

REMOTE MEETING NOTICE/ AGENDA

Posted in accordance with the provisions of MGL Chapter 30A, §. 18-25

2020 NOV -9 PM 6:30

Name of Board, Committee or Commission:	Planning Board
Date & Time of Meeting:	Thursday, November 12, 2020 at 7:00 p.m.
Location of Meeting:	REMOTE MEETING
Clerk/Board Member posting notice	Cathy Murray

AGENDA

