- Six amendments to the Mixed-Use Development District regulations
 - Changes would allow “warehouse, offices or facilities for distributing merchandise” as a principal use
 - Adds lot coverage requirements similar to other uses
 - Other technical changes

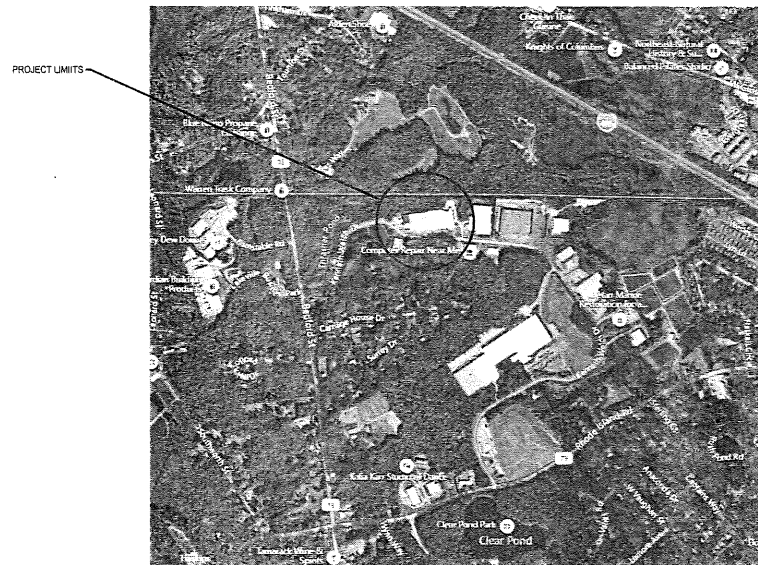
LAKEVILLE STATE HOSPITAL DEVELOPMENT AGREEMENT HIGHLIGHTS

-
- Includes many provisions of the previous Planning Board approval
 - Requires clean up and removal of all hazardous materials
 - Demolition of all buildings
 - Removal of solid waste disposal area
 - Continued traffic monitoring of Bridge Street for 5 years
 - Fund engineering costs for Bridge Street intersection

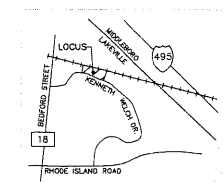
VEGA STRATEGIC SITE IMPROVEMENTS

LAKEVILLE, MASSACHUSETTS

310 KENNETH W. WELCH DRIVE, LAKEVILLE, MA
02347



LOCATION MAP
N.T.S.



ABBREVIATIONS			LEGEND			PROJECT INFORMATION		INDEX OF DRAWINGS																																																																					
<p>BC BOTTOM OF CURB = FLOWLINE CB CATCH BASIN C.O. CLEAN OUT CONC. CONCRETE CSP CORRUGATED STEEL PIPE DIA DIAMETER DIP DUCTILE IRON PIPE E. EAST EL. OR ELEV. ELEVATION ELEC. ELECTRICAL EDA EDGE OF AGGREGATE EDP EDGE OF PAVEMENT EX. OR EXIST. EXISTING FES FLARED END SECTION F.F. FINISHED FLOOR FL FLOW LINE FOC FACE OF CURB GAL GALLON GR GRADE HDWALL HEADWALL HP HIGH POINT INV. INVERT L. LENGTH MAINT. MAINTENANCE MH MANHOLE MECH. MECHANICAL N. NORTH NE. NORTHEAST NW. NORTHWEST</p>	<p>P.C.C. PORTLAND CEMENT CONCRETE PIV POST INDICATOR VALVE PL PROPERTY LINE PRD. POINT OF REVERSE CURVATURE P.U.D. PIPE UNDERDRAIN PVC POLYVINYLCHLORIDE PVC PERFORATED POLYVINYLCHLORIDE PVC PAVEMENT R. RADIUS RCP REINFORCED CONCRETE PIPE R.O.W. RIGHT OF WAY S. SOUTH SAN. SANITARY SE. SOUTHEAST SMH SANITARY MANHOLE SPK SPIKE STD STANDARD SW. SOUTHWEST TBM TEMPORARY BENCH MARK TC TOP OF CURB TYP. TYPICAL TW TOP OF WALL UST UNDERGROUND STORAGE TANK VCP VITRIFIED CLAY PIPE VMF VEHICLE MAINTENANCE FACILITY W.W.F. WELDED WIRE FABRIC W. WEST WM WATERMAIN WI WITH</p>	<p>EXISTING PROPOSED</p>	<p>DESCRIPTION R.O.W. OR PROP. LINE EDGE OF PAVEMENT CONCRETE BARRIER CURB CONCRETE CURB & GUTTER GROUND GRADE PAVEMENT GRADE FLOW ARROW STRUCTURE NUMBER COORDINATE LOCATION COLUMN LINE DESIGNATION SILT FENCE STRAW BALE SEDIMENT BASIN RISER TRAFFIC FLOW OF DIRECTION</p>	<p>EXISTING PROPOSED</p>	<p>ADDRESS: 310 KENNETH W. WELCH DRIVE, LAKEVILLE, MA 02347 PROJECT DESCRIPTION: PROVIDING PARKING LOT ON WEST END OF SITE, ENLARGING PARKING LOT AT SOUTHWEST CORNER OF SITE, CGN FACILITY ON NORTHEAST CORNER OF SITE, RE-PAVING FIRE LANE, LANDSCAPING AND SCREENING LAND USE ZONE: INDUSTRIAL TOTAL SITE AREA: 13.07 ACRES BENCHMARKS: SQUARE IN CPD CORNER, ELEV. 59.48', NAVD 88 SQUARE IN CPD CORNER, ELEV. 55.19', NAVD 88 BOLT ON LIGHT BASE, ELEV. 64.76', NAVD 88</p>	<p>DESIGNER INFORMATION EPSTEIN 600 W. FULTON STREET CHICAGO, ILLINOIS 60661 LICENSED PROFESSIONAL ENGINEER (LICENSE PENDING) THOMAS E. SMILES, PE DIRECTOR OF ENGINEERING PHONE: 312-428-8314 EMAIL: TSMILES@EPSTEINGLOBAL.COM</p>	<p>INDEX OF DRAWINGS</p> <table border="1"> <thead> <tr> <th>Sheet Number</th> <th>Sheet Title</th> </tr> </thead> <tbody> <tr><td>C-001</td><td>COVER SHEET</td></tr> <tr><td>C-010</td><td>GENERAL NOTES</td></tr> <tr><td>C-011</td><td>EXISTING CONDITIONS PLAN 1 OF 2</td></tr> <tr><td>C-012</td><td>EXISTING CONDITIONS PLAN 2 OF 2</td></tr> <tr><td>C-020</td><td>OVERALL SITE DEMOLITION PLAN</td></tr> <tr><td>C-100</td><td>OVERALL SITE LAYOUT PLAN</td></tr> <tr><td>C-101</td><td>SITE LAYOUT PLAN</td></tr> <tr><td>C-102</td><td>SITE LAYOUT PLAN</td></tr> <tr><td>C-103</td><td>SITE LAYOUT PLAN</td></tr> <tr><td>C-200</td><td>OVERALL SITE PAVING PLAN</td></tr> <tr><td>C-201</td><td>SITE PAVING PLAN</td></tr> <tr><td>C-202</td><td>SITE PAVING PLAN</td></tr> <tr><td>C-203</td><td>SITE PAVING PLAN</td></tr> <tr><td>C-300</td><td>OVERALL SITE GRADING PLAN</td></tr> <tr><td>C-301</td><td>GRADING PLAN</td></tr> <tr><td>C-302</td><td>GRADING PLAN</td></tr> <tr><td>C-303</td><td>GRADING PLAN</td></tr> <tr><td>C-400</td><td>OVERALL SITE UTILITY PLAN</td></tr> <tr><td>C-401</td><td>SITE UTILITY PLAN</td></tr> <tr><td>C-402</td><td>SITE UTILITY PLAN</td></tr> <tr><td>C-403</td><td>SITE UTILITY PLAN</td></tr> <tr><td>C-500</td><td>OVERALL EROSION AND SEDIMENT CONTROL PLAN</td></tr> <tr><td>C-501</td><td>SITE EROSION AND SEDIMENT CONTROL NOTES & DETAILS</td></tr> <tr><td>C-502</td><td>SITE EROSION AND SEDIMENT CONTROL NOTES & DETAILS</td></tr> <tr><td>C-503</td><td>SITE EROSION AND SEDIMENT CONTROL NOTES & DETAILS</td></tr> <tr><td>C-504</td><td>SITE EROSION AND SEDIMENT CONTROL NOTES & DETAILS</td></tr> <tr><td>C-600</td><td>OPERATIONS AND MAINTENANCE PLAN</td></tr> <tr><td>C-601</td><td>SITE DETAILS</td></tr> <tr><td>C-602</td><td>MISCELLANEOUS DETAILS</td></tr> <tr><td>C-603</td><td>CRG FUELING STATION DETAILS</td></tr> <tr><td>C-604</td><td>CRG FUELING STATION DETAILS</td></tr> <tr><td>L-100</td><td>OVERALL PLANTING DEMOLITION PLAN</td></tr> <tr><td>L-200</td><td>OVERALL PLANTING PLAN</td></tr> <tr><td>L-201</td><td>PLANTING DETAILS</td></tr> </tbody> </table>	Sheet Number	Sheet Title	C-001	COVER SHEET	C-010	GENERAL NOTES	C-011	EXISTING CONDITIONS PLAN 1 OF 2	C-012	EXISTING CONDITIONS PLAN 2 OF 2	C-020	OVERALL SITE DEMOLITION PLAN	C-100	OVERALL SITE LAYOUT PLAN	C-101	SITE LAYOUT PLAN	C-102	SITE LAYOUT PLAN	C-103	SITE LAYOUT PLAN	C-200	OVERALL SITE PAVING PLAN	C-201	SITE PAVING PLAN	C-202	SITE PAVING PLAN	C-203	SITE PAVING PLAN	C-300	OVERALL SITE GRADING PLAN	C-301	GRADING PLAN	C-302	GRADING PLAN	C-303	GRADING PLAN	C-400	OVERALL SITE UTILITY PLAN	C-401	SITE UTILITY PLAN	C-402	SITE UTILITY PLAN	C-403	SITE UTILITY PLAN	C-500	OVERALL EROSION AND SEDIMENT CONTROL PLAN	C-501	SITE EROSION AND SEDIMENT CONTROL NOTES & DETAILS	C-502	SITE EROSION AND SEDIMENT CONTROL NOTES & DETAILS	C-503	SITE EROSION AND SEDIMENT CONTROL NOTES & DETAILS	C-504	SITE EROSION AND SEDIMENT CONTROL NOTES & DETAILS	C-600	OPERATIONS AND MAINTENANCE PLAN	C-601	SITE DETAILS	C-602	MISCELLANEOUS DETAILS	C-603	CRG FUELING STATION DETAILS	C-604	CRG FUELING STATION DETAILS	L-100	OVERALL PLANTING DEMOLITION PLAN	L-200	OVERALL PLANTING PLAN	L-201	PLANTING DETAILS
Sheet Number	Sheet Title																																																																												
C-001	COVER SHEET																																																																												
C-010	GENERAL NOTES																																																																												
C-011	EXISTING CONDITIONS PLAN 1 OF 2																																																																												
C-012	EXISTING CONDITIONS PLAN 2 OF 2																																																																												
C-020	OVERALL SITE DEMOLITION PLAN																																																																												
C-100	OVERALL SITE LAYOUT PLAN																																																																												
C-101	SITE LAYOUT PLAN																																																																												
C-102	SITE LAYOUT PLAN																																																																												
C-103	SITE LAYOUT PLAN																																																																												
C-200	OVERALL SITE PAVING PLAN																																																																												
C-201	SITE PAVING PLAN																																																																												
C-202	SITE PAVING PLAN																																																																												
C-203	SITE PAVING PLAN																																																																												
C-300	OVERALL SITE GRADING PLAN																																																																												
C-301	GRADING PLAN																																																																												
C-302	GRADING PLAN																																																																												
C-303	GRADING PLAN																																																																												
C-400	OVERALL SITE UTILITY PLAN																																																																												
C-401	SITE UTILITY PLAN																																																																												
C-402	SITE UTILITY PLAN																																																																												
C-403	SITE UTILITY PLAN																																																																												
C-500	OVERALL EROSION AND SEDIMENT CONTROL PLAN																																																																												
C-501	SITE EROSION AND SEDIMENT CONTROL NOTES & DETAILS																																																																												
C-502	SITE EROSION AND SEDIMENT CONTROL NOTES & DETAILS																																																																												
C-503	SITE EROSION AND SEDIMENT CONTROL NOTES & DETAILS																																																																												
C-504	SITE EROSION AND SEDIMENT CONTROL NOTES & DETAILS																																																																												
C-600	OPERATIONS AND MAINTENANCE PLAN																																																																												
C-601	SITE DETAILS																																																																												
C-602	MISCELLANEOUS DETAILS																																																																												
C-603	CRG FUELING STATION DETAILS																																																																												
C-604	CRG FUELING STATION DETAILS																																																																												
L-100	OVERALL PLANTING DEMOLITION PLAN																																																																												
L-200	OVERALL PLANTING PLAN																																																																												
L-201	PLANTING DETAILS																																																																												

03. 10/24/2022 PLANNING MEETING
02. 10/14/2022 ISSUE FOR BID
01. 07/21/2022 PLANNING & ZONING APPROVAL

EPSTEIN

Architecture Interiors Engineering Construction

Chicago, IL 60661-1259
T 312.454.9100
www.epsteinglobal.com

PROJECT NUMBER: 22157
PROJECT MANAGER: T. RUSSELL
PA I PE: T. SMILES
DRAWN BY: A. OUTLEY
CHECKED BY: D. HILTY

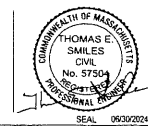
COVER SHEET

Electrical Engineer Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

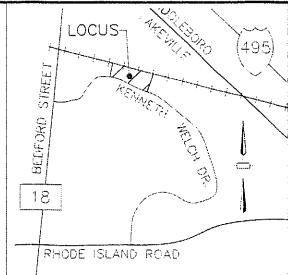
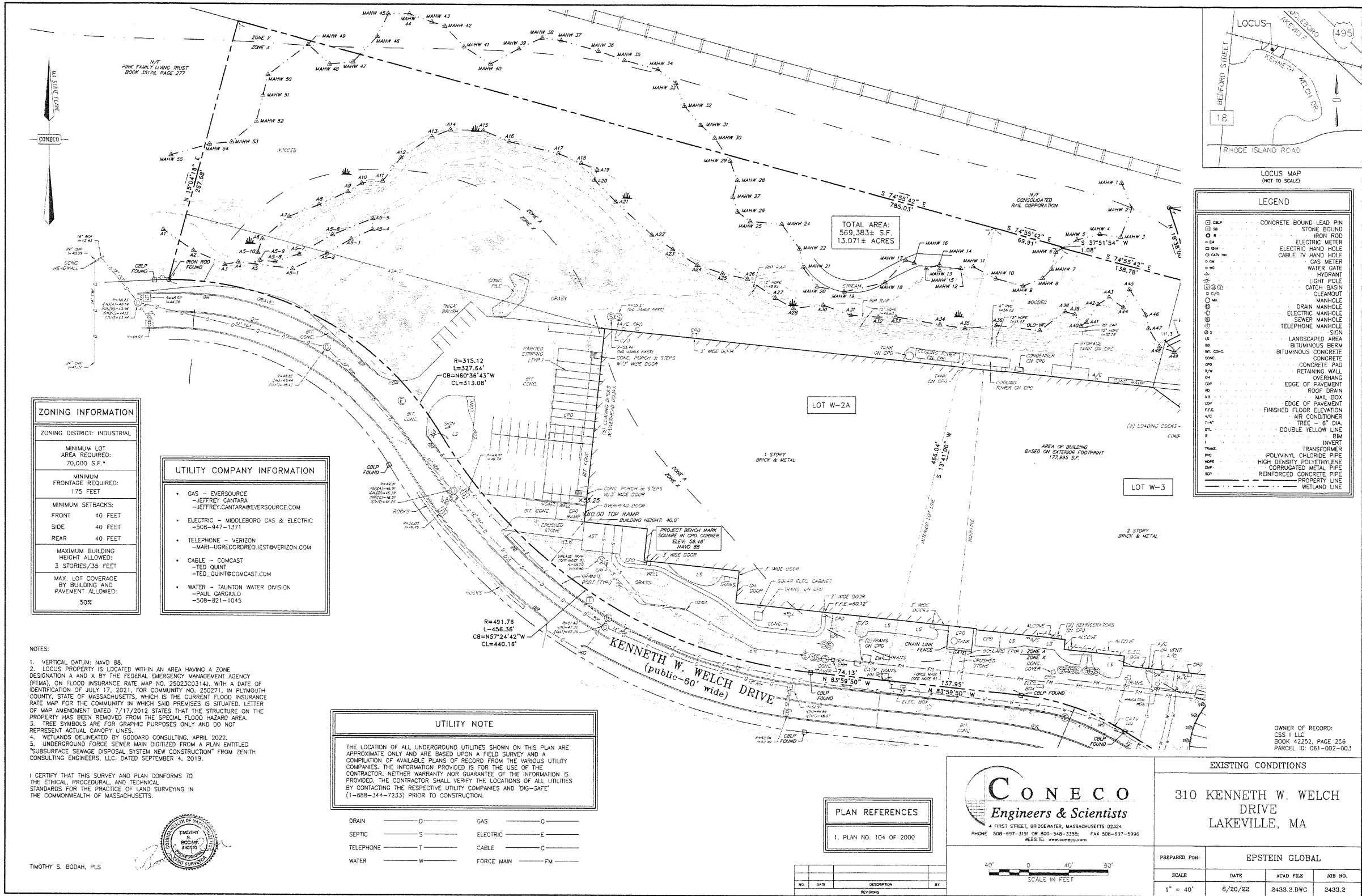
Civil Engineer Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

Owner Vega Strategic
3414 Peachtree Rd, Ste 990
Atlanta, GA 30326
770.400.9961

Project Vega Strategic - Lakeville
310 Kenneth Welch Dr
Lakeville, MA 02347



C-001



LEGEND

□ CBP	CONCRETE BOUND LEAD PIN
□ SB	STONE BOUND
○ IR	IRON ROD
○ EM	ELECTRIC METER
○ EH	ELECTRIC HAND HOLE
○ CH	CABLE TV HAND HOLE
○ CHV	CHS METER
○ W	WATER GATE
○ H	HYDRANT
○ L	LIGHT POLE
○ C	CATCH BASIN
○ CL	CLEANOUT
○ M	MANHOLE
○ DM	DRAIN MANHOLE
○ EMH	ELECTRIC MANHOLE
○ SMH	SEWER MANHOLE
○ TMH	TELEPHONE MANHOLE
○ S	SIGN
○ LS	LANDSCAPED AREA
○ B	BITUMINOUS BERM
○ BC	BITUMINOUS CONCRETE
○ C	CONCRETE
○ CP	CONCRETE PAD
○ RW	RETAINING WALL
○ O	OVERHANG
○ EP	EDGE OF PAVEMENT
○ RD	ROOF DRAIN
○ MB	MAIL BOX
○ EP	EDGE OF PAVEMENT
○ F/E	FINISHED FLOOR ELEVATION
○ VC	AIR CONDITIONER
○ T	TREE - 6" DIA.
○ D	DOUBLE YELLOW LINE
○ R	RIM
○ I	INVERT
○ TR	TRANSFORMER
○ PVC	POLYVINYL CHLORIDE PIPE
○ HDPE	HIGH DENSITY POLYETHYLENE
○ CM	CORRUGATED METAL PIPE
○ RCP	REINFORCED CONCRETE PIPE
○ WL	WETLAND LINE

ZONING INFORMATION

ZONING DISTRICT: INDUSTRIAL

MINIMUM LOT AREA REQUIRED: 70,000 S.F.*

MINIMUM FRONTAGE REQUIRED: 175 FEET

MINIMUM SETBACKS:

- FRONT 40 FEET
- SIDE 40 FEET
- REAR 40 FEET

MAXIMUM BUILDING HEIGHT ALLOWED: 3 STORIES/35 FEET

MAX. LOT COVERAGE BY BUILDING AND PAVEMENT ALLOWED: 50%

UTILITY COMPANY INFORMATION

- GAS - EVERSOURCE
-JEFFREY CANTARA
-JEFFREY.CANTARA@EVERSOURCE.COM
- ELECTRIC - MIDDLEBORO GAS & ELECTRIC
-308-947-1371
- TELEPHONE - VERIZON
-MARI-UGRECDR@VERIZON.COM
- CABLE - COMCAST
-TED_QUINT@COMCAST.COM
- WATER - TAUNTON WATER DIVISION
-PAUL GARGIULO
-508-821-1045

UTILITY NOTE

THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED UPON A FIELD SURVEY AND A COMPILED LIST OF AVAILABLE PLANS OF RECORD FROM THE VARIOUS UTILITY COMPANIES. THE INFORMATION PROVIDED IS FOR THE USE OF THE CONTRACTOR. NEITHER WARRANTY NOR GUARANTEE OF THE INFORMATION IS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BY CONTACTING THE RESPECTIVE UTILITY COMPANIES AND "DIG-SAFE" (1-888-344-7233) PRIOR TO CONSTRUCTION.

DRAIN	D	GAS	G
SEPTIC	S	ELECTRIC	E
TELEPHONE	T	CABLE	C
WATER	W	FORCE MAIN	FM

NOTES:

- VERTICAL DATUM: NAVD 88.
- LOCUS PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION A AND X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 25023C0314I, WITH A DATE OF IDENTIFICATION OF JULY 17, 2021, FOR COMMUNITY NO. 250271, IN PLYMOUTH COUNTY, STATE OF MASSACHUSETTS, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. LETTER OF MAP AMENDMENT DATED 7/17/2012 STATES THAT THE STRUCTURE ON THE PROPERTY HAS BEEN REMOVED FROM THE SPECIAL FLOOD HAZARD AREA.
- TREE SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY AND DO NOT REPRESENT ACTUAL CANOPY LINES.
- WETLANDS DELINEATED BY GODDARD CONSULTING, APRIL 2022.
- UNDERGROUND FORCE SEWER MAIN DIGITIZED FROM A PLAN ENTITLED "SUBSURFACE SEWAGE DISPOSAL SYSTEM NEW CONSTRUCTION" FROM ZENITH CONSULTING ENGINEERS, LLC, DATED SEPTEMBER 4, 2019.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL, AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

TIMOTHY S. BODAH, PLS

PLAN REFERENCES

- PLAN NO. 104 OF 2000

CONECO
Engineers & Scientists

4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3181 OR 800-548-1355; FAX 508-697-5996
WEBSITE: www.coneco.com

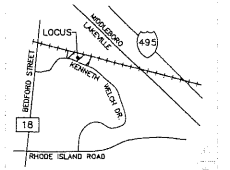
EXISTING CONDITIONS

310 KENNETH W. WELCH DRIVE
LAKEVILLE, MA

PREPARED FOR:	EPSTEIN GLOBAL
SCALE:	DATE: 6/20/22
ACAD FILE:	2433.2.DWG
JOB NO.:	2433.2



NO.	DATE	DESCRIPTION	BY



NO.	DATE	REVISIONS/SITUANCES
02	10/24/2022	PLANNING MEETING
01	07/21/2022	PLANNING & ZONING APPROVAL

EPSTEIN

Architecture Interiors Engineering Construction

Chicago New York Bucharest Warsaw

600 W. Fulton Street
Chicago, IL 60661-1259
T 312-454-9100
www.epsteinglobal.com

PROJECT NUMBER: 22157
PROJECT MANAGER: T. RUSSELL
PA I PE: T. SMILES
DRAWN BY: A. OUTLEY
CHECKED BY: D. HILTY

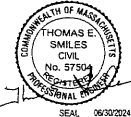
EXISTING CONDITIONS
PLAN 1 OF 2

Electrical Engineer
Epstein
800 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

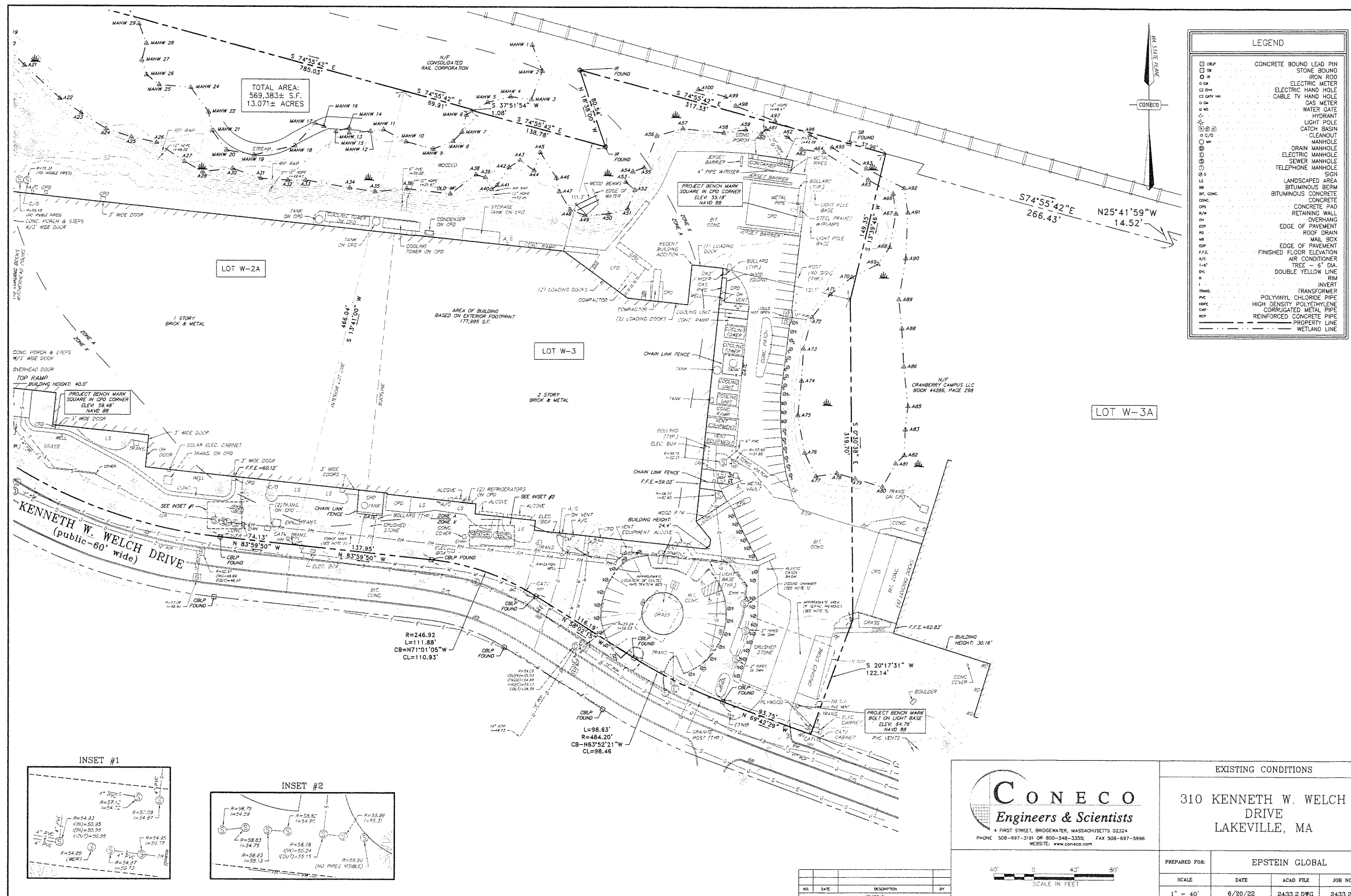
Civil Engineer
Epstein
800 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

Owner
Vega Strategic
3414 Peachtree Rd. Ste 990
Atlanta, GA 30326
770.400.9661

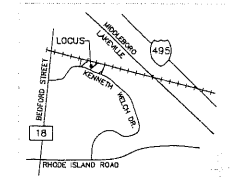
Project
Vega Strategic - Lakeville
310 Kenneth Welch Dr
Lakeville, MA 02347



C-011



LEGEND	
□ CBP	CONCRETE BOUND LEAD PIN
□ SB	STONE BOUND
□ IR	IRON ROD
□ EM	ELECTRIC METER
□ EH	ELECTRIC HAND HOLE
□ CH	CABLE TV HAND HOLE
□ GM	GAS METER
□ WG	WATER GATE
□ HY	HYDRANT
□ LP	LIGHT POLE
□ CB	CATCH BASIN
□ C/B	CLEANOUT
□ M/H	MANHOLE
□ DM/H	DRAIN MANHOLE
□ EM/H	ELECTRIC MANHOLE
□ SM/H	SEWER MANHOLE
□ TM/H	TELEPHONE MANHOLE
□ S	SIGN
□ LA	LANDSCAPED AREA
□ B	BITUMINOUS BERM
□ BC	BITUMINOUS CONCRETE
□ C	CONCRETE
□ CP	CONCRETE PAD
□ RW	RETAINING WALL
□ OH	OVERHANG
□ EP	EDGE OF PAVEMENT
□ RD	ROOF DRAIN
□ MB	MAIL BOX
□ EP	EDGE OF PAVEMENT
□ F.F.E.	FINISHED FLOOR ELEVATION
□ A/C	AIR CONDITIONER
□ T	TREE - 8" DIA.
□ DL	DOUBLE YELLOW LINE
□ I	INVERT
□ TR	TRANSFORMER
□ PC	POLYVINYL CHLORIDE PIPE
□ HDPE	HIGH DENSITY POLYETHYLENE
□ CM	CORRUGATED METAL PIPE
□ RC	REINFORCED CONCRETE PIPE
□ PL	PROPERTY LINE
□ WL	WETLAND LINE



NO.	DATE	REVISIONS/ISSUANCES
03	10/24/2022	PLANNING MEETING
02	10/14/2022	ISSUE FOR BID
01	07/21/2022	PLANNING & ZONING APPROVAL

CONECO
Engineers & Scientists
4 FIRST STREET, BROOKFIELD, MASSACHUSETTS 02324
PHONE: 508-997-3191 OR 800-548-3355 FAX: 508-997-5998
WEBSITE: www.coneco.com

EXISTING CONDITIONS			
310 KENNETH W. WELCH DRIVE LAKEVILLE, MA			
PREPARED FOR:	EPSTEIN GLOBAL		
SCALE:	DATE:	ACAD FILE:	JOB NO.:
1" = 40'	6/20/22	2433.2.DWG	2433.2

EPSTEIN

Architecture
Interior
Engineering
Construction

Chicago
New York
Buckhara
Warsaw

600 W. Fulton Street
Chicago, IL 60661-1259
T 312.654.8100
www.epsteinglobal.com

PROJECT NUMBER: 22157
PROJECT MANAGER: T. RUSSELL
PA 1 PE: T. SMILES
DRAWN BY: A. OUTLEY
CHECKED BY: D. HILTY

EXISTING CONDITIONS
PLAN 2 OF 2

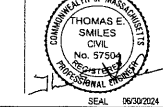
C-012

Electrical Engineer
Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

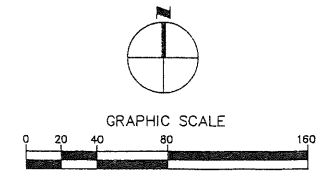
Civil Engineer
Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

Owner
Vega Strategic
3414 Peachtree Rd. Ste 900
Atlanta, GA 30326
770.400.9681

Project
Vega Strategic - Lakeville
310 Kenneth Welch Dr
Lakeville, MA 02347

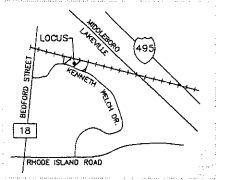


SEAL 05/30/2024



- NOTES:**
1. ALL UTILITIES TO BE REMOVED AND CAPPED AT PROPERTY LINE OR AT A LOCATION DETERMINED BY THE AUTHORITY HAVING JURISDICTION UNLESS OTHERWISE NOTED.
 2. ANY ITEMS ABANDONED-IN-PLACE SHALL BE GROUT FILLED AND CAPPED.
 3. FOR SIDEWALK AND PAVEMENT REMOVAL SAWCUT TO FULL DEPTH.

- LEGEND:**
- REMOVE LIGHT DUTY ASPHALTIC CONCRETE PAVEMENT
 - REMOVE LIGHT DUTY CONCRETE PAVEMENT
 - REMOVE GRASS AND TOPSOIL
 - REMOVE STONE
 - UTILITY LINES REMOVAL
 - CURB AND GUTTER REMOVAL
 - TEMP CONSTRUCTION FENCE
 - REMOVAL ITEM



NO.	DATE	REVISIONS/ISSUANCES
03	10/24/2022	PLANNING MEETING
02	10/14/2022	ISSUE FOR BID
01	07/21/2022	PLANNING & ZONING APPROVAL

EPSTEIN

Architecture
Interiors
Engineering
Construction

Chicago
New York
Bucharest
Warsaw

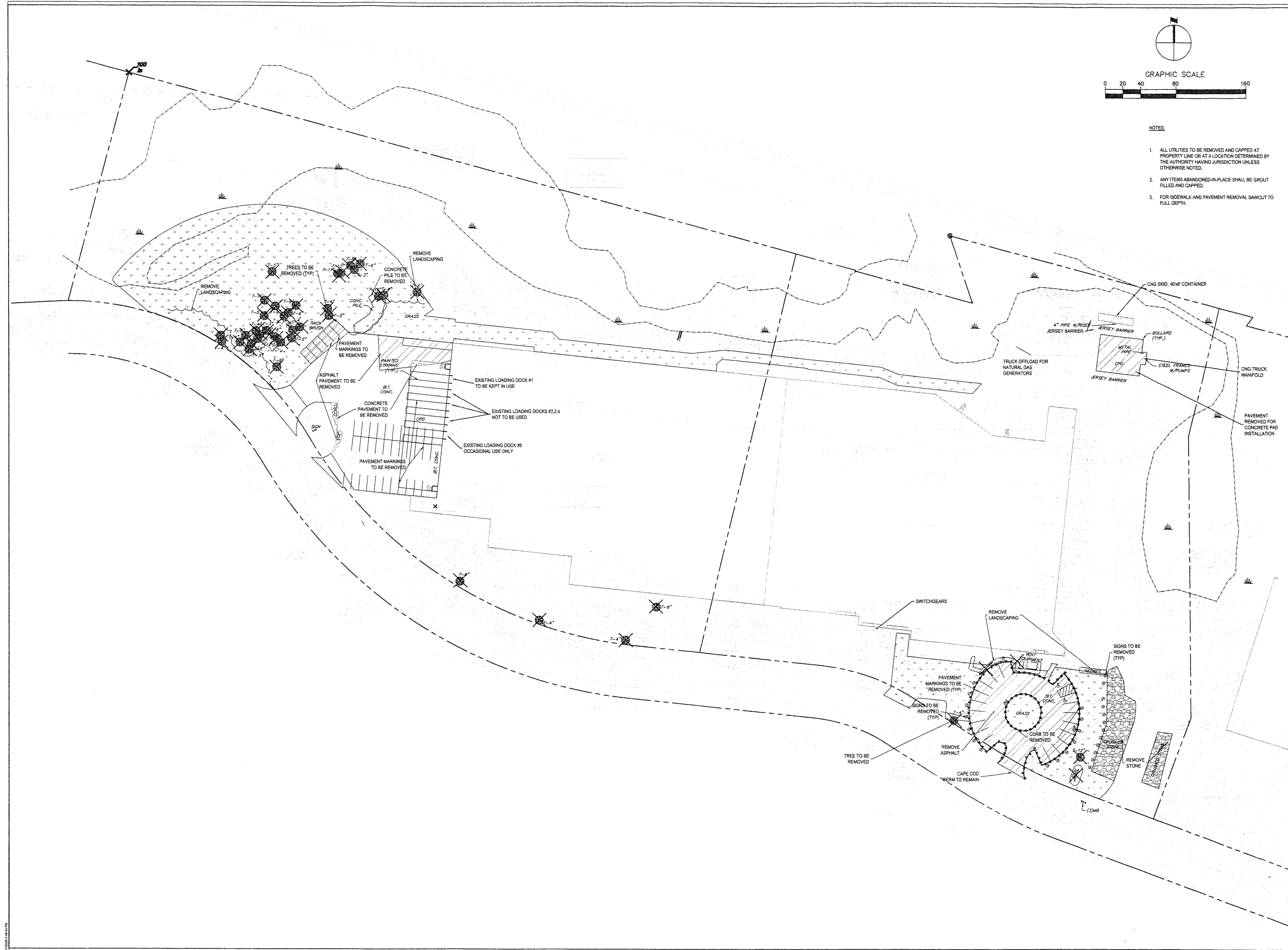
800 W. Fulton Street
Chicago, IL 60661-1259
T 312.454.9100

www.epsteinglobal.com

PROJECT NUMBER: 22157
PROJECT MANAGER: T. RUSSELL
PA/PE: T. SMILES
DRAWN BY: A. OUTLEY
CHECKED BY: D. HILTY

OVERALL SITE
DEMOLITION PLAN

C-020

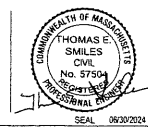


Electrical Engineer
Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

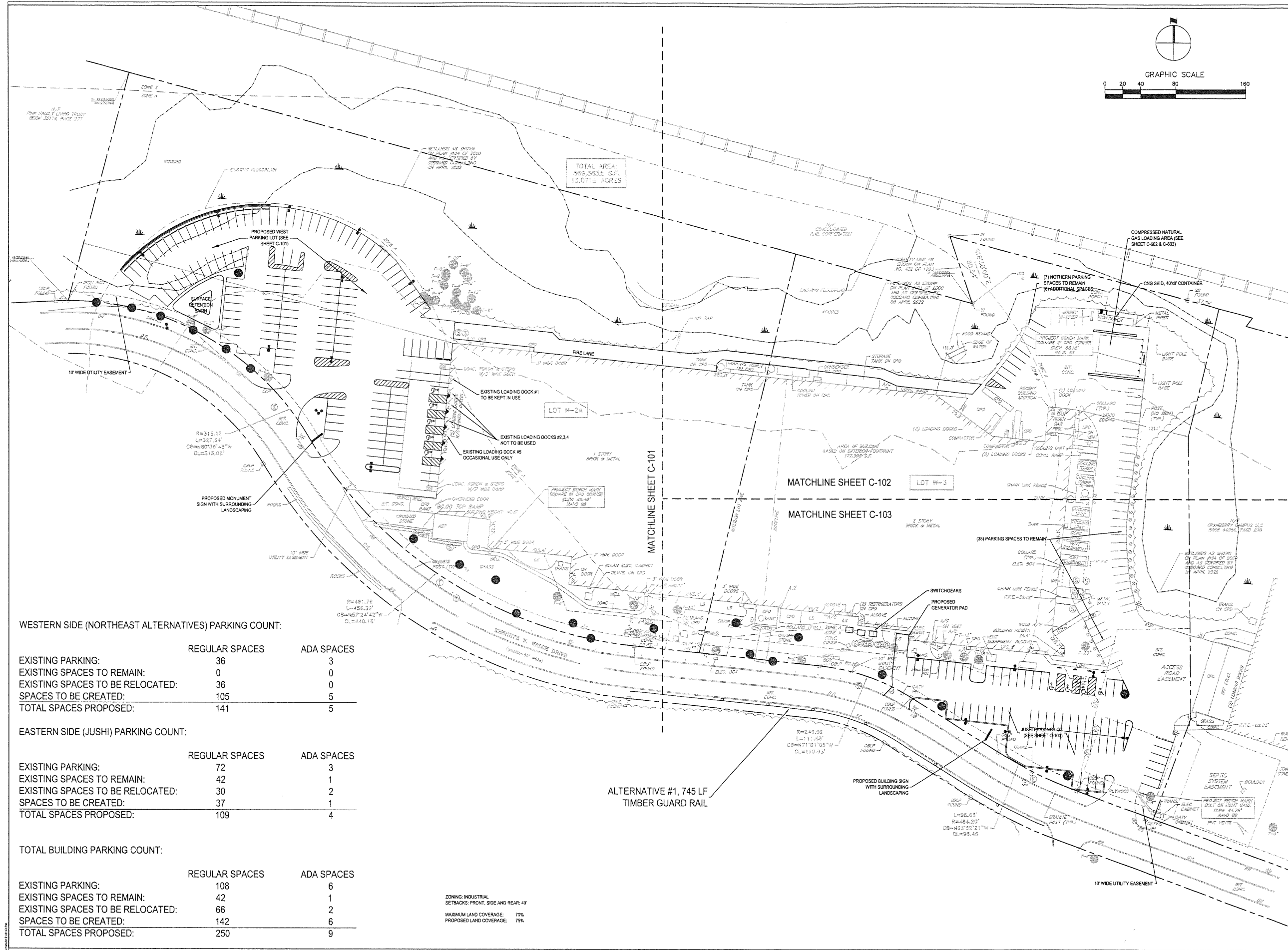
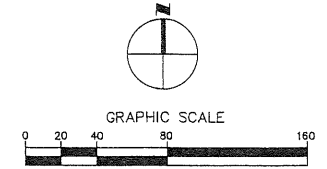
Civil Engineer
Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

Owner
Vega Strategic
3414 Peachtree Rd, Ste 990
Atlanta, GA 30326
770.400.9661

Project
Vega Strategic - Lakeville
310 Kenneth Welch Dr
Lakeville, MA 02347



SEAL 06/30/2024



TOTAL AREA:
563,363± S.F.
13.071± ACRES

WESTERN SIDE (NORTHEAST ALTERNATIVES) PARKING COUNT:

	REGULAR SPACES	ADA SPACES
EXISTING PARKING:	36	3
EXISTING SPACES TO REMAIN:	0	0
EXISTING SPACES TO BE RELOCATED:	36	0
SPACES TO BE CREATED:	105	5
TOTAL SPACES PROPOSED:	141	5

EASTERN SIDE (JUSHI) PARKING COUNT:

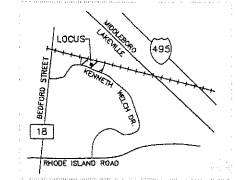
	REGULAR SPACES	ADA SPACES
EXISTING PARKING:	72	3
EXISTING SPACES TO REMAIN:	42	1
EXISTING SPACES TO BE RELOCATED:	30	2
SPACES TO BE CREATED:	37	1
TOTAL SPACES PROPOSED:	109	4

TOTAL BUILDING PARKING COUNT:

	REGULAR SPACES	ADA SPACES
EXISTING PARKING:	108	6
EXISTING SPACES TO REMAIN:	42	1
EXISTING SPACES TO BE RELOCATED:	66	2
SPACES TO BE CREATED:	142	6
TOTAL SPACES PROPOSED:	250	9

ZONING: INDUSTRIAL
SETBACKS: FRONT, SIDE AND REAR: 40'
MAXIMUM LAND COVERAGE: 70%
PROPOSED LAND COVERAGE: 75%

ALTERNATIVE #1, 745 LF
TIMBER GUARD RAIL



NO.	DATE	REVISIONS/ISSUANCES
03	10/24/2022	PLANNING MEETING
02	10/14/2022	ISSUE FOR BID
01	07/21/2022	PLANNING & ZONING APPROVAL

EPSTEIN
Architecture
Interiors
Engineering
Construction

Chicago
New York
Bucharest
Warsaw

800 W. Fulton Street
Chicago, IL 60661-1259
T 312.454.9100
www.epsteinglobal.com

PROJECT NUMBER: 22157
PROJECT MANAGER: T. RUSSELL
PA 1 PE: T. SMILES
DRAWN BY: A. OUTLEY
CHECKED BY: D. HILTY

OVERALL SITE LAYOUT
PLAN

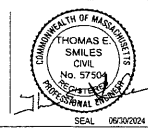
C-100

Electrical Engineer
Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

Civil Engineer
Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

Owner
Vega Strategic
3414 Peachtree Rd. Ste 990
Atlanta, GA 30326
770.400.9681

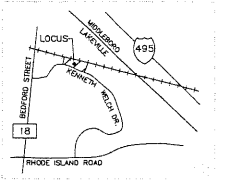
Project
Vega Strategic - Lakeville
310 Kennen Welch Dr
Lakeville, MA 02347





TOTAL AREA:
589,353± S.F.
13.071± ACRES

- NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB, IF THERE IS NO CURB, DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
 - SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS



NO.	DATE	REVISIONS/ISSUANCES
01	10/24/2022	PLANNING MEETING
02	10/14/2022	ISSUE FOR BID
03	07/21/2022	PLANNING & ZONING APPROVAL

EPSTEIN

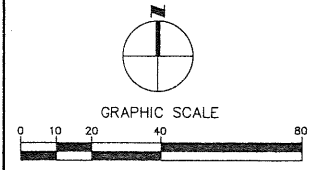
Architecture
Interiors
Engineering
Construction

Chicago
New York
Buckhast
Winnipeg

600 W. Fulton Street
Chicago, IL 60661-1259
T 312.454.9100

www.epsteinglobal.com

PROJECT NUMBER: 22157
PROJECT MANAGER: T. RUSSELL
PA 1 PE: T. SMILES
DRAWN BY: A. OUTLEY
CHECKED BY: D. HILTY

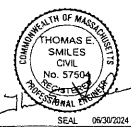


Electrical Engineer
Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

Civil Engineer
Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

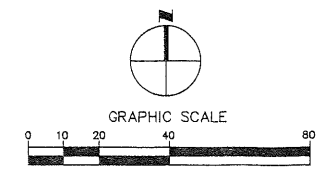
Owner
Vega Strategic
3414 Peachtree Rd. Ste 990
Atlanta, GA 30326
770.400.9681

Project
Vega Strategic - Lakeville
310 Kenneth Welch Dr
Lakeville, MA 02347

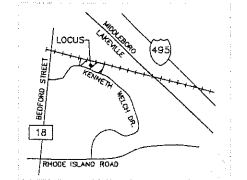
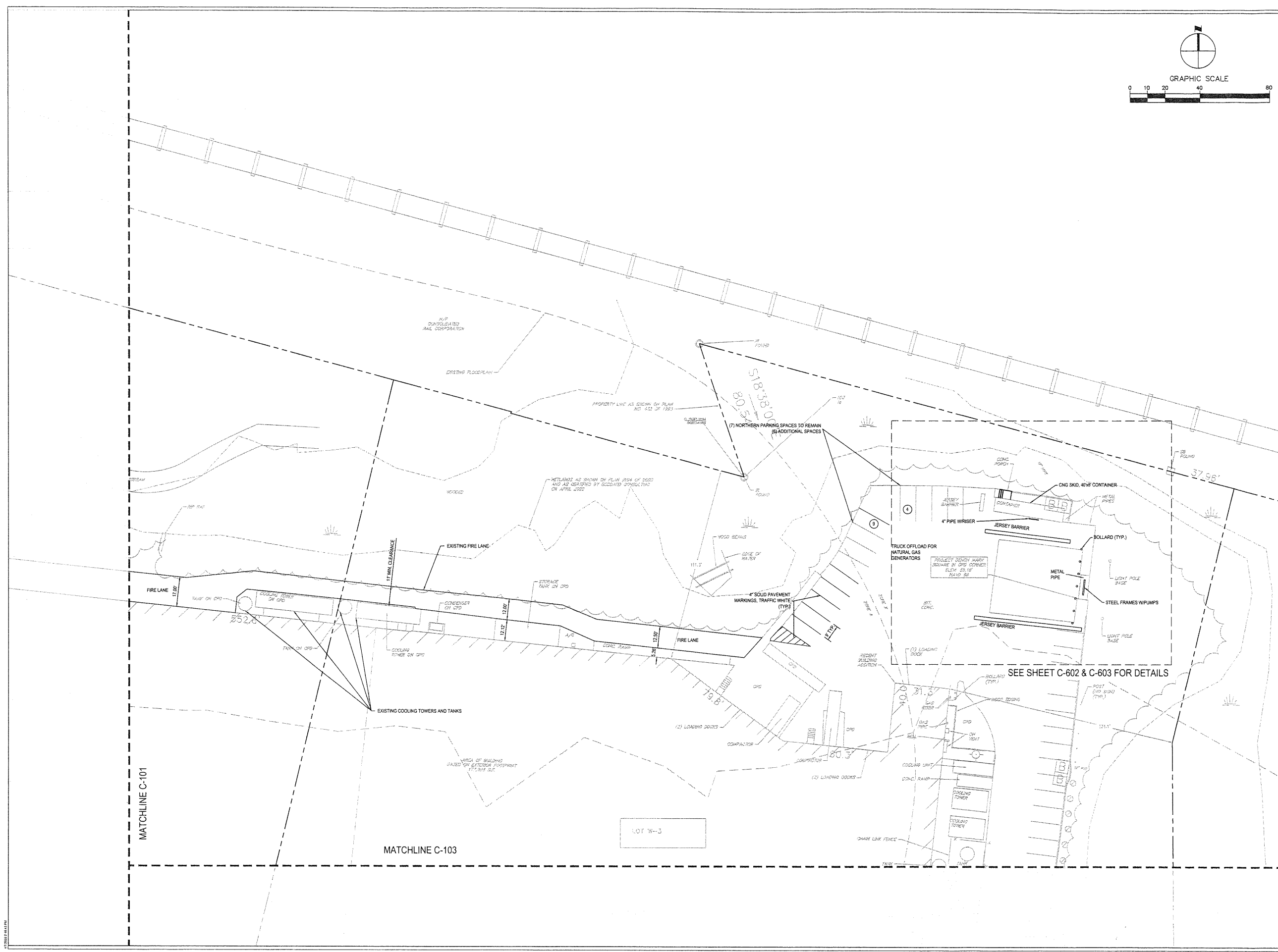


SITE LAYOUT PLAN

C-101



- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB, IF THERE IS NO CURB, DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
 2. SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS



NO.	DATE	REVISIONS/SITUANCES
03	10/24/2022	PLANNING MEETING
02	10/14/2022	ISSUE FOR BID
01	07/21/2022	PLANNING & ZONING APPROVAL

SEE SHEET C-602 & C-603 FOR DETAILS

EPSTEIN

Architecture Chicago
 Interiors New York
 Engineering Business
 Construction Warsaw

600 W. Fulton Street
 Chicago, IL 60661-1259
 T 312.454.9100
 www.epsteinjohal.com

PROJECT NUMBER: 22157
 PROJECT MANAGER: T. RUSSELL
 PA I P E: T. SMILES
 DRAWN BY: A. OUTLEY
 CHECKED BY: D. HILTY

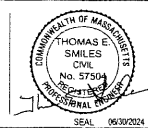
SITE LAYOUT PLAN

Electrical Engineer
 Epstein
 600 West Fulton Street
 Chicago, Illinois 60661-1259
 312.454.9100

Civil Engineer
 Epstein
 600 West Fulton Street
 Chicago, Illinois 60661-1259
 312.454.9100

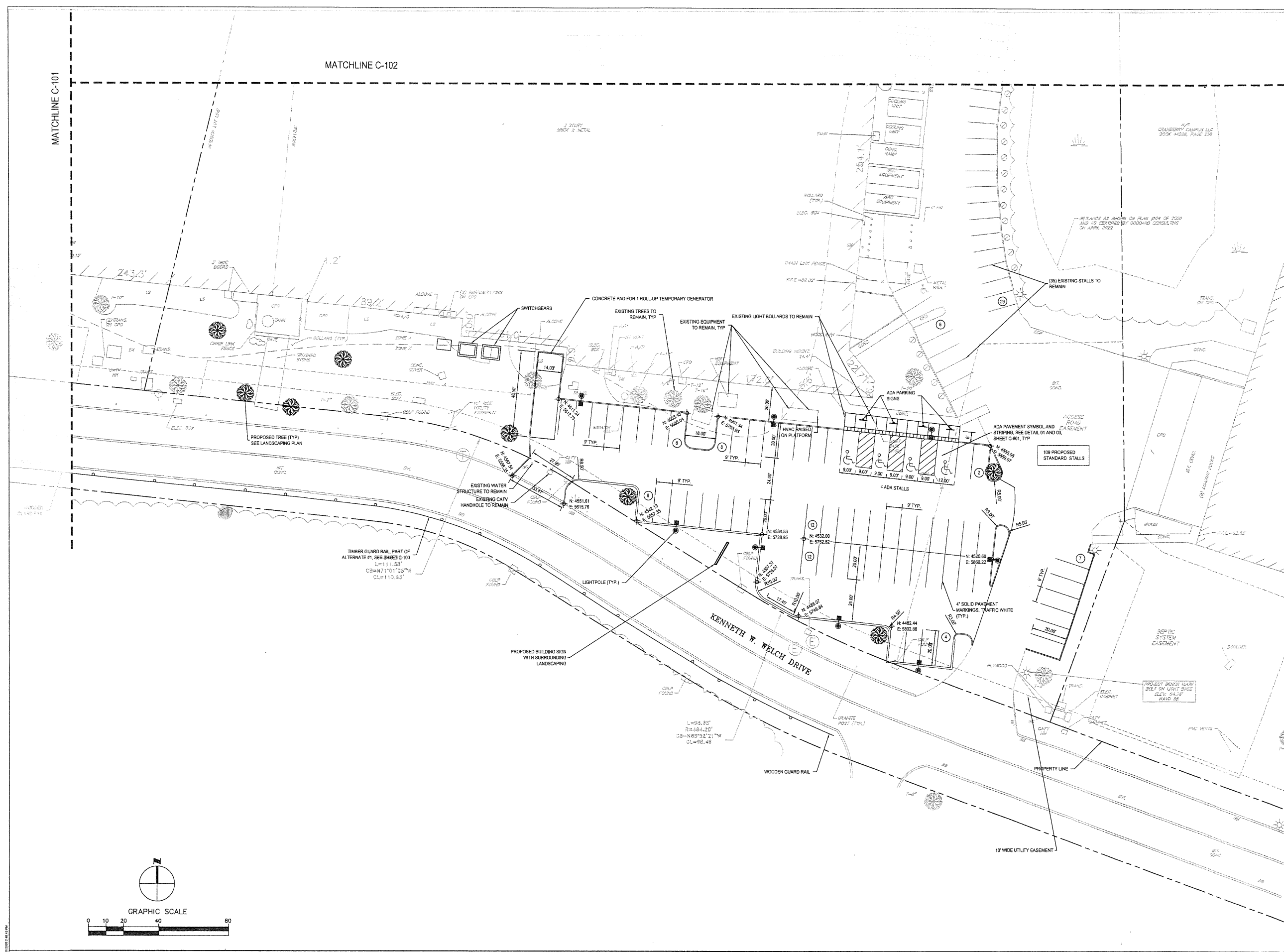
Owner
 Vega Strategic
 3414 Peachtree Rd. Ste 900
 Atlanta, GA 30326
 770.400.9681

Project
 Vega Strategic - Lakeville
 310 Kennen West Dr
 Lakeville, MA 02347



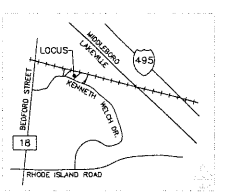
MATCHLINE C-101

MATCHLINE C-102



NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB, IF THERE IS NO CURB, DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
2. SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS



NO.	DATE	REVISIONS/ISSUANCES
01	07/21/2022	PLANNING & ZONING APPROVAL
02	10/14/2022	ISSUE FOR BID
03	10/24/2022	PLANNING MEETING

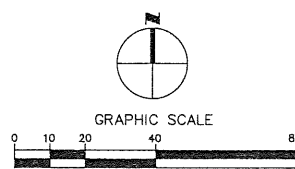
EPSTEIN

Architecture Chicago
 Interiors New York
 Engineering Bucharest
 Construction Warsaw

600 W. Fulton Street
 Chicago, IL 60661-1259
 T 312.454.9100
 www.epsteinglobal.com

PROJECT NUMBER: 22157
 PROJECT MANAGER: T. RUSSELL
 PA 1 PE: T. SMILES
 DRAWN BY: A. OUTLEY
 CHECKED BY: D. HILTY

SITE LAYOUT PLAN

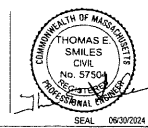


Electrical Engineer
 Epstein
 600 West Fulton Street
 Chicago, Illinois 60661-1259
 312.454.9100

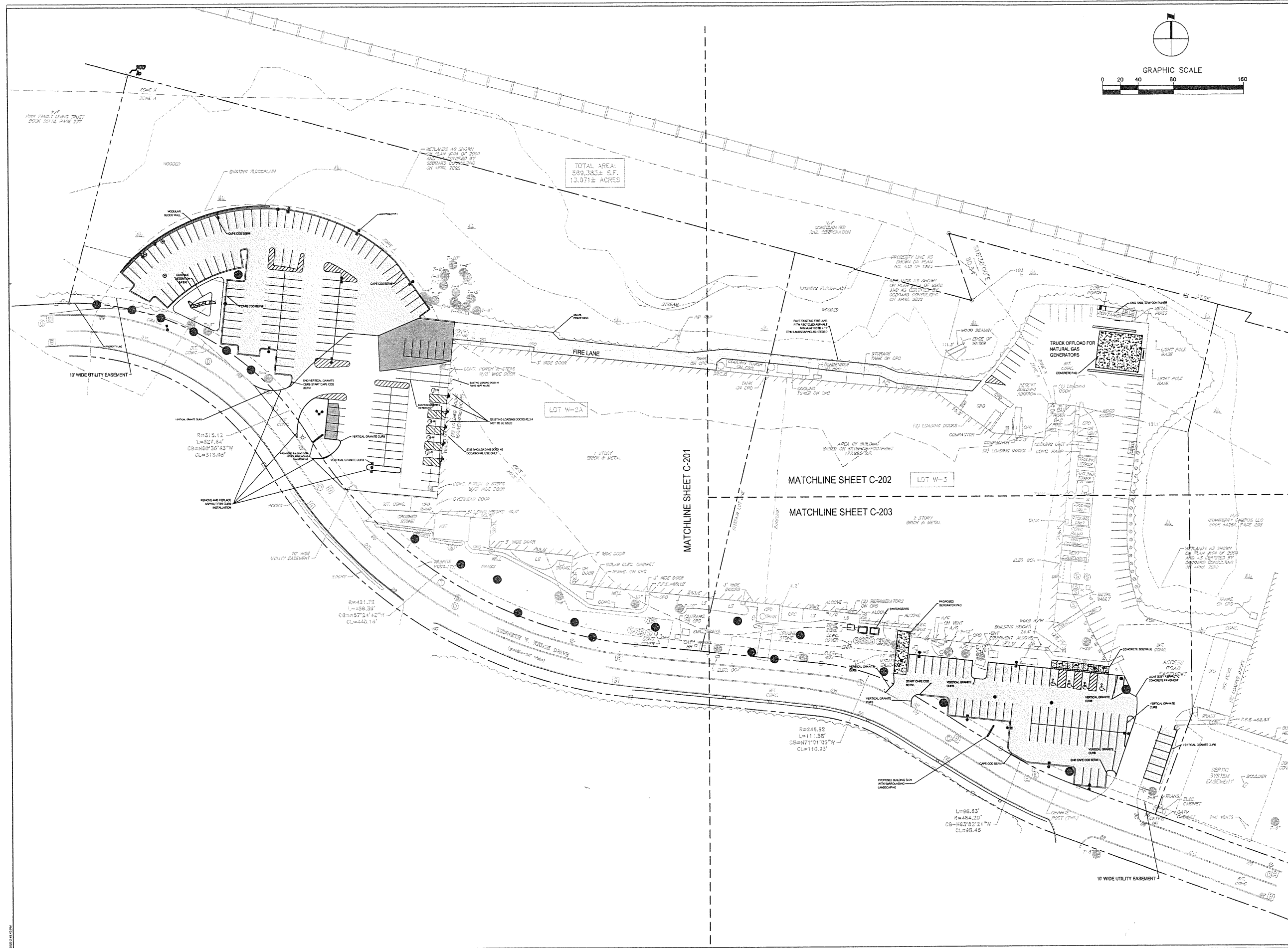
Civil Engineer
 Epstein
 600 West Fulton Street
 Chicago, Illinois 60661-1259
 312.454.9100






Owner
 Vega Strategic
 3414 Peachtree Rd. Ste 990
 Atlanta, GA 30328
 770.400.9581

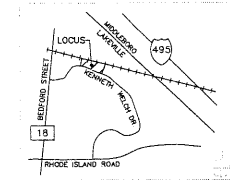
Project
 Vega Strategic - Lakeville
 310 Kenneth Welch Dr
 Lakeville, MA 02347



C-103



-  HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
-  LIGHT DUTY ASPHALTIC CONCRETE PAVEMENT
-  GRAVEL RESURFACING
-  HEAVY DUTY CONCRETE PAVEMENT
-  CONCRETE SIDEWALK



NO.	DATE	REVISIONS/SITUANCES
03	10/24/2022	PLANNING MEETING
02	10/14/2022	ISSUE FOR BID
01	07/21/2022	PLANNING & ZONING APPROVAL

EPSTEIN
 Architecture
 Interiors
 Engineering
 Construction

Chicago
 New York
 Bucharest
 Warsaw

800 W. Fulton Street
 Chicago, IL 60611-1259
 312.454.9100

www.epsteinglobal.com

PROJECT NUMBER: 22157
 PROJECT MANAGER: T. RUSSELL
 PA I P E: T. SMILES
 DRAWN BY: A. OUTLEY
 CHECKED BY: D. HILTY

OVERALL SITE PAVING PLAN

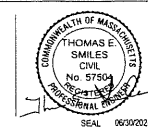
C-200

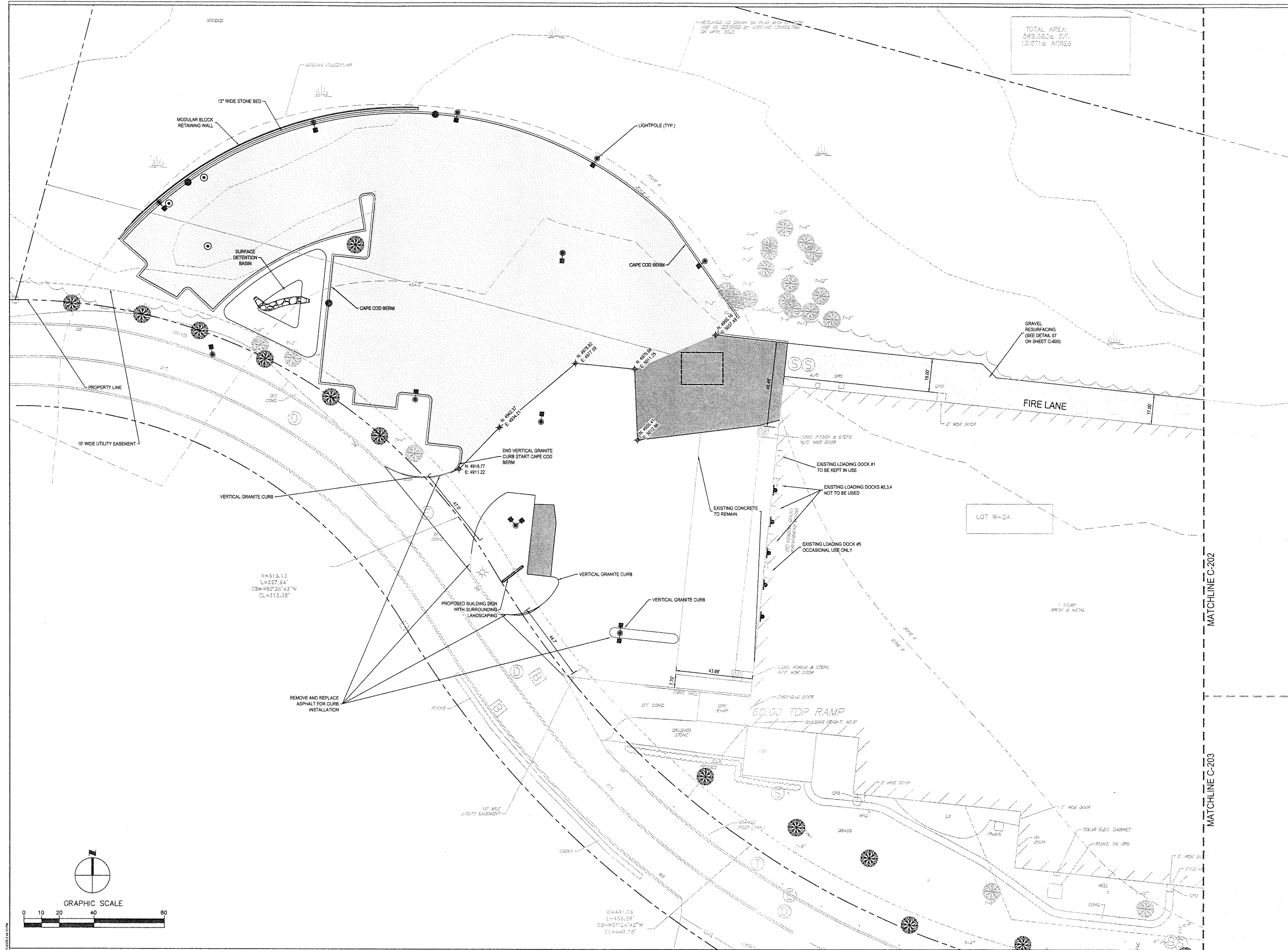
Electrical Engineer
 Epstein
 800 West Fulton Street
 Chicago, Illinois 60611-1259
 312.454.9100

Civil Engineer
 Epstein
 800 West Fulton Street
 Chicago, Illinois 60611-1259
 312.454.9100

Owner
 Vega Strategic
 3414 Peachtree Rd, Ste 990
 Atlanta, GA 30326
 770.400.9681

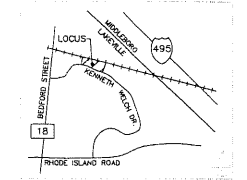
Project
 Vega Strategic - Lakeville
 310 Kannahs Way Dr
 Lakeville, MA 02347





TOTAL AREA:
689,326 SF.
15.0716 ACRES

- LEGEND:**
- HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT (SEE DETAIL 03 ON SHEET C-600)
 - LIGHT DUTY ASPHALTIC CONCRETE PAVEMENT (SEE DETAIL 02 ON SHEET C-600)
 - GRAVEL RESURFACING (SEE DETAIL 07 ON SHEET C-600)
 - HEAVY DUTY CONCRETE PAVEMENT (SEE DETAIL 04 ON SHEET C-600)
 - CONCRETE SIDEWALK (SEE DETAIL 01 ON SHEET C-600)



NO.	DATE	REVISIONS/ISSUANCES
03	10/24/2022	PLANNING MEETING
02	10/14/2022	ISSUE FOR BID
01	07/21/2022	PLANNING & ZONING APPROVAL

EPSTEIN

Architecture
Interiors
Engineering
Construction

Chicago
New York
Bucharest
Warsaw

800 W. Fulton Street
Chicago, IL 60661-1259
T 312.454.9100
www.epsteinglobal.com

PROJECT NUMBER: 22157
PROJECT MANAGER: T. RUSSELL
PA I PE: T. SMILES
DRAWN BY: A. OUTLEY
CHECKED BY: D. HILTY

SITE PAVING PLAN

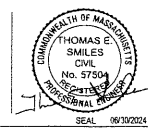
C-201

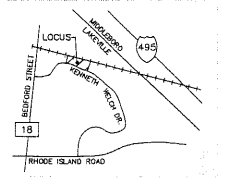
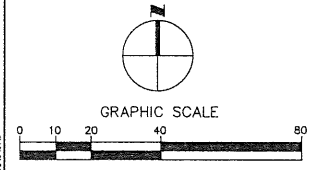
Electrical Engineer
Epstein
800 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

Civil Engineer
Epstein
800 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

Owner
Vega Strategic - Lakeville
3414 Peachtree Rd. Ste 990
Atlanta, GA 30326
770.400.9681

Project
Vega Strategic - Lakeville
310 Kenneth Welch Dr
Lakeville, MA 02347





NO.	DATE	REVISIONS/SUANCES
03	10/24/2022	PLANNING MEETING
02	10/14/2022	ISSUE FOR BID
01	07/21/2022	PLANNING & ZONING APPROVAL

EPSTEIN

Architecture
 Interiors
 Engineering
 Construction

Chicago
 New York
 Bucharest
 Warsaw

600 W. Fulton Street
 Chicago, IL 60661-1259
 T 312.454.9100
 www.epsteinglobal.com

PROJECT NUMBER: 22157
 PROJECT MANAGER: T. RUSSELL
 PA 1 PE: T. SMILES
 DRAWN BY: A. OUTLEY
 CHECKED BY: D. HILTY

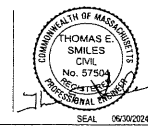
SITE UTILITY PLAN

Electrical Engineer
 Epstein
 600 West Fulton Street
 Chicago, Illinois 60661-1259
 312.454.9100

Civil Engineer
 Epstein
 600 West Fulton Street
 Chicago, Illinois 60661-1259
 312.454.9100

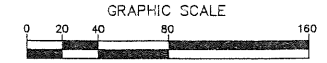
Owner
 Vega Strategic
 3414 Peachtree Rd, Ste 950
 Atlanta, GA 30326
 770.400.9901

Project
 Vega Strategic - Lakeville
 310 Kenneth Welch Dr
 Lakeville, MA 02347

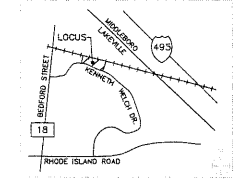


C-401

TO 15° E ROTATED TO
BEARING S74°55'42"E



- LEGEND:**
- TEMPORARY CONSTRUCTION ENTRANCE
 - SLOPE PROTECTION
 - SILT FENCE
 - LIMITS OF DISTURBANCE
 - BASKET TYPE INLET PROTECTION
 - TREE PROTECTION
 - STRAW BALE BARRIER
 - RIP RAP



NO.	DATE	REVISIONS/SITUANCES
03	10/24/2022	PLANNING MEETING
02	10/14/2022	ISSUE FOR BID
01	07/21/2022	PLANNING & ZONING APPROVAL

EPSTEIN

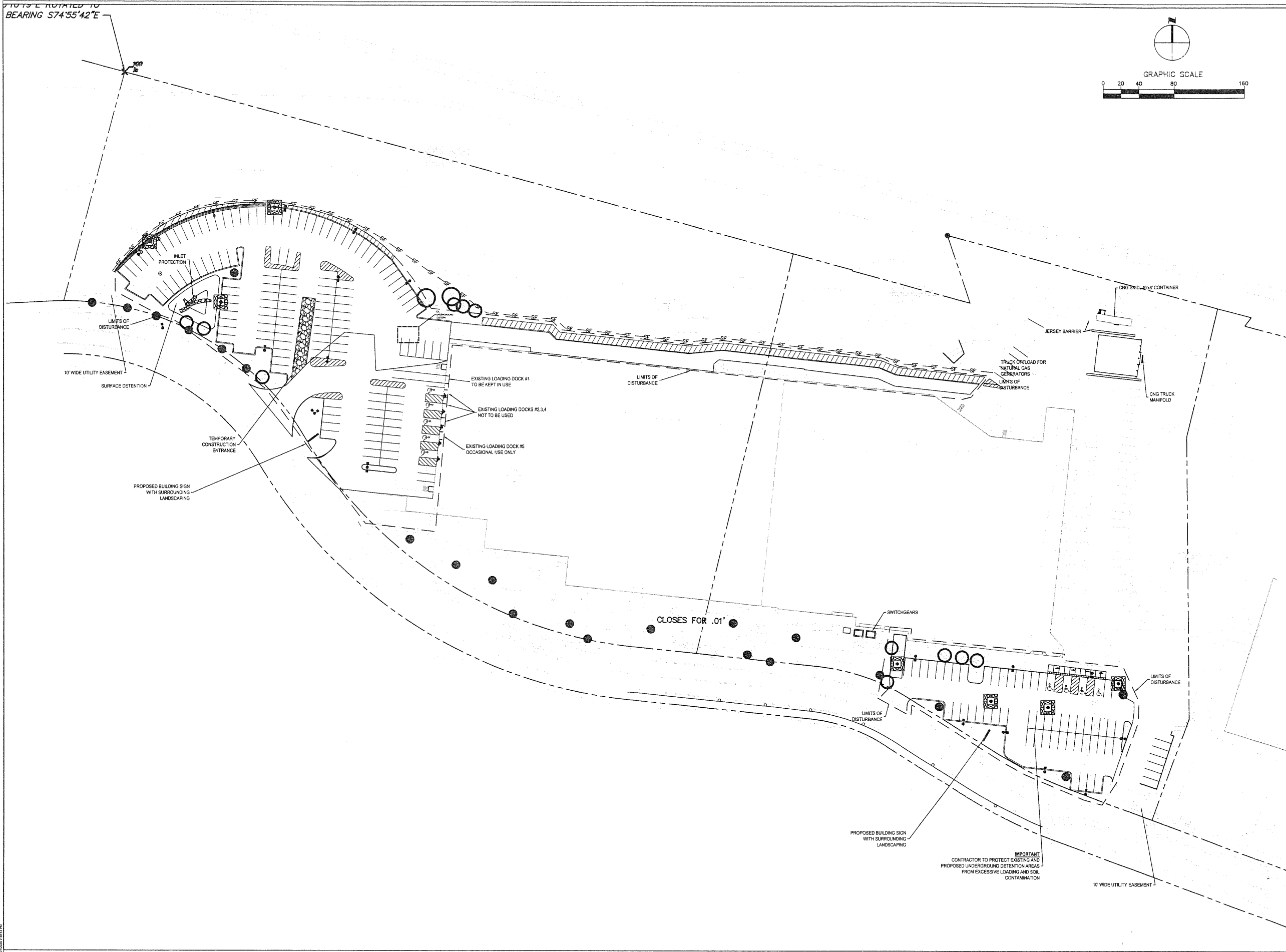
Architecture Chicago
Interiors New York
Engineering Bucharest
Construction Warsaw

600 W. Fulton Street
Chicago, IL 60661-1259
T 312.454.9100
www.epstein911.com

PROJECT NUMBER: 22157
PROJECT MANAGER: T. RUSSELL
PA I PE: T. SMILES
DRAWN BY: A. OUTLEY
CHECKED BY: D. HILTY

OVERALL EROSION AND SEDIMENT CONTROL PLAN

C-500



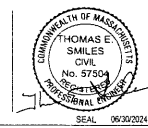
IMPORTANT
CONTRACTOR TO PROTECT EXISTING AND PROPOSED UNDERGROUND DETENTION AREAS FROM EXCESSIVE LOADING AND SOIL CONTAMINATION

Electrical Engineer
Epstein
800 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

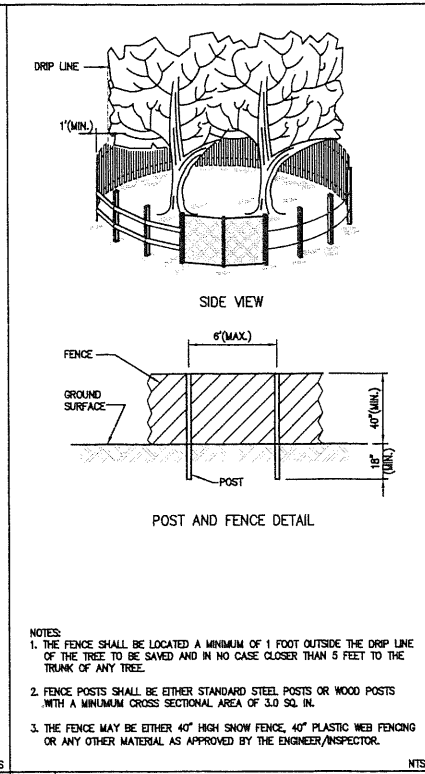
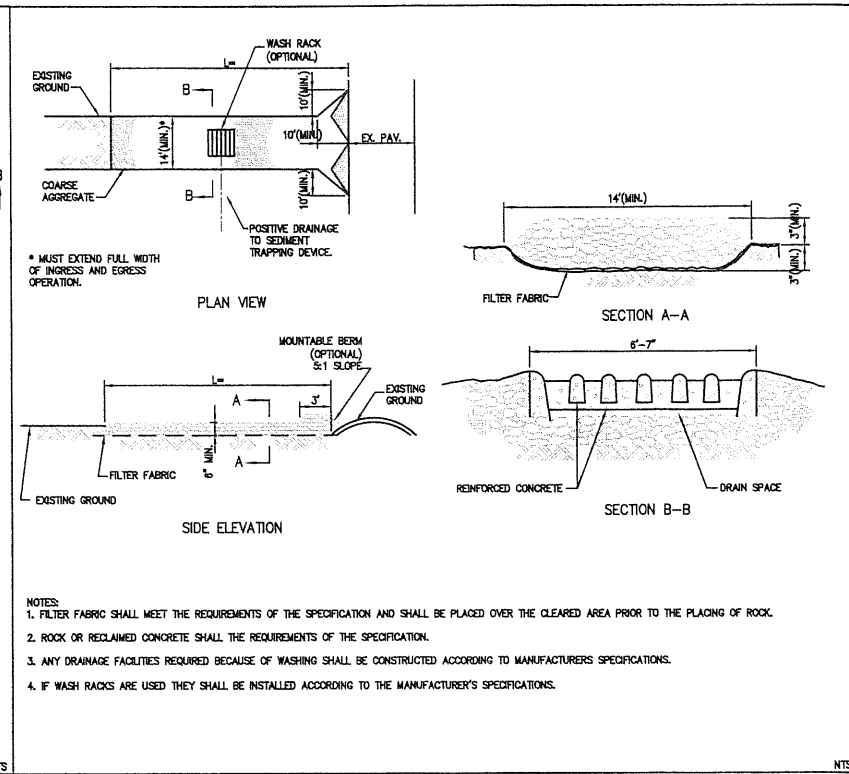
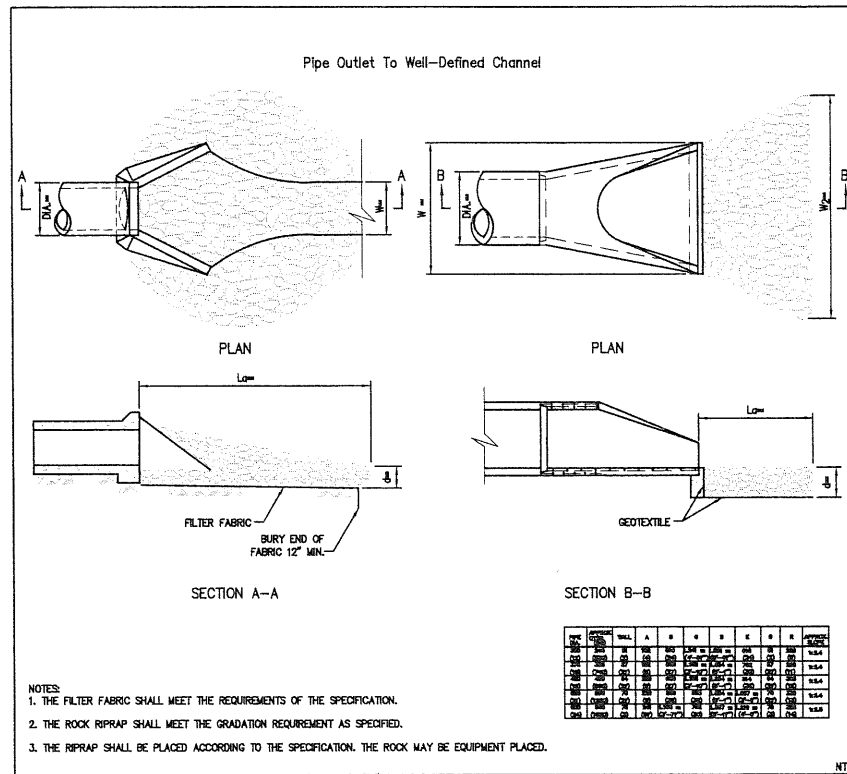
Civil Engineer
Epstein
800 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

Owner
Vega Strategic
3414 Peachtree Rd, Ste 900
Atlanta, GA 30326
770.400.9681

Project
Vega Strategic - Lakeville
310 Kenneth Welch Dr
Lakeville, MA 02347



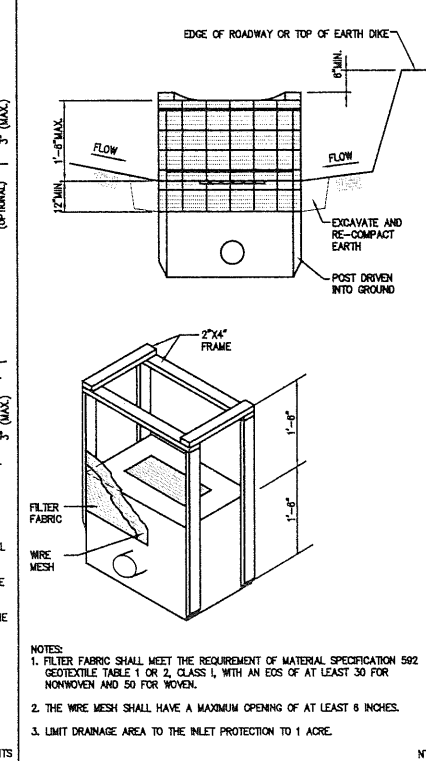
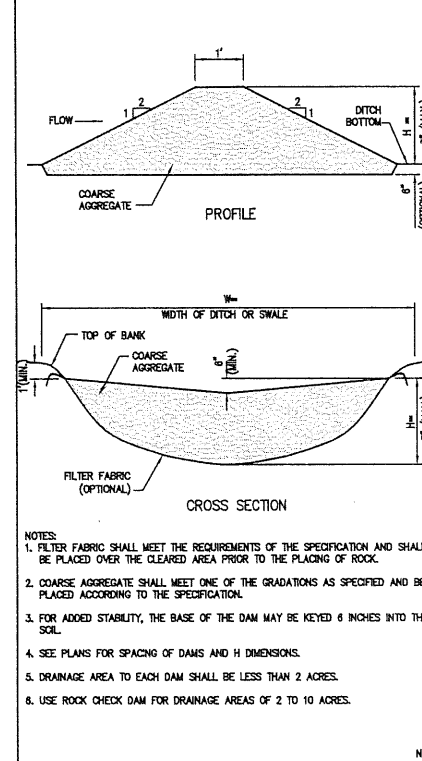
SEAL 06/30/2024



06 ROCK OUTLET PROTECTION NTS

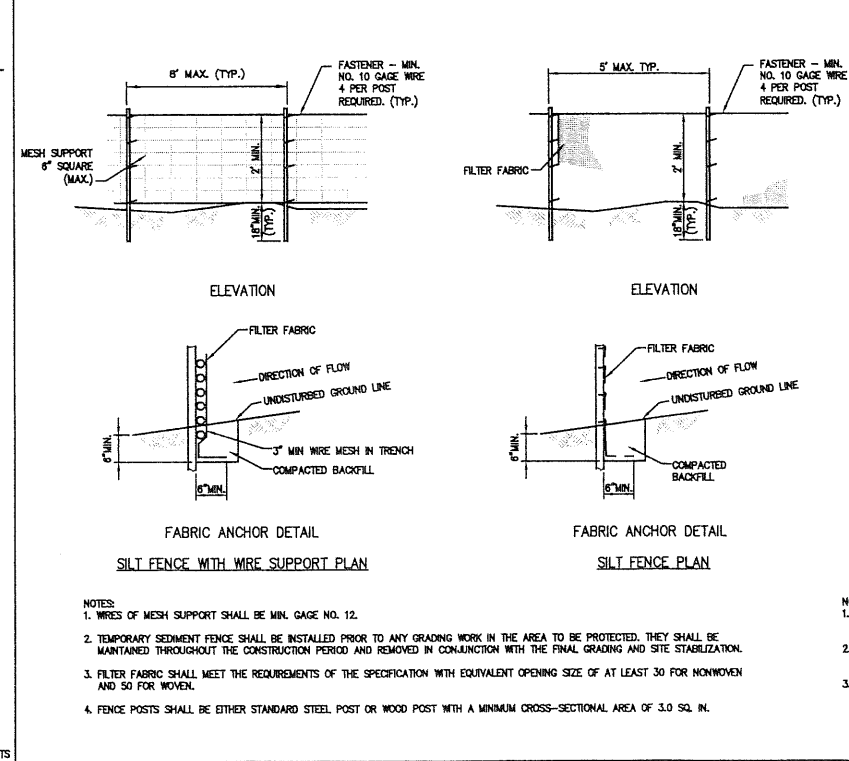
05 STABILIZED CONSTRUCTION ENTRANCE NTS

04 TREE PROTECTION NTS

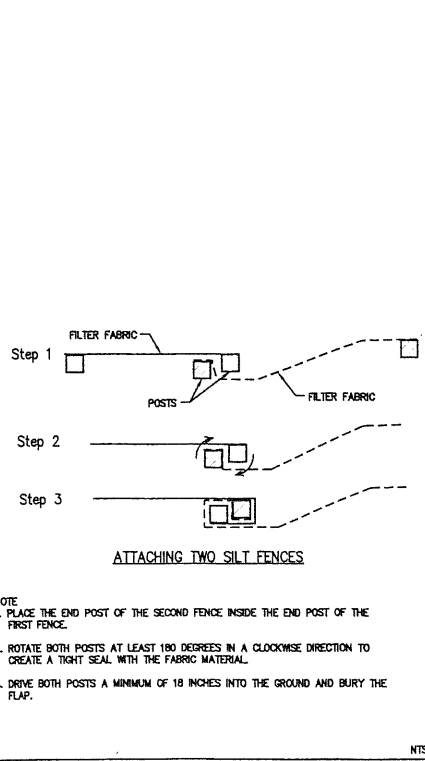


03 ROCK CHECK DAM-COARSE AGGREGATE NTS

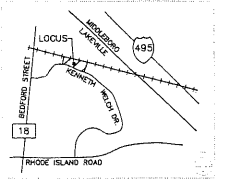
02 INLET PROTECTION - FABRIC DROP NTS



01 SILT FENCE NTS



04 ATTACHING TWO SILT FENCES NTS



NO.	DATE	REVISIONS/SITUANCES
01	07/21/2022	PLANNING & ZONING APPROVAL
02	10/24/2022	PLANNING MEETING

EPSTEIN

Architecture
Interior
Engineering
Construction

Chicago, IL 60661-1259
T 312.454.9100
www.epsteinglobal.com

PROJECT NUMBER: 22157
PROJECT MANAGER: T. RUSSELL
PA1 PE: T. SMILES
DRAWN BY: A. OUTLEY
CHECKED BY: D. HILTY

SITE EROSION AND
SEDIMENT CONTROL
NOTES & DETAILS

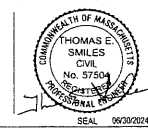
C-503

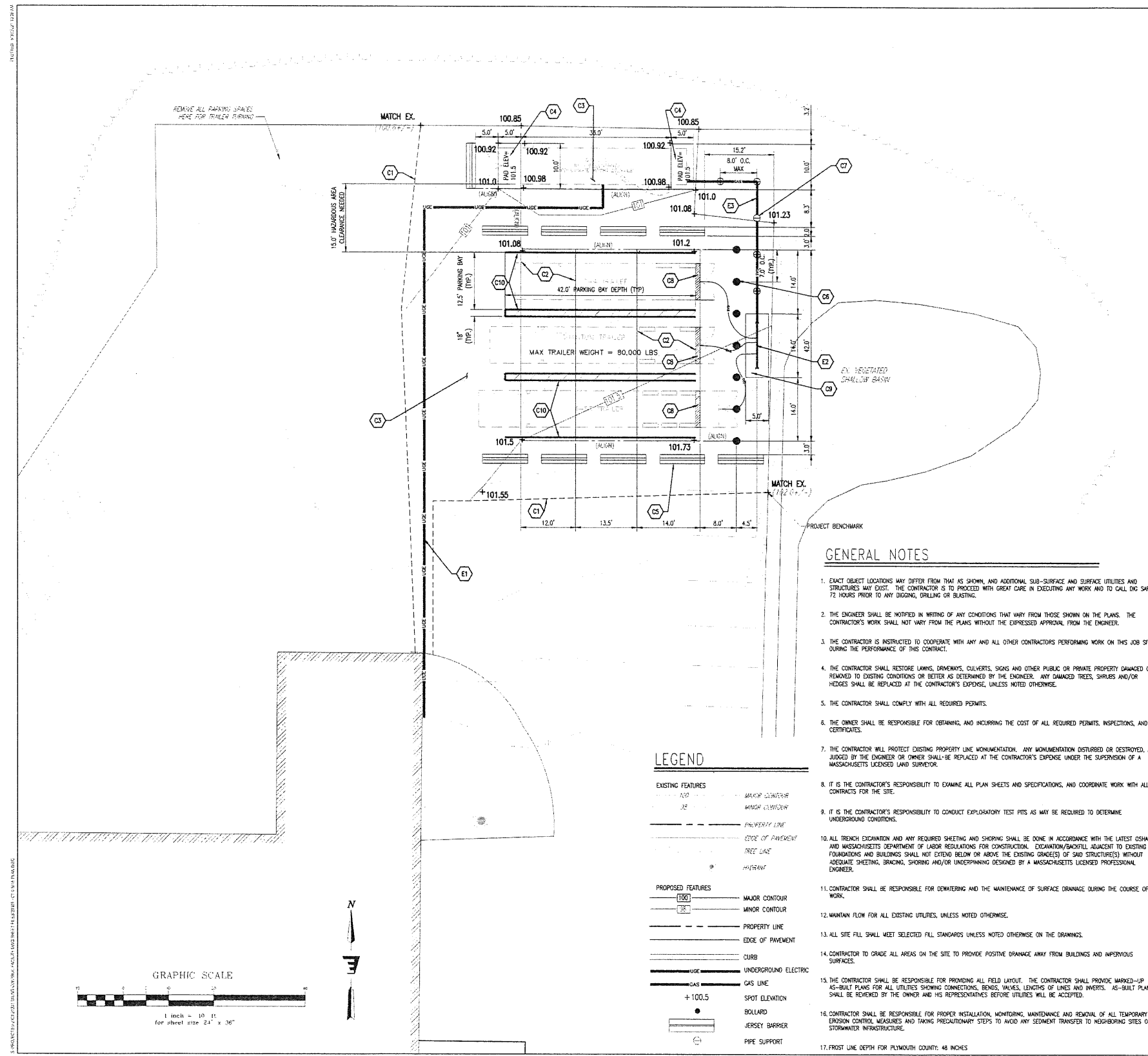
Electrical Engineer
Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

Civil Engineer
Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

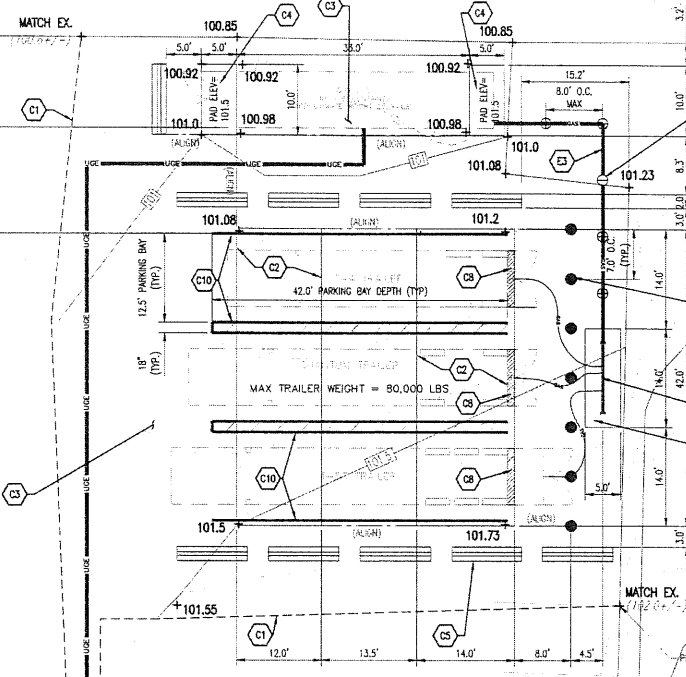
Owner
Vega Strategic
3414 Peachtree Rd, Ste 990
Atlanta, GA 30328
770.400.9681

Project
Vega Strategic - Lakeville
310 Kenneth Wood Dr
Lakeville, MA 02347





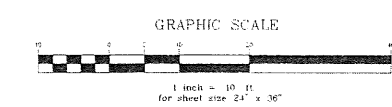
REMOVE ALL PARKING SPACES HERE FOR FUTURE PARKING



LEGEND

EXISTING FEATURES	
(Symbol)	MAJOR CONTOUR
(Symbol)	MINOR CONTOUR
(Symbol)	PROPERTY LINE
(Symbol)	EDGE OF PAVEMENT
(Symbol)	TREE LINE
(Symbol)	WETLAND

PROPOSED FEATURES	
(Symbol)	MAJOR CONTOUR
(Symbol)	MINOR CONTOUR
(Symbol)	PROPERTY LINE
(Symbol)	EDGE OF PAVEMENT
(Symbol)	CURB
(Symbol)	UNDERGROUND ELECTRIC
(Symbol)	GAS LINE
(Symbol)	SPOT ELEVATION
(Symbol)	BOLLARD
(Symbol)	JERSEY BARRIER
(Symbol)	PIPE SUPPORT



GENERAL NOTES

- EXACT OBJECT LOCATIONS MAY DIFFER FROM THAT AS SHOWN, AND ADDITIONAL SUB-SURFACE AND SURFACE UTILITIES AND STRUCTURES MAY EXIST. THE CONTRACTOR IS TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK AND TO CALL DIG SAFE 72 HOURS PRIOR TO ANY DIGGING, DRILLING OR BLASTING.
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL FROM THE ENGINEER.
- THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
- THE CONTRACTOR SHALL RESTORE LAWNS, DRIVEWAYS, CURBS, SIGNS AND OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO EXISTING CONDITIONS OR BETTER AS DETERMINED BY THE ENGINEER. ANY DAMAGED TREES, SHRUBS AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, AND CERTIFICATES.
- THE CONTRACTOR WILL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERVISION OF A MASSACHUSETTS LICENSED LAND SURVEYOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS, AND COORDINATE WORK WITH ALL CONTRACTS FOR THE SITE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT EXPLORATORY TEST PITS AS MAY BE REQUIRED TO DETERMINE UNDERGROUND CONDITIONS.
- ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH THE LATEST OSHA AND MASSACHUSETTS DEPARTMENT OF LABOR REGULATIONS FOR CONSTRUCTION. EXCAVATION/BACKFILL ADJACENT TO EXISTING FOUNDATIONS AND BUILDINGS SHALL NOT EXTEND BELOW OR ABOVE THE EXISTING (GRADES) OF SAID STRUCTURE(S) WITHOUT ADEQUATE SHEETING, BRACING, SHORING AND/OR UNDERPINNING DESIGNED BY A MASSACHUSETTS LICENSED PROFESSIONAL ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DEMATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF WORK.
- MAINTAIN FLOW FOR ALL EXISTING UTILITIES, UNLESS NOTED OTHERWISE.
- ALL SITE FILL SHALL MEET SELECTED FILL STANDARDS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- CONTRACTOR TO GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND IMPERVIOUS SURFACES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROMISING ALL FIELD LAYOUT. THE CONTRACTOR SHALL PROVIDE MARKED-UP AS-BUILT PLANS FOR ALL UTILITIES SHOWING CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND HIS REPRESENTATIVES BEFORE UTILITIES WILL BE ACCEPTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION, MONITORING, MAINTENANCE AND RECORD OF ALL TEMPORARY EROSION CONTROL MEASURES AND TAKING PRECAUTIONARY STEPS TO AVOID ANY SEDIMENT TRANSFER TO ADJACENT SITES OR STORMWATER INFRASTRUCTURE.
- FROST LINE DEPTH FOR PLYMOUTH COUNTY: 48 INCHES

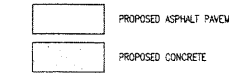
DEMOLITION NOTES

- ALL DEMOLITION ITEMS FROM THE DEMOLITION, UNLESS NOTED BY THE OWNER TO BE STORED OR REUSED, BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE. SOIL DISPOSAL SHALL BE AS DIRECTED BY OWNER. ALL DEMOLITION MATERIALS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH REQUIREMENTS OF REGULATORY AGENCIES HAVING JURISDICTION. ALL DEMOLITION ITEMS SHALL BE DEPOSED OF AT AN APPROVED AND PERMITTED FACILITY.
- ALL ADJACENT FACILITIES AND STRUCTURES NOT INDICATED AS INCLUDED IN THE SCOPE OF WORK, SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. ALL ADJACENT FACILITIES OR STRUCTURES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED TO PRE-CONSTRUCTION CONDITION OR BETTER.
- EXISTING UTILITY CONNECTIONS TO BE DEMOLISHED, INCLUDING WATER, SANITARY SEWER, NATURAL GAS, OVERHEAD & BURIED ELECTRIC, TELEPHONE, CABLE, ETC. SHALL BE TERMINATED AT THE SERVICE MAIN IN ACCORDANCE WITH THE UTILITY COMPANY OR LOCAL REQUIREMENTS. ALL OVERSIE PIPING, WIRING, CONDUITS & STRUCTURES TO BE DEMOLISHED SHALL BE REMOVED.
- IF HAZARDOUS MATERIALS OR WASTE IS ENCOUNTERED DURING DEMOLITION WORK, THE CONTRACTOR SHALL CONTACT THE REGULATORY AGENCIES AND COMPLY WITH THE JURISDICTIONAL REQUIREMENTS. HAZARDOUS MATERIALS AND WASTES MUST BE REMOVED BY A PERMITTED HAZARDOUS WASTE CONTRACTOR TO A PERMITTED HAZARDOUS WASTE SITE PERMITTED TO ACCEPT THE CHARACTERIZED WASTE.
- TAKE ALL PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK AREA DURING DEMOLITION PROCEDURES. THE CONTRACTOR SHALL MINIMIZE DUST AND NOISE POLLUTION GENERATED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES.
- PRIOR TO DEMOLITION, HAND EXCAVATE ANY UNDERGROUND UTILITIES. NOTIFY THE OWNER IF ANY OTHER UTILITIES NOT NOTED ON THE DRAWINGS ARE FOUND.
- CARE SHALL BE TAKEN NOT TO DAMAGE OR DISTURB ANY TREES NOT CALLED OUT FOR REMOVAL DURING CONSTRUCTION. KEEP CONSTRUCTION ACTIVITIES AND EQUIPMENT OUTSIDE OF DRP LINE OF EXISTING TREES TO REMAIN AND NEWLY INSTALLED TREES.
- ALL REPRESSIONS OR VIDS IN THE GROUND SURFACE RESULTING FROM DEMOLITION WORK SHALL BE BACKFILLED WITH CLEAN, GRANULAR FILL MATERIALS MEETING MASSACHUSETTS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR GRAVEL BORROW (M1.0.5.0 TYPE 6) AND SHALL BE COMPACTED TO A MINIMUM 95% MODIFIED PROCTOR DENSITY AND PLACED IN 8" LIFTS MAXIMUM.
- THE CONTRACTOR SHALL REMOVE ALL KNOWN AND DISCOVERED EXISTING SANITARY SEWER AND WATER SERVICES WITHIN THE PROJECT LIMITS THAT ARE NOT TO BE REUSED. THE CONTRACTOR SHALL CAP REMOVED SANITARY SEWER SERVICES AT THE MAIN. THE CONTRACTOR SHALL PLUG REMOVED WATER SERVICES AT THE TAP TO THE WATER MAIN.
- COORDINATE SHUTDOWN OF EXISTING UTILITIES WITH THE OWNER PRIOR TO COMMENCEMENT OF WORK.

SITE NOTES

- C1 SHUTOUT AND REMOVE EXISTING PAVEMENT. EXISTING SUBBASE TO BE REUSED IF DEEMED SUITABLE BY ENGINEER.
- C2 PROPOSED EXTERIOR CONCRETE TRAILER PAD. SEE DETAIL 2/SHEET C2.0.
- C3 PROPOSED ASPHALT PAVEMENT. EXISTING SUBBASE MAY BE REUSED IF DEEMED SUITABLE BY ENGINEER. SEE DETAIL 1/SHEET C2.0.
- C4 PROPOSED EXTERIOR CONCRETE CNG SKID PAD. SEE DETAIL 5/SHEET C2.0.
- C5 PROPOSED JERSEY BARRIERS, (10) TOTAL, (TYP.). SEE DETAIL 6/SHEET C2.0.
- C6 PROPOSED BOLLARDS, (7) TOTAL, (TYP.). SEE DETAIL 8/SHEET C2.0.
- C7 PROPOSED PIPE SUPPORTS, (5) TOTAL, (TYP.). SEE DETAIL 9/SHEET C2.0 SET TOP OF ALL PIERS 6" ABOVE PROJECT BENCHMARK.
- C8 PROPOSED TRUCK WHEEL STOP (TYP.). SEE DETAIL 3/SHEET C2.0.
- C9 PROPOSED EXTERIOR CONCRETE TRUCK GAS MANIFOLD STATION PAD. SEE DETAIL 4/SHEET C2.0. CENTER PAD ON TRAILER PAD.
- C10 PROPOSED 4" SOLID WHITE LINE PARKING STRIPE (TYP.). DIAGONAL STRIPING TO BE AT 45-DEG AND SPACED 6 FT O.C.

PROPOSED SURFACES LEGEND

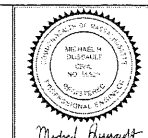


UTILITY NOTES

- E1 PROPOSED BURIED ELECTRICAL CONDUIT FOR POWER AND CONTROL WIRING BY OTHERS
- E2 PROPOSED TRUCK GAS MANIFOLD STATION BY OTHERS.
- E3 PROPOSED ABOVE GROUND GAS AND ELECTRICAL LINES FROM TRUCK GAS MANIFOLD STATION TO CNG SKID BY OTHERS.

SURVEY NOTES

- EXISTING BOUNDARIES AND PHYSICAL FEATURES SHOWN HEREIN ARE BASED ON PLAN PROVIDED BY TECH VALLEY ENGINEERING, PLLC, ENTITLED "SITE PLAN APPROVAL AND SPECIAL PERMIT FOR AN ADULT USE MARIJUANA ESTABLISHMENT", PREPARED BY AZOR LAND SCIENCES, INC. AND DATED 1/27/2021. TOPOGRAPHIC INFORMATION PROVIDED IS BASED ON A SITE SCAN CONDUCTED BY TECH VALLEY ENGINEERING, PLLC.
- ENGINEERING VENTURES HAS NOT PERFORMED ANY BOUNDARY OR TOPOGRAPHIC SURVEYS. THE PROPERTY LINES, EASEMENTS, AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED ON THESE PLANS DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN MA STATUTES, AND SHALL NOT BE USED AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.
- UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURVEYED PREMISES. EXISTING UTILITIES SHOWN ON PLANS WERE TAKEN FROM FIELD OBSERVATIONS OF VISIBLE UTILITIES AND PREVIOUS MAPS AND RECORD UTILITY DRAWINGS AND NOT GUARANTEED TO BE ACCURATE OR COMPLETE. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING UTILITY LOCATIONS PRIOR TO COMMENCING WORK. NOTIFY ENGINEER OF ANY DISCREPANCY BETWEEN UTILITIES AS SHOWN AND AS FOUND. THE CONTRACTOR SHALL CONTACT DIG SAFE (811) A MINIMUM OF 72 HOURS, BUT NOT INCLUDING SATURDAYS, SUNDAYS AND LEGAL HOLIDAYS, PRIOR TO ANY CONSTRUCTION.



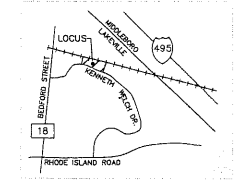
Date	Description
8/29/21	REUSED PER OWNER'S COMMENTS
8/29/21	REUSED PER OWNER'S COMMENTS

ENGINEERING VENTURES PC
 288 Hyattsville, Suite 50, Burlington, MA 01803 • 401.664.8225
 81 Union Street, Scarborough, NY 12585 • 518.526.9812
 www.engineeringventures.com

TECH VALLEY ENGINEERING, PLLC
 308 WOLF ROAD
 LAKEVILLE, MA 01450
 (617) 204-1100

SITE PLAN
COLD STORAGE SOLUTIONS
NATURAL GAS CONTROL FACILITY
 310 KENNETH WELCH DR., TOWN OF LAKEVILLE, PLYMOUTH CO., MA

Sheet No.	Project No.
Drawn By:	Checked By:
Scale:	Date:
C1.0	



No.	DATE	REVISIONS/ISSUANCES
03	10/24/2022	PLANNING MEETING
02	10/14/2022	ISSUE FOR BID
01	07/21/2022	PLANNING & ZONING APPROVAL

EPSTEIN
 Architecture Interior Engineering Construction
 600 W. Fulton Street
 Chicago, IL 60661-1259
 T 312.454.9100
 www.epsteinllp.com

PROJECT NUMBER:	22157
PROJECT MANAGER:	T. RUSSELL
PA 1 PE:	T. SMILES
DRAWN BY:	A. OUTLEY
CHECKED BY:	D. HILTY

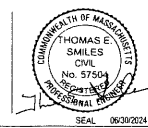
CNG FUELING STATION DETAILS
C-602

Electrical Engineer
 Epstein
 600 West Fulton Street
 Chicago, Illinois 60661-1259
 312.454.9100

Civil Engineer
 Epstein
 600 West Fulton Street
 Chicago, Illinois 60661-1259
 312.454.9100

Owner
 Vega Strategic - Lakeville
 3414 Peachtree Rd, Ste 900
 Atlanta, GA 30326
 770.400.9681

Project
 Vega Strategic - Lakeville
 310 Kenneth Welch Dr
 Lakeville, MA 02347



SITE/EARTHWORK SPECIFICATIONS

- PRIOR TO THE START OF THE WORK, A PRE-CONSTRUCTION MEETING WILL BE HELD WITH THE CONTRACTOR, OWNER, AND PROJECT ENGINEER TO REVIEW PROCEDURES, AND IDENTIFY RESPONSIBILITIES. UNLESS STATED OTHERWISE, ALL MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS.
- CLEARING AND GRUBBING - ALL TOPSOIL AND UNSUITABLE MATERIALS SHALL BE REMOVED FROM IMPACTED AREAS.
- COMPACTION SHALL BE PERFORMED USING VIBRATORY ROLLERS AND WATER IN LIFTS OF NO GREATER THAN SIX INCHES. COMPACTION SHALL BE PERFORMED UNTIL THE REQUIRED DENSITY IS ACHIEVED. DENSITY SHALL BE DETERMINED BY AASHTO T229 METHOD AND SHALL NOT BE LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY FOR PAVED AREAS AND 90 PERCENT OF THE MAXIMUM DENSITY FOR NON PAVED AREAS DETERMINED IN ACCORDANCE WITH AASHTO T99.
- COMPACTION TESTING SHALL BE PERFORMED FOR EVERY LAYER OF MATERIAL PLACED AND FOR EVERY 1000 SQUARE FEET OF AREA.
- ALL REMAINING DISTURBED AREAS WITHIN THE RIGHT OF WAY SHALL BE FERTILIZED AND SEEDING IN ACCORDANCE WITH THE COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS.
- THE SEEDING OF SLOPES OF 3:1 AND GREATER AND DITCHES SHALL REQUIRE THE USE OF EROSION CONTROL MATING.
- COST OF INITIAL INSPECTION AND TESTING SHALL BE PAID BY THE OWNER. SUBSEQUENT TESTING OF MATERIALS NOT PASSING INITIAL INSPECTION, SHALL BE PAID BY THE CONTRACTOR.
- ALL EARTHWORK MATERIALS SHALL BE OBTAINED FROM APPROVED SOURCES. THEY SHALL CONSIST OF SATISFACTORILY GRADED, FREE DRAINING MATERIAL, REASONABLY FREE FROM LOAM, SALT, CLAY AND ORGANIC MATERIAL. EARTHWORK MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING TABLES (PLEASE REFER TO COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STAND SPECIFICATIONS, DATED 2021 FOR ALL ITEMS NOT LISTED IN THE TABLE BELOW):

A. SAND BLANKET/BEDDING:	SEIVE DESIGNATION	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES
	2 INCHES	100
	1 1/2 INCHES	90 - 100
	1/2 INCH	70 - 100
	No. 4	60 - 100
	No. 100	0 - 20
	No. 200	0 - 8

B. 3/4" CRUSHED STONE	SEIVE DESIGNATION	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES
	1 INCH	100
	3/4 INCH	90 - 100
	3/8 INCH	20 - 55
	No. 4	0 - 10
	No. 8	0 - 5

C. GRANULAR BACKFILL (FOR USE ON STRUCTURES, PIPE TRENCHING AND/OR GENERAL BACKFILL)	SEIVE DESIGNATION	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES
	3 INCHES	100
	2 INCHES	55 - 80
	1 1/4"	30 - 50
	No. 40	5 - 30
	No. 200	0 - 8

D. TOPSOIL:	SEIVE DESIGNATION	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES
	3 INCHES	100
	2 INCHES	55 - 80
	1 1/4"	30 - 50
	No. 40	5 - 30
	No. 200	0 - 8

GENERAL QUALIFICATIONS:
 COMPOSITION: USE AS A PLANTING MEDIUM FOR THE PROJECT. ONLY FERTILE, FRABLE, WELL-DRAINED SOIL, OF UNIFORM QUALITY, FREE OF STONES OVER 1 IN. DIAMETER, STICKS, OILS, ORIGINALS, PLASTER, CONCRETE, PESTS AND INFESTATIONS AND OTHER DELETERIOUS MATERIALS. SUBMIT SOIL ANALYSIS FOR IMPORT TOPSOIL.

IMPORTED TOPSOIL: FURNISH IMPORTED TOPSOIL FROM SOURCES ACCEPTED BY THE LANDSCAPE ARCHITECT/ENGINEER WHICH MEETS THE STANDARDS SPECIFIED UNDER "GENERAL QUALIFICATIONS" ABOVE.

VERIFICATION: QUANTITY OF TOPSOIL TO COMPLETE THE WORK SHALL BE CALCULATED BY THE CONTRACTOR AND INCLUDED IN THEIR BID PRICE.

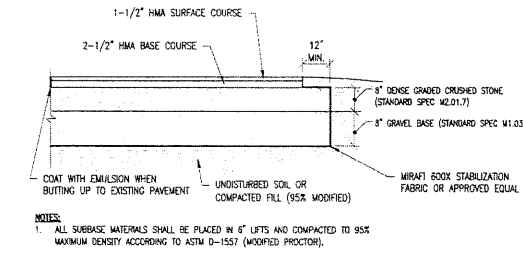
ANALYSIS: OBTAIN AN AGRICULTURAL SUITABILITY ANALYSIS AND SOIL TEXTURE ANALYSIS OF THE PROPOSED TOPSOIL FROM AN ACCREDITED SOILS LABORATORY AT CONTRACTOR'S COST.

ACCEPTANCE: SUBMIT SOILS ANALYSIS AND RECOMMENDATIONS TO THE LANDSCAPE ARCHITECT/ENGINEER FOR ACCEPTANCE. AMEND TOPSOIL PER ACCEPTED SOILS ANALYSIS REPORT.

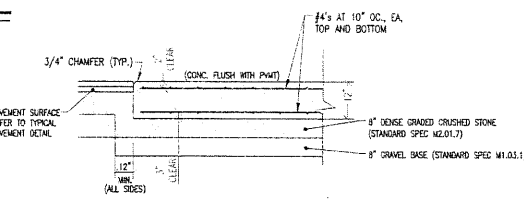
SAMPLES: THE LANDSCAPE ARCHITECT/ENGINEER RESERVES THE RIGHT TO TAKE SAMPLES OF THE IMPORTED TOPSOIL DELIVERED TO THE SITE FOR CONFORMANCE TO THE SPECIFICATIONS.

REJECTED TOPSOIL: IMMEDIATELY REMOVE REJECTED TOPSOIL OFF THE SITE AT CONTRACTOR'S EXPENSE.

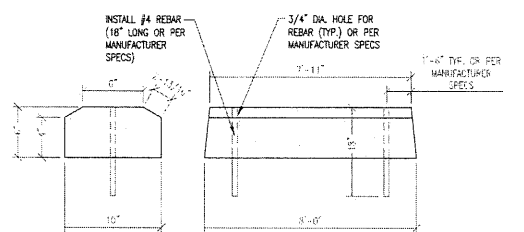
STOCKPILING: IF STOCKPILING IS REQUESTED, LOCATIONS AND AMOUNTS OF STOCKPILES WILL BE DESIGNATED BY LANDSCAPE ARCHITECT/ENGINEER.



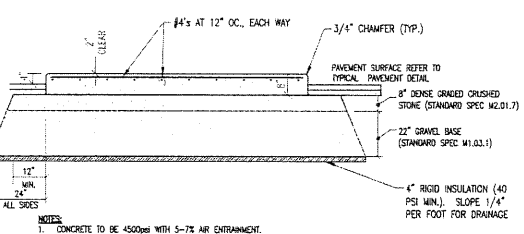
PAVEMENT DETAIL 1
NOT TO SCALE



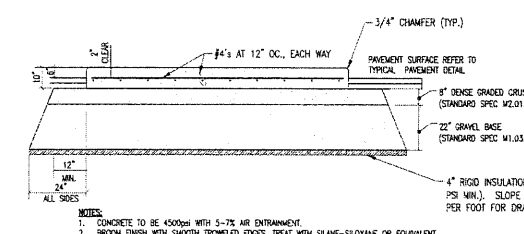
EXTERIOR CONCRETE TRAILER PAD DETAIL 2
NOT TO SCALE



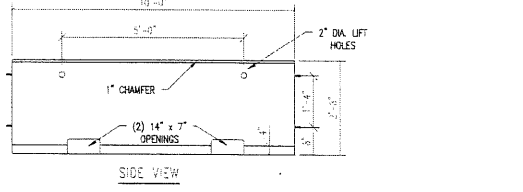
TRUCK WHEEL STOP DETAIL 3
NOT TO SCALE



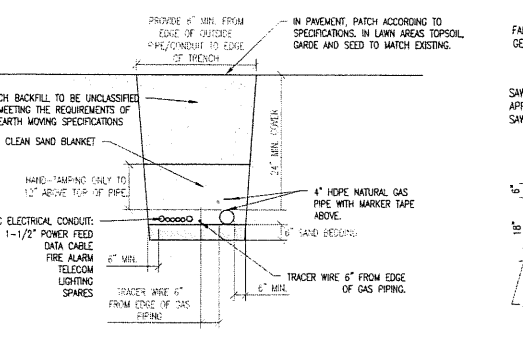
EXTERIOR CONCRETE TRUCK GAS MANIFOLD PAD 4
NOT TO SCALE



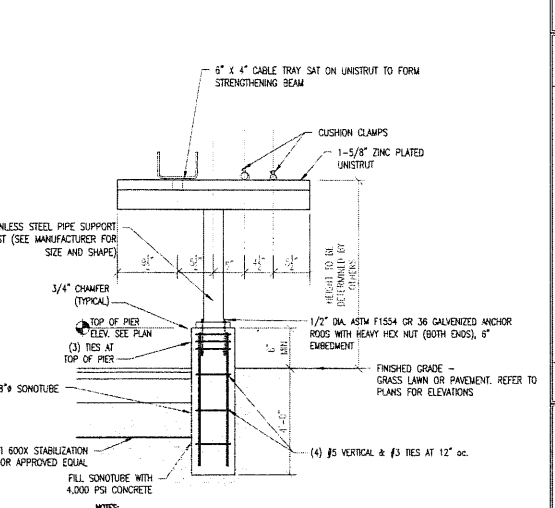
EXTERIOR CONCRETE CNG SKID PAD DETAIL 5
NOT TO SCALE



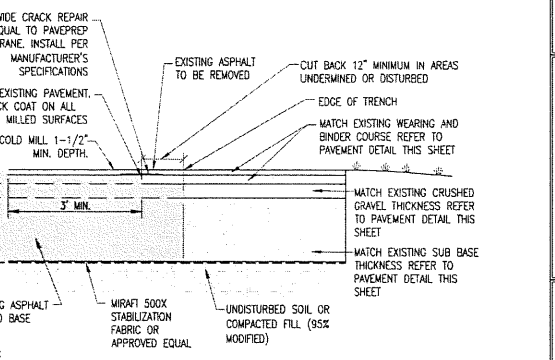
PRECAST CONCRETE JERSEY BARRIER DETAIL 6
NOT TO SCALE



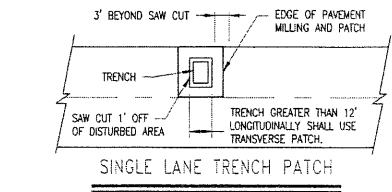
UTILITY TRENCH DETAIL 7
NOT TO SCALE



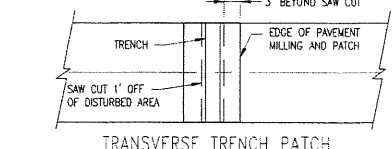
PIPE SUPPORT DETAIL 9
NOT TO SCALE



TRENCH CROSS SECTION DETAIL



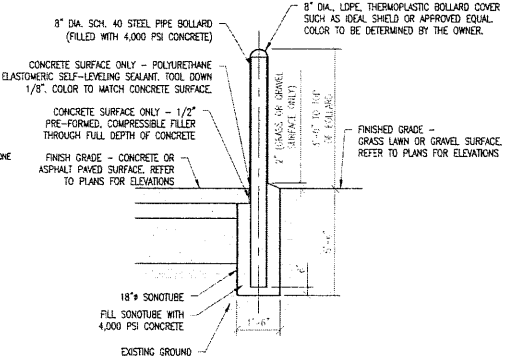
SINGLE LANE TRENCH PATCH



TRANSVERSE TRENCH PATCH



ASPHALT PAVEMENT TRENCH PATCH DETAIL 10
NOT TO SCALE



TYPICAL BOLLARD DETAIL 8
NOT TO SCALE



Date	Revised	Description
	1	REVISED PER OWNER COMMENTS
	2	REVISED PER OWNER COMMENTS

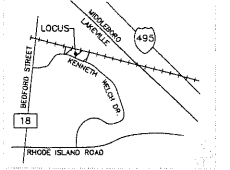
ENGINEERING VENTURES PC
 1000 North Street, Suite 200, Lakeville, MA 01846 • 978.243.8525
 400 Main Street, Suite 200, Andover, MA 01810 • 978.442.2270
 414 State Street, Southbury, CT 06488 • 518.838.8161
 www.engineeringventures.com

TECH VALLEY ENGINEERING, PLLC
 306 WOLF ROAD
 SUITE 100
 (318) 254-1150

SITE DETAILS
**COLD STORAGE SOLUTIONS
 NATURAL GAS CONTROL FACILITY**
 310 KENNETH WELCH DR., TOWN OF LAKEVILLE, PLUMOUTH CO., MA

EV Project #	21301
Drawn By	MJD
Checked By	KHD
Scale	AS NOTED
Date	08/02/2021

C2.0



No.	Date	Revisions/ISSUES
03	10/24/2022	PLANNING MEETING
02	10/14/2022	ISSUE FOR BID
01	07/21/2022	PLANNING & ZONING APPROVAL

EPSTEIN
 Architecture
 Interiors
 Engineering
 Construction

600 W. Fulton Street
 Chicago, IL 60661-1259
 312.454.9100
 www.epsteinllc.com

PROJECT NUMBER: 22157
 PROJECT MANAGER: T. RUSSELL
 PA1 PE: T. SMILES
 DRAWN BY: A. OUTLEY
 CHECKED BY: D. HILTY

CNG FUELING STATION
 DETAILS

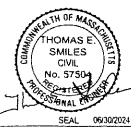
C-603

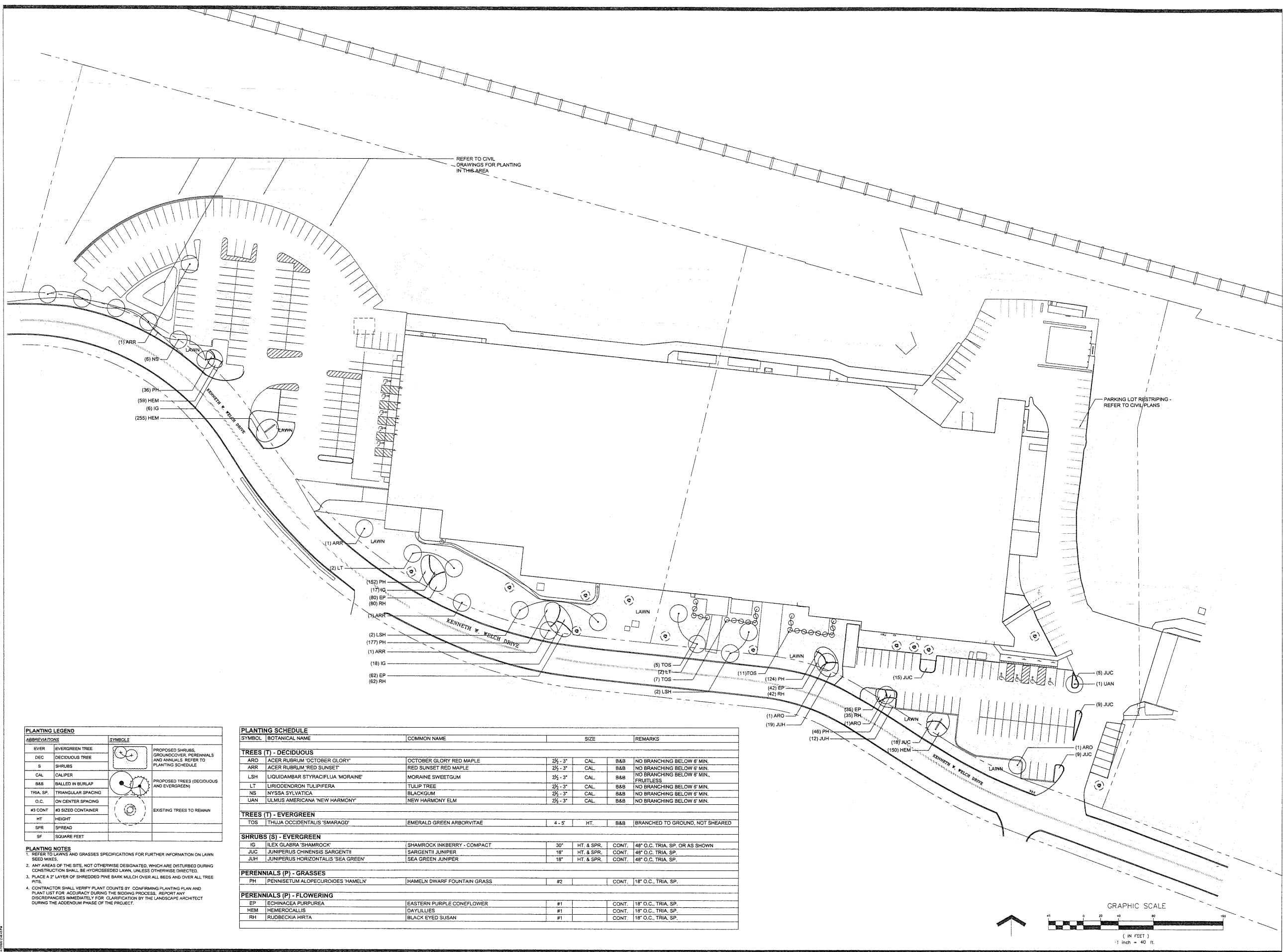
Electrical Engineer
 Epstein
 600 West Fulton Street
 Chicago, Illinois 60661-1259
 312.454.9100

Civil Engineer
 Epstein
 600 West Fulton Street
 Chicago, Illinois 60661-1259
 312.454.9100

Owner
 Vega Strategic
 3414 Peachtree Rd, Ste 990
 Atlanta, GA 30326
 770.400.9681

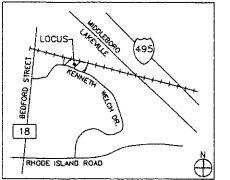
Project
 Vega Strategic - Lakeville
 310 Kenneth Welch Dr
 Lakeville, MA 02347





REFER TO CIVIL DRAWINGS FOR PLANTING IN THIS AREA

PARKING LOT RESTRIPING - REFER TO CIVIL PLANS



ABBREVIATIONS	SYMBOLS	PROPOSED SHRUBS, GROUNDCOVER, PERENNIALS AND ANNUALS - REFER TO PLANTING SCHEDULE	PROPOSED TREES (DECIDUOUS AND EVERGREEN)	EXISTING TREES TO REMAIN
EVER	EVERGREEN TREE			
DEC	DECIDUOUS TREE			
S	SHRUBS			
CAL	CALIPER			
B&B	BALLED IN BURLAP			
TRIA. SP.	TRIANGULAR SPACING			
O.C.	ON CENTER SPACING			
#3 CONT	#3 SIZED CONTAINER			
HT	HEIGHT			
SPR	SPREAD			
SF	SQUARE FEET			

PLANTING NOTES
 1. REFER TO LAWNS AND GRASSES SPECIFICATIONS FOR FURTHER INFORMATION ON LAWN SEED MIXES.
 2. ANY AREAS OF THE SITE, NOT OTHERWISE DESIGNATED, WHICH ARE DISTURBED DURING CONSTRUCTION SHALL BE HYDROSEEDED LAWN, UNLESS OTHERWISE DIRECTED.
 3. PLACE A 2" LAYER OF SHREDDED PINE BARK MULCH OVER ALL BEDS AND OVER ALL TREE PITS.
 4. CONTRACTOR SHALL VERIFY PLANT COUNTS BY CONFIRMING PLANTING PLAN AND PLANT LIST FOR ACCURACY DURING THE BIDDING PROCESS. REPORT ANY DISCREPANCIES IMMEDIATELY FOR CLARIFICATION BY THE LANDSCAPE ARCHITECT DURING THE ADDENDUM PHASE OF THE PROJECT.

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES (T) - DECIDUOUS				
ARO	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2' - 3'	CAL. B&B. NO BRANCHING BELOW 6' MIN.
ARR	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2' - 3'	CAL. B&B. NO BRANCHING BELOW 6' MIN.
LSH	LIQUIDAMBAR STYRACIFLUA 'MORAIN'	MORAIN SWEETGUM	2 1/2' - 3'	CAL. B&B. NO BRANCHING BELOW 6' MIN. FRUITLESS
LT	LIRIODENDRON TULIPIFERA	TULIP TREE	2 1/2' - 3'	CAL. B&B. NO BRANCHING BELOW 6' MIN.
NS	NYSSA SYLVATICA	BLACKGUM	2 1/2' - 3'	CAL. B&B. NO BRANCHING BELOW 6' MIN.
UAN	ULMUS AMERICANA 'NEW HARMONY'	NEW HARMONY ELM	2 1/2' - 3'	CAL. B&B. NO BRANCHING BELOW 6' MIN.
TREES (T) - EVERGREEN				
TOS	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	4' - 5'	HT. B&B. BRANCHED TO GROUND, NOT SHEARED
SHRUBS (S) - EVERGREEN				
IG	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY - COMPACT	30"	HT. & SPR. CONT. 48" O.C. TRIA. SP. OR AS SHOWN
JUC	JUNIPERUS CHINENSIS 'SARGENTI'	SARGENTI JUNIPER	18"	HT. & SPR. CONT. 48" O.C. TRIA. SP.
JUH	JUNIPERUS HORIZONTALIS 'SEA GREEN'	SEA GREEN JUNIPER	18"	HT. & SPR. CONT. 48" O.C. TRIA. SP.
PERENNIALS (P) - GRASSES				
PH	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	#2	CONT. 18" O.C. TRIA. SP.
PERENNIALS (P) - FLOWERING				
EP	ECHINACEA PURPUREA	EASTERN PURPLE CONEFLOWER	#1	CONT. 18" O.C. TRIA. SP.
HEM	HEMEROCALLIS	DAYLILIES	#1	CONT. 18" O.C. TRIA. SP.
RH	RUDBECKIA HIRTA	BLACK EYED SUSAN	#1	CONT. 18" O.C. TRIA. SP.

02 10/24/2022 PLANNING MEETING
 01 07/21/2022 PLANNING & ZONING APPROVAL
 NO. DATE REVISIONS/ISSUANCES

EPSTEIN

Architecture
 Interiors
 Engineering
 Construction

Chicago
 New York
 Bucharest
 Warsaw

600 W. Fulton Street
 Chicago, IL 60661-1259
 T 312.454.9100
 www.epsteinglobal.com

PROJECT NUMBER: 22157
 PROJECT MANAGER:
 PA1 PE:
 DRAWN BY: N. BROWN
 CHECKED BY: N. BROWN

OVERALL PLANTING PLAN

L-200

Landscape Architect
 Brown Sardina, Inc.
 24 Roland Street
 Boston, Massachusetts 02139
 617.462.4703

Civil Engineer
 Eastwin
 600 West Fulton Street
 Chicago, Illinois 60661-1259
 312.454.9100

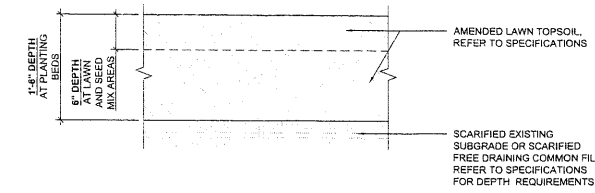
Owner
 Vega Strategic
 3414 Peachtree Rd. Ste 990
 Atlanta, GA 30326
 770.400.9681

Project
 Vega Strategic - Lakeville
 310 Kenneth Welch Dr
 Lakeville, MA 02347

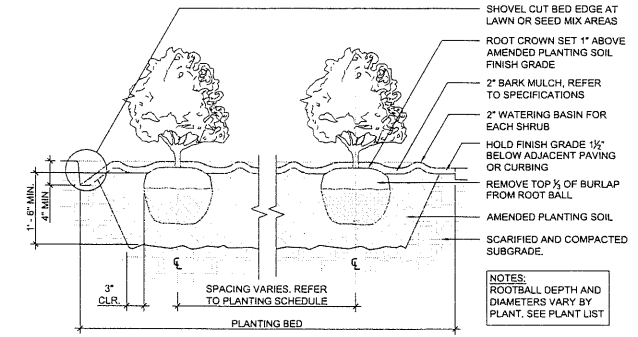


SEAL

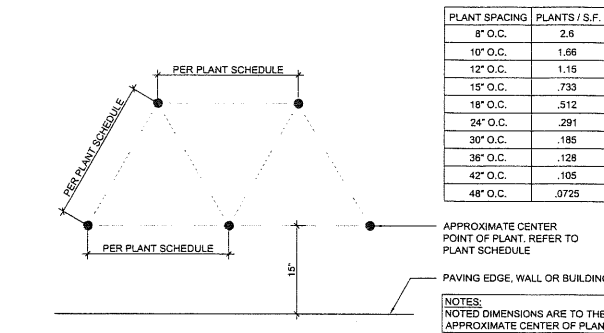
PLANTING SCHEDULE						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE		REMARKS	
TREES (T) - DECIDUOUS						
ARD	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2' - 3'	CAL.	B&B	NO BRANCHING BELOW 6' MIN.
ARR	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2' - 3'	CAL.	B&B	NO BRANCHING BELOW 6' MIN.
LSH	LIQUIDAMBAR STYRACIFLUA 'MORAIN'	MORAIN SWEETGUM	2 1/2' - 3'	CAL.	B&B	NO BRANCHING BELOW 6' MIN. FRUITLESS
LT	LIRIODENDRON TULIPIFERA	TULIP TREE	2 1/2' - 3'	CAL.	B&B	NO BRANCHING BELOW 6' MIN.
NS	NYSSA SYLVATICA	BLACKGUM	2 1/2' - 3'	CAL.	B&B	NO BRANCHING BELOW 6' MIN.
UAN	ULMUS AMERICANA 'NEW HARMONY'	NEW HARMONY ELM	2 1/2' - 3'	CAL.	B&B	NO BRANCHING BELOW 6' MIN.
TREES (T) - EVERGREEN						
TOS	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	4' - 5'	HT.	B&B	BRANCHED TO GROUND, NOT SHEARED
SHRUBS (S) - EVERGREEN						
IG	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY - COMPACT	30"	HT. & SPR.	CONT.	48" O.C. TRIA. SP. OR AS SHOWN
JUC	JUNIPERUS CHINENSIS SARGENTI	SARGENTI JUNIPER	18"	HT. & SPR.	CONT.	48" O.C. TRIA. SP.
JUH	JUNIPERUS HORIZONTALIS 'SEA GREEN'	SEA GREEN JUNIPER	18"	HT. & SPR.	CONT.	48" O.C. TRIA. SP.
PERENNIALS (P) - GRASSES						
PH	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	#2		CONT.	18" O.C. TRIA. SP.
PERENNIALS (P) - FLOWERING						
EP	ECHINACEA PURPUREA	EASTERN PURPLE CONEFLOWER	#1		CONT.	18" O.C. TRIA. SP.
HEM	HEMEROCALLIS	DAYLILLIES	#1		CONT.	18" O.C. TRIA. SP.
RH	RUDBECKIA HIRTA	BLACK EYED SUSAN	#1		CONT.	18" O.C. TRIA. SP.



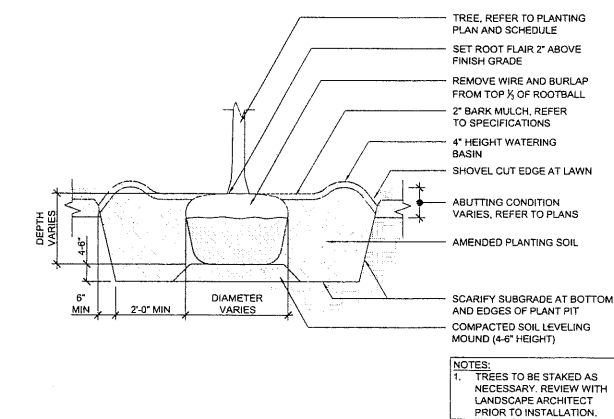
1 SOIL PREPARATION
L201 SCALE: 1" = 1'-0"



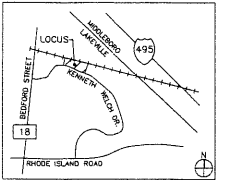
2 SHRUB / GROUNDCOVER / PERENNIAL PLANTING
L201 SCALE: NTS



3 TRIANGULAR SPACING DIAGRAM
L201 SCALE: 1" = 1'-0"



4 TREE PLANTING
L201 SCALE: 1/2" = 1'-0"



02 10/24/2022 PLANNING MEETING
01 07/21/2022 PLANNING & ZONING APPROVAL
NO. DATE REVISIONS/ISSUANCES

EPSTEIN

Architecture Chicago
Interiors New York
Engineering Bucharest
Construction Warsaw
600 W. Fulton Street
Chicago, IL 60661-1259
T 312.454.9100
www.epsteinglobal.com

PROJECT NUMBER: 22157
PROJECT MANAGER:
PA1 PE:
DRAWN BY: N. BROWN
CHECKED BY: N. BROWN

PLANTING DETAILS

L-201

Landscape Architect
Brown Sardino, Inc.
24 Roland Street
Boston, Massachusetts 02139
617.482.4703

Civil Engineer
Epstein
600 West Fulton Street
Chicago, Illinois 60661-1259
312.454.9100

Owner
Vega Strategic
3414 Peachtree Rd. Ste 990
Atlanta, GA 30326
770.400.9601

Project
Vega Strategic - Lakeville
310 Kenneth Welch Dr
Lakeville, MA 02347



SEAL

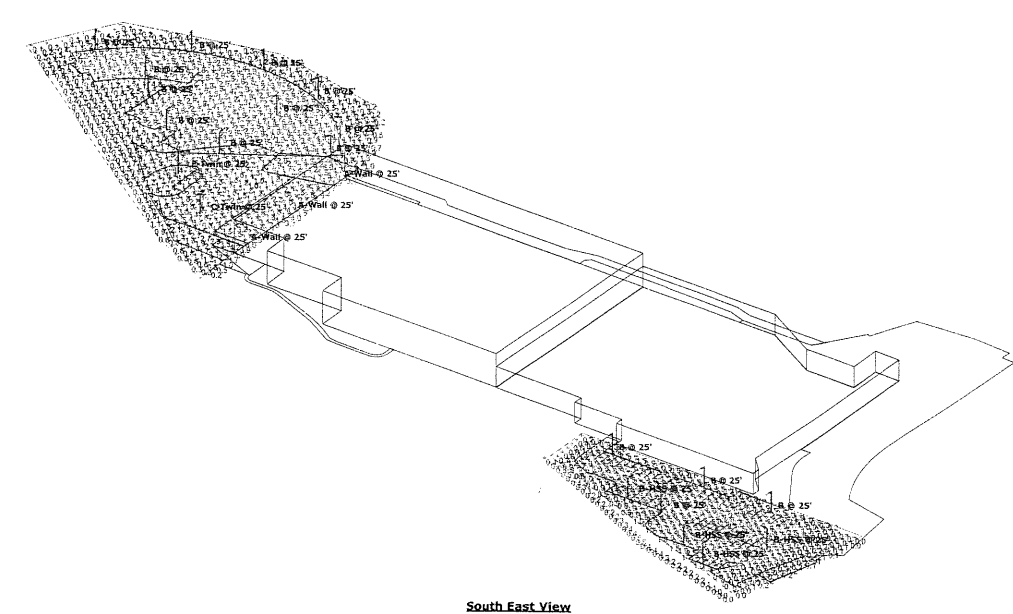
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Efficiency
Λ □	A-Wall	3	Holophane	MGLEDM P2 40K XXXXX FG	Mongoose Medium, P2 Performance Package, 4000K, Forward Throw (Type 4) with Refractor	1	MGLEDM_P2_40K_XXXXX_FG.ies	18313	0.9	125.56	100%
Λ □	B	15	Holophane	MGLEDM P2 40K XXXXX FG	Mongoose Medium, P2 Performance Package, 4000K, Forward Throw (Type 4) with Refractor	1	MGLEDM_P2_40K_XXXXX_FG.ies	18313	0.9	125.56	100%
Λ □ V	C-Twin	1	Holophane	MGLEDM P2 40K XXXXX FG	Mongoose Medium, P2 Performance Package, 4000K, Forward Throw (Type 4) with Refractor	1	MGLEDM_P2_40K_XXXXX_FG.ies	18313	0.9	251.12	100%
Λ □ C	B-HSS	4	Holophane	MGLEDM P2 40K XXXXX FG HSS	Mongoose Medium, P2 Performance Package, 4000K, Forward Throw (Type 4) with Refractor with House Side Shield	1	MGLEDM_P2_40K_XXXXX_FG_HSS.ies	12569	0.9	125.56	100%
Λ □ V	E-Twin	1	Holophane	MGLEDM P2 40K XXXXX FG	Mongoose Medium, P2 Performance Package, 4000K, Forward Throw (Type 4) with Refractor	1	MGLEDM_P2_40K_XXXXX_FG.ies	18313	0.9	251.12	100%

No.	Label	Location			MH	Orientation	Tilt	Aim		
		X	Y	Z				X	Y	Z
2	A-Wall	5094.61	4872.79	25.00	25.00	276.58	0.00	5084.00	4872.86	0.00
3	A-Wall	5076.17	4790.73	25.00	25.00	277.37	0.00	5075.57	4790.81	0.00
10	B	4886.54	4957.95	25.00	25.00	7.43	0.00	4886.71	4959.29	0.00
11	B	4835.28	5009.20	25.00	25.00	93.09	0.00	4836.63	5009.13	0.00
13	B	4989.54	5094.30	25.00	25.00	207.25	0.00	4988.92	5093.10	0.00
14	B	5050.11	5035.93	25.00	25.00	240.02	0.00	5048.94	5035.26	0.00
15	B	5061.25	4997.01	25.00	25.00	227.65	0.00	5060.25	4996.10	0.00
17	B	4969.89	5043.10	25.00	25.00	187.64	0.00	4969.71	5041.76	0.00
18	B	5739.72	4598.31	25.00	25.00	184.70	0.00	5739.61	4596.96	0.00
21	B	5827.09	4589.29	25.00	25.00	186.52	0.00	5826.93	4587.94	0.00
23	B	5623.49	4610.79	25.00	25.00	183.22	0.00	5623.41	4609.44	0.00
24	B	5727.30	4530.93	25.00	25.00	97.17	0.00	5728.64	4530.76	0.00
26	B	4826.94	5113.11	25.00	25.00	163.94	0.00	4827.31	5111.81	0.00
29	B	4738.41	5067.43	25.00	25.00	141.47	0.00	4739.25	5066.37	0.00
30	B	4815.23	5038.05	25.00	25.00	333.43	0.00	4814.63	5039.26	0.00
31	B	4957.86	4945.31	25.00	25.00	4.19	0.00	4957.96	4946.66	0.00
32	B	4911.03	5118.55	25.00	25.00	186.98	0.00	4910.87	5117.20	0.00
6	B-HSS	5683.94	4538.37	25.00	25.00	5.96	0.00	5684.08	4539.72	0.00
8	B-HSS	5818.55	4459.46	25.00	25.00	4.24	0.00	5818.65	4460.81	0.00
23	B-HSS	5781.25	4484.16	25.00	25.00	6.27	0.00	5781.40	4485.50	0.00
24	B-HSS	5862.12	4520.29	25.00	25.00	280.54	0.00	5860.79	4520.54	0.00
1	C-Twin	5003.12	4825.87	25.00	25.00	6.84	0.00			
	C-Twin-1	5003.60	4829.90	25.00	25.00	6.84	0.00	5003.28	4827.21	0.00
	C-Twin-2	5002.63	4821.83	25.00	25.00	186.84	0.00	5002.96	4824.52	0.00
2	E-Twin	4941.33	4887.46	25.00	25.00	227.17	0.00			
	E-Twin-1	4938.57	4890.45	25.00	25.00	317.17	0.00	4940.41	4888.46	0.00
	E-Twin-2	4944.32	4890.23	25.00	25.00	47.17	0.00	4942.33	4888.38	0.00
1	A-Wall	5093.69	4953.23	25.00	25.00	272.81	0.00	5093.08	4953.26	0.00

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Primary Lot- Northwest Lot	✖	3.2 fc	7.6 fc	1.0 fc	7.6:1	3.2:1
Primary Lot- Southeast Lot	✖	3.4 fc	5.3 fc	1.0 fc	5.3:1	3.4:1
Satellite Lot- Northwest Lot	□	3.3 fc	6.2 fc	1.1 fc	5.6:1	3.0:1
Spill Zone Northwest Lots	+	2.5 fc	7.6 fc	0.1 fc	76.0:1	25.0:1
Spill Zone- Southeast Lot	+	2.4 fc	5.3 fc	0.0 fc	N/A	N/A

Note

1. Readings are based on a LLF of 0.9
2. Please refer to the luminaire locations for mounting heights.
3. Product information can be obtained at www.holophane.com
4. Reflectance:
35% Buildings/Walls

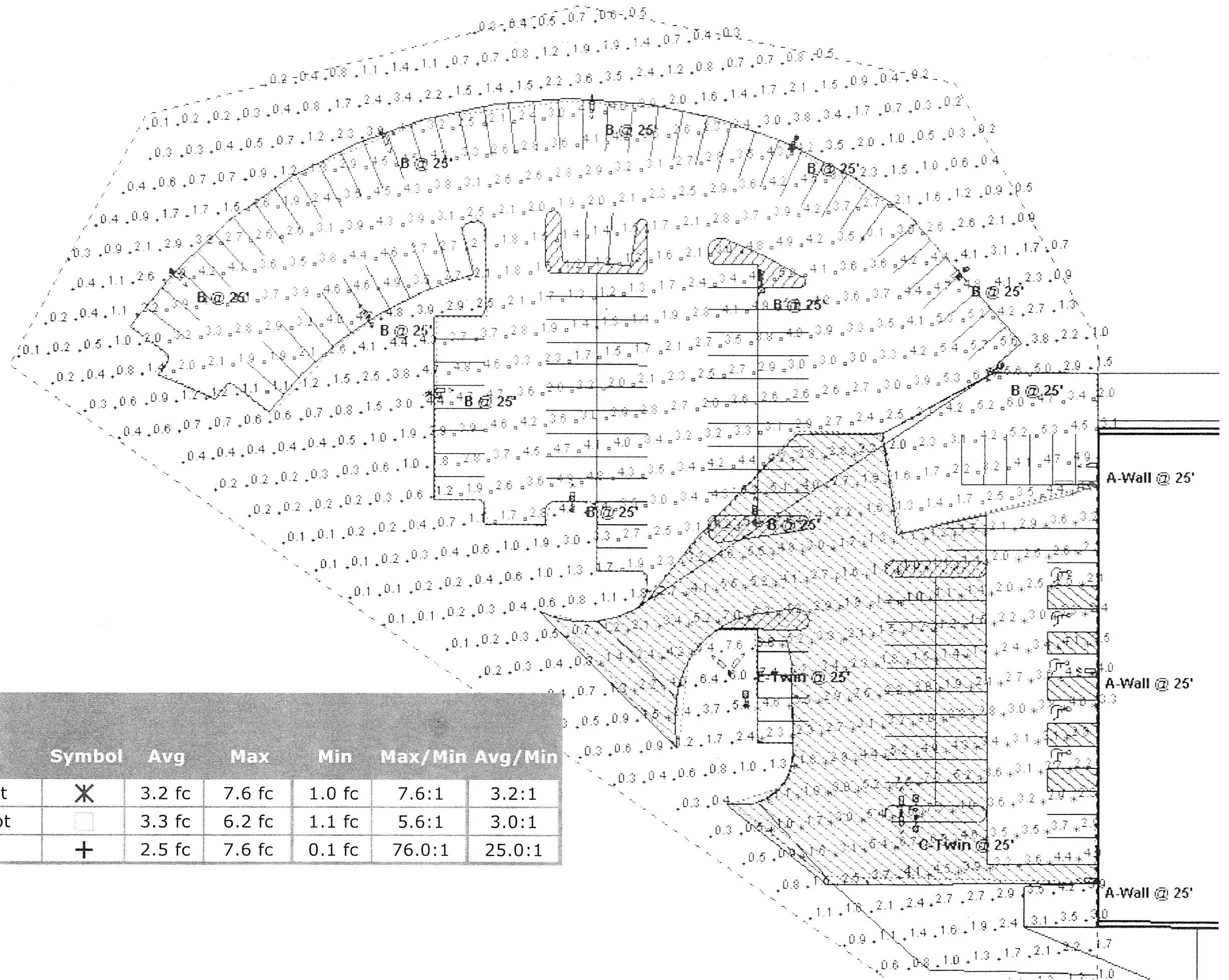


DISCLAIMER
This architectural lighting submittal is provided only for informational purposes and to help the customer or end-user (as applicable) understand how various sections of linear fixtures connect to each other and how they mount to the ceiling. This lighting submittal is strictly based on the information provided to Acuity Brands, and is provided without warranty as to accuracy, completeness, reliability or otherwise. If the information (including but not limited to floor-plans, reflected ceiling plans, electrical plans and specifications) provided to Acuity Brands is incomplete or not current (i.e., newer versions exist), the accuracy of proposed design may be adversely affected. Once the lighting submittal is received by the customer or end-user (as applicable), it is the obligation of the customer or end-user (as applicable) to consult with a professional engineering advisor to determine whether the proposed design meets the applicable project requirements for lighting system performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands be responsible for any loss resulting from any use of any information contained in this lighting submittal.



Vega Strategic, Lakeville, MA, 2392-A2

Designer
R Morgan
Date
09/28/2022
Scale
Not to Scale
Drawing No.
A2
Summary



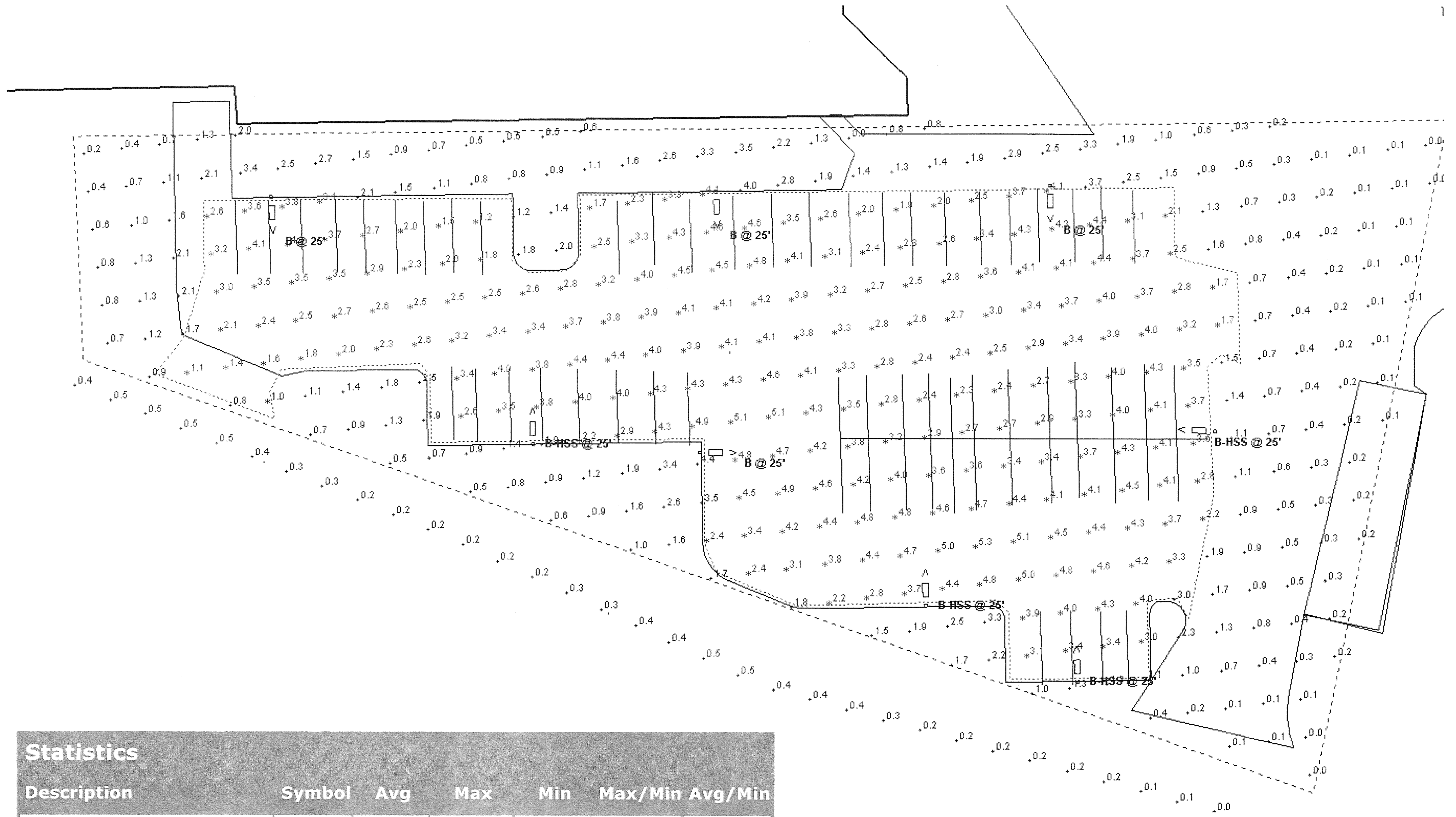
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Primary Lot- Northwest Lot	✖	3.2 fc	7.6 fc	1.0 fc	7.6:1	3.2:1
Satellite Lot- Northwest Lot	□	3.3 fc	6.2 fc	1.1 fc	5.6:1	3.0:1
Spill Zone Northwest Lots	+	2.5 fc	7.6 fc	0.1 fc	76.0:1	25.0:1

DISCLAIMER
 This architectural lighting submittal is provided only for informational purposes. Various sections of linear fixtures connect to each other and how they mount is provided to Acuity Brands, and is provided without warranty as to accuracy, or limited to floor-plans, reflected ceiling plans, electrical plans and specifications (versions exist), the accuracy of proposed design may be adversely affected. (If applicable), it is the obligation of the customer or end-user (as applicable) to ensure proposed design meets the applicable project requirements for lighting system use in a particular application. In no event will Acuity Brands be responsible for lighting submittal.

Northwest Lots R1

Designer
 R Morgan
 Date
 09/28/2022
 Scale
 Not to Scale
 Drawing No.
 A2
 Summary



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Primary Lot- Southeast Lot	✕	3.4 fc	5.3 fc	1.0 fc	5.3:1	3.4:1
Spill Zone- Southeast Lot	+	2.4 fc	5.3 fc	0.0 fc	N/A	N/A

DISCLAIMER
 This architectural lighting submittal is provided only for informational purposes and to help the customer or end-user (as applicable) understand how various sections of linear fixtures connect to each other and how they mount to the ceiling. This lighting submittal is strictly based on the information provided to Acuity Brands, and is provided without warranty as to accuracy, completeness, reliability or otherwise. If the information (including but not limited to floor-plans, reflected ceiling plans, electrical plans and specifications) provided to Acuity Brands is incomplete or not current (i.e., newer versions exist), the accuracy of proposed design may be adversely affected. Once this lighting submittal is received by the customer or end-user (as applicable), it is the obligation of the customer or end-user (as applicable) to consult with a professional engineering advisor to determine whether the proposed design meets the applicable project requirements for lighting system performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands be responsible for any loss resulting from any use of any information contained in this lighting submittal.

Cathy Murray, Appeals Board Clerk

Subject: FW: FW: Site Plan - 156 Rhode Island Road

From: Bob Rego <brego@riverhawkllc.com>
Sent: Tuesday, October 25, 2022 11:45 AM
To: Cathy Murray, Appeals Board Clerk <cmurray@lakevillema.org>
Subject: Re: FW: Site Plan - 156 Rhode Island Road

Hi Cathy,

December 8th would be great!

December 8, 2022

Thanks,
Bob



On Tue, Oct 25, 2022 at 11:35 AM Cathy Murray, Appeals Board Clerk <cmurray@lakevillema.org> wrote:

Hi Bob,

The Planning Board only has one meeting in November on the 10th. Did you want to continue until then or December 8th? I'm not sure if the peer review would be complete by their November meeting.

Cathy

From: Bob Rego <brego@riverhawkllc.com>
Sent: Tuesday, October 25, 2022 10:35 AM
To: Cathy Murray, Appeals Board Clerk <cmurray@lakevillema.org>
Cc: Marc Resnick <mresnick@lakevillema.org>; tyler sikorski <tsikorskient@gmail.com>
Subject: Re: FW: Site Plan - 156 Rhode Island Road

Hi Cathy and Marc,

The revised plan set is attached. Tyler has not been able to get the architect to prepare the plans. May we please have another continuance?

I will forward the Stormwater Report over separately.

Thanks,
Bob

#9

**Planning Board
Lakeville, Massachusetts
Minutes of Meeting
Thursday, September 8, 2022**

On September 8, 2022, the Planning Board held a meeting at the Lakeville Police Station. The meeting was called to order by Chairman Knox at 7:00 p.m. LakeCam was making a video recording of the meeting.

Members present:

Mark Knox, Chair; Peter Conroy, Vice-Chair; Nora Cline, Jack Lynch, Michele MacEachern

Others present:

Marc Resnick, Town Planner

Presentation by the Problem Properties working group - Christina Cotsoridis

Mr. Ari Sky, Town Administrator and Ms. Christina Cotsoridis, Assistant to the Town Administrator were present.

Ms. Cotsoridis summarized the goal and composition of the Problem Properties Working Group. The group focuses on abandoned buildings; junk/blighted properties; unsafe/unsanitary occupied buildings; old farm/rural properties; unkempt commercial properties; and lodging houses. They have recommended six articles for the Special Town Meeting to help deal with blighted or abandoned properties. After Town Meeting, the Group will request that the Abutter's Program be adopted, which does not need to go to Town Meeting. That would allow the Town to transfer to an abutter an adjacent property worth less than \$35,000. However, the transfer of properties to abutters would require Town Meeting vote.

Ms. Cotsoridis said there had been many conversations about specific properties that had started this. Right now, there is no formal process beyond a complaint coming in. Ms. Cline asked when regulating residential use of exterior space, should this be time bound? Perhaps for the person that has bought building materials, but have not yet started construction. Mr. Sky said that was a good point. Ms. Cline also asked what qualified as an exempt property. Mr. Sky said that would be church, state or town owed. The proposed Articles were then discussed.

Discussion and action on possible Articles for fall Town Meeting – Add Licensed junk dealers to Section 4.1.2, Table of Use, Business Uses; Add reusable materials or equipment to Section 2.0, Definitions

Mr. Resnick said these first two items are for information and discussion purposes. After the Select Board's next meeting when this will be discussed, they may vote to place this on the Warrant. They would then forward it back to the Planning Board to hold a public hearing. Mr. Knox then read both of the proposed Articles into the record. Mr. Knox said his only concern with it is when you say no reusable materials, it does not clarify the 500 square feet. The idea of better defining storage was also discussed. Ms. MacEachern noted that wood could be people's heating wood. She did not think people that were storing this wood in their front yard should be included. Ms. Cline agreed. It was suggested that wood be changed to lumber or construction materials.

Discussion and action on possible Articles for fall Town Meeting – Associate member

Mr. Knox read the proposed amendment into the record. He stated they had talked about this at their last meeting, and their concern had been the length of the term. Mr. Resnick said he had sent what they previously had to Town Counsel, and this is what they had received back. Counsel said this should only apply to Special Permits because that is what the statute is specific to for alternate members. Mr. Knox said what they had talked about was the term of the appointment should be limited to a year at a time and not exceed two years. After discussion, Mr. Knox recommended it be changed to be an annual appointment.

Discussion and action on possible Articles for fall Town Meeting – Mullin Rule

Mr. Resnick advised he had gone through this with the Town Clerk and the Town has never adopted the Mullin Rule. Upon acceptance, it authorizes a member of a Board holding an adjudicatory hearing to vote in the matter even if they have missed a meeting provided, they meet certain conditions. It is usually adopted for certain Boards, specifically, the Zoning Board, the Planning Board, and the Conservation Commission. Mr. Resnick said a memo has been sent to these other Boards, and they are awaiting their response.

Mr. Knox asked if he made a motion to adopt the Mullin Rule it would be for the Planning Board only. He did not know what the action of the other Boards would be. Mr. Resnick said he could do that or make it pending on the response of the other Boards. The Select Board could then add Conservation and the Zoning Board if that is what the other Boards decide.

Mr. Knox then made a motion, seconded by Mr. Conroy, to have the Planning Board adopt the Mullin Rule pending the decision of the Zoning Board of Appeals and the Conservation Commission to adopt or decline, then said articles would be appropriately put on the Warrant to cover that action. The vote was **unanimous for**.

Mr. Knox also made a motion, seconded by Ms. Cline, to add the Associate member Zoning Bylaw change recommendation to the Town Warrant to the Board of Selectmen with the amendment to make that associate member a one-year appointment. The **vote** was **unanimous for**.

Discussion and action on possible Articles for fall Town Meeting – Modifying setbacks in the Business/Industrial Zone

Mr. Knox said that he had spoken about this with Mr. Resnick and these are the two draft options concerning it. His suggestion would be in small or non-conforming business zoned lots to give a little bit of relief for one setback. This is something that he has talked about to several engineers, who said if this was done, it would be a benefit to commercial development. He felt that if they did allow relief on one setback, it would allow the building to be shifted and the parking could be around one side of the building or in the rear. This could make a small lot more conforming for good business use.

Mr. Knox said after reviewing these options, he would strike Industrial because they did not want to reduce the Industrial setback. They also need to change the word commercial to business in both options. Mr. Knox then read the first option into the record which was: in the Business District one side or rear yard setback on non-conforming lots may be reduced to ten feet by Special Permit issued by the Planning Board. This may only be granted if the applicant shows to the satisfaction of the Board that the reduced setback is necessary to allow for the most desirable and efficient site design due to the non-conformity of the lot. Mr. Knox said that he would like to add that this could only apply to a property abutting another business property. It could not be a residential property. Mr. Resnick asked for clarification if that would be another business zone property or a property that's used as business. They do have residential properties in the business zone. After discussion, Mr. Knox said he thought they should keep it as zoned Business.

Mr. Knox then read the second option into the record, which was: in the Business District one side or rear yard setback on non-conforming lots may be reduced by 50% by Special Permit issued by the Planning Board. Mr. Knox noted that the ten feet in the first option reduces from 40 feet to 50% which would be down to 20 feet. Mr. Knox asked the Board what option they would prefer. Board members thought the second option at 20 feet was better. They thought it should be either the side or rear setback rather than the option of both. Mr. Resnick then read the updated proposed amendment into the record. Mr. Knox made the motion, seconded by Mr. Conroy, to present that Article to the Board of Selectmen to be placed on the Warrant for fall Town Meeting. The **vote** was **unanimous for**.

Discussion and action on possible Articles for fall Town Meeting – Modify Section 5 to remove one principal structure, modify lot coverage, and remove density bonus

Mr. Knox said he was opposed to removing the language "one principal structure" and felt that should remain. Members agreed. Regarding the lot coverage, Mr. Knox said if they were going to allow greater lot coverage by Special Permit, they need the Special Permit language. Mr. Resnick said that he could write specific standards that would have to be met to be able to achieve the 70% coverage. Mr. Conroy said that he would not be in favor of increasing coverage in the

Industrial B Zone. Mr. Knox agreed that 70% should not be an option for the Industrial B Zone. He recommended to continue to work on this rather than rush to put something together for this Warrant.

Mr. Knox made a motion, seconded by Mr. Conroy, to continue this discussion until the next agenda after the fall Town Meeting in order to work on this for the spring Town Meeting. The vote was **unanimous for**.

Review Layout for Ledgewood Drive for recommendation to Select Board

Mr. Paul Turner was present. He was looking for road acceptance at the upcoming Town Meeting. It was noted that Environmental Partners was supposed to go out and take a look at the site, but had not had a chance to do so before this meeting. They had been out there in early 2021. Mr. Turner said that was correct. It had been satisfactory at that time, but the Highway Superintendent had requested it be looked at again. Mr. Knox said that he had spoken to Mr. Resnick about this and it was in process, but this was their last opportunity to vote on this before fall Town Meeting. He would like to make a motion that they approve this pending a satisfactory inspection report from Environmental Partners. If any corrections are needed, they will be taken care of by Mr. Turner prior to. Mr. Conroy seconded it. The vote was **unanimous for**.

Preliminary Plan – 44 Clear Pond Road, continued – Derek Maksy-applicant

Mr. Knox advised Mr. Rick Frieberg has represented the project on behalf of the applicant. The Board has been provided with a plan that shows a subdivision with a roadway and two parcels so it meets the requirements of the preliminary plan showing a subdivision. Mr. Knox asked if anyone had any comments regarding this property. Ms. Lois Neilson of 51 Harcourt Avenue asked where the right of way would be for this development. Mr. Knox said when they had discussed it, the Board had said they wanted it to go in straight as a cul-de-sac. That is the option that had been brought back to the Planning Board. What has been proposed does not go through and touch Harcourt.

Ms. Neilson said that there is no definitive plan of what this is going to be. Mr. Knox replied they will be required to put in a definitive plan within seven months of when this preliminary plan was filed with the Town. He noted that right within the notes of the plan they are looking to freeze the zoning of the Development Opportunities District, and that is what this action is doing. Ms. Neilson asked once the subject of the zoning comes up again and depending on the appeal, does it call for a public hearing. Mr. Resnick replied that in order to continue to freeze the zoning, a definitive plan would have to be filed within the next couple of months. That would require a public hearing and abutter notifications. If the appeal to the DO District is upheld and they move forward with a proposal, it would also require a public hearing and notifications.

Mr. Knox made a motion, seconded by Ms. MacEachern, to approve the preliminary plan as presented to the Planning Board with the stipulation that they are not making any zoning determination. The **vote** was **unanimous for**.

Site Plan Review – 156 Rhode Island Road, continued – T. Sikorski Realty, LLC – applicant

Mr. Knox advised they had received a request from the applicant to continue until September 22nd. Mr. Knox then made a motion, seconded by Mr. Conroy, to continue the 156 Rhode Island Road Site Plan Review until September 22, 2022, at 7:00 p.m. The **vote** was **unanimous for**.

Approve Meeting Minutes

Ms. Cline made a motion, seconded by Mr. Conroy, to approve the Minutes from the July 14, 2022, meeting. Ms. MacEachern noted that on page four, paragraph one, she asked that the words “that had been spread” be stricken and a period be placed after misinformation. Ms. Cline accepted that amendment to her motion, which was seconded by Mr. Conroy. The **vote** was **unanimous for**.

Regarding the minutes of July 28, 2022, Ms. MacEachern made the following amendments: there is a typo in the 7:00 p.m. and a zero is missing; on page six, the second to last paragraph, it is missing a period. Mr. Knox made a motion, seconded by Mr. Conroy, to approve the Minutes from the July 28, 2022, meeting with the change to clarify the time of start of the meeting

Mr. Knox, Mr. Conroy, Ms. MacEachern, Ms. Cline – **Aye**; Mr. Lynch – **Abstain**

Discussion and action on possible Articles for fall Town Meeting – Industrial District map revision

Mr. Knox said they had a plan in their packet, but Mr. Resnick then distributed a plan that was more specific and included the metes and bounds. Mr. Knox read the proposal into the record which was to rezone 155.4 acres on County Street, as shown on the attached map, from the Residential District to the Industrial District. Ms. MacEachern said that she had a concern that this Industrial Zone was very close to the schools. Mr. Knox said that his concern was one advantage they had with the DO District was it was by Special Permit. If they changed the zoning to Industrial, it would be by right and only require Site Plan Review.

Mr. Resnick noted their revised Site Plan Review gave them a lot of authority to adjust site design and look at a wide range of items, and to mitigate any impacts. The owner of the property, Mr. Mohammed Itani, could not be present but his representative, Mr. Rami Itani was available to answer any questions. Mr. Itani then approached the Board and displayed the plan. He said it was a very preliminary plan. The entire parcel is 300 acres, but they would like to rezone the shaded portion of 155 acres to Industrial. The main access to the property will be through County Street. Currently, there is an access road that leads to the cell tower, which they would probably keep as

an access road for the property. He indicated the portion of the property where the work would be and the remainder would probably be left alone. He said there are no real plans at this point.

Ms. Noelle Rilleau of 22 Reservoir Avenue confirmed that this was the same developer of LeBaron. She has listened to some of the complaints from the residents of that development. She would not be enthusiastic about anything similar going into this area. Ms. Cline replied that she understood the concerns she was talking about, but they did not know today what the plans are for that property. Mr. Itani responded there had been a meeting last month with the ZBA because they are the developers of LeBaron Hills, and they have requested to modify their Comprehensive Permit. This is to just answer the resident's concern, but these are two separate properties. This is a parcel that they are trying to rezone a portion of it into Industrial Zoning as opposed to keeping it Residential. He did not know what the proposal would be because they are at the beginning stages. Mr. Knox added what they are being asked to do is spot zoning something that the Board and the developer have no idea what it is going to be. That is really taking a chance. Mr. Itani said he really couldn't commit to what they were doing. In today's market there are a lot of warehouses that are attractive to a lot of big companies, but in a year or two they don't know what is going to happen.

Mr. Conroy asked if with the bounds they have on this plan, those are going to be two separate lots. Mr. Resnick replied this is not changing any property lines, this is only rezoning the underlying land. They would come in later for Form A's or subdivisions. That is why the second plan gives specific metes and bounds and defines the area, because it is not according to property lines. Ms. MacEachern asked if there were two different zones for the same property and they try to develop the whole parcel, was it correct that they would have to pick either residential or industrial and couldn't do both?

Mr. Knox said at that point, they would have to change lot lines to mirror the zoning change. Mr. Itani said the lots on the plan are not delineated, but what they would be doing is the shaded area would be re-created as one lot and would be Industrial. Everything in the back would remain the same as Residential. Mr. Conroy asked besides the cell tower access, what other access to Freetown Street will that Residential Zone have. Mr. Itani replied there are other means of egress to the property or entrances.

Ms. Nielson asked what the distance was between the Industrial Zone and the homes currently there. Mr. Itani said it is approximately 220 feet. Other distances were also noted on the plan. Ms. MacEachern asked why this was being presented as a Planning Board item rather than by the applicant. If the applicants were to bring this to Town Meeting on their own, they would have to get signatures of residents which would mean there would be some support. She would suggest that might be the best way for them to go.

Mr. LaCamera of the Select Board then spoke. He stated that three years ago, he had come to the Planning Board to talk about areas for commercial and industrial development. This is important to the Town because they can't continue running the Town with residential properties. They had 100 houses this past year with occupancy permits. This is becoming an issue because of school children, etc. This particular property has been for sale for years. If you look at this property, it

is a perfect location for commercial or industrial because it is right on Route 140. Some of this property is not developable so it would give them an opportunity when they get to that point, to negotiate and have the developer put the other 100 to 150 acres in open space. Right now, they do not have any open Industrial area. As a Town, they have to decide if they don't want commercial, they are going to have residential and it would be substantial.

Mr. Knox said what would make him more comfortable would be if they had some sort of a bylaw. It would say that any building over 100,000 square feet over or some other number, is by Special Permit. It doesn't matter what zone it is in. That way the Planning Board and Town have more control over the development, and what goes there. After a discussion about how it would be defined, Mr. Resnick said something could be drafted. Mr. Knox said having the Planning Board have a little bit of control over the situation with the Special Permit would have him be more on board with pushing this to Town Meeting and letting the towns people decide on the rezoning. Ms. Cline agreed that they should let the Town decide. Ms. MacEachern asked if the Planning Board should bring this. Mr. Conroy said he thought they should be the ones to bring this forward. They have looked at this property historically several times over and spoke about how close it is to Route 140, and how it is a preferred property to be industrial or commercial. They have to own the message, and it is this Board's purview. Ms. MacEachern said having a Special Permit tied to this made her feel better about it. Mr. Conroy said the townspeople will have the final word on it so he did not want to deny them of that.

Discussion and action on possible Articles for fall Town Meeting – Off-premise Sign correction

Mr. Knox read what was currently in the by-law which was proposed to be removed.

Mr. Knox made a motion, seconded by Ms. MacEachern, to remove the text as had been read. The **vote was unanimous for.**

Mr. Resnick then stated in regards to a Special Permit for warehouse use, he thought they could add to the Industrial Use Chart, Industrial buildings greater than 100,000 square feet and then make that only permitted by a Planning Board Special Permit in the Industrial Zone, Members wanted the Industrial B Zone included and the 100,000 square feet to be in aggregate. Mr. Resnick said they would also add a description of this under the Special Permit listing. Mr. Knox said that he would like to have Counsel review this so that they knew the intent, and they were doing the right thing.

Mr. Knox then made a motion, seconded by Mr. Conroy, to act on this Special Permit process for buildings over 100,000 square feet in the Industrial and Industrial B Zones by Special Permit. The **vote was unanimous for.**

Mr. Knox also made a motion, seconded by Mr. Lynch, to see if the Town will vote to amend the Zoning Map by rezoning 155.4 acres located on County Street as shown on the attached map entitled, Zoning Amendment Plan of Land in Lakeville, MA, from the Residential District to the Industrial District. The **vote was unanimous for.**

Approve Housing Survey Questions for the Housing Production Plan

Mr. Knox said they had sample questions from the Mansfield Survey. Ms. MacEachern had suggested also looking at a couple more options for questions that were from Towns similar to Lakeville. What did members think? Ms. Cline said that after looking at them all, Mansfield had more in the application. Mr. Lynch agreed the Mansfield one was better. Mr. Resnick said that the Mansfield one tries to find out what peoples' opinions are about housing. It may not be housing that's representative of a lot of Lakeville, but it is representative of housing that is found throughout the Commonwealth. Some of the other demographic questions in the other surveys are not constructed to what they are trying to do, which is trying to find out what peoples' attitudes are toward a variety of housing types. He thought the Mansfield one was more comprehensive.

It was discussed that some additional questions in regard to senior housing should be included. Mr. Resnick said that he would reach out to SRPEDD in regards to adding these additional questions. Mr. Knox made a motion, seconded by Ms. Cline, that they advance with the Mansfield Housing Production Plan Survey questions with the caveat that SRPEDD add additional age-restricted housing questions in addition to what is presently there. The **vote was unanimous for.**

Review correspondence

Mr. Resnick said there were general notices received from other Towns. An application for a large message board on the other side of Taunton along 495 had also been received. It is 90 feet high, and they are asking for several different Variances. It has no impact on Lakeville, but you will notice it as you drive down 495.

Discussion and possible action regarding Planning Board goal setting

Mr. Knox advised that Ms. MacEachern had put together some information in regards to this item. He would ask members if they wanted to look forward, they can look back at the Master Plan between now and September of next year and see what the Town wants to achieve. They can then set some goals, in regards to the Master Plan, zoning changes, business and industrial lot coverages, etc. He asked that this be put back on the agenda for next week so they can see what it is they want to achieve in the next six months to a year.

Next meeting

The next meeting is scheduled for September 22, 2022, at 7:00 p.m. at the Lakeville Police Station.

Adjourn

Mr. Knox made a motion, seconded by Ms. MacEachern, to adjourn the meeting. The **vote was unanimous for.**

Meeting adjourned at 9:00.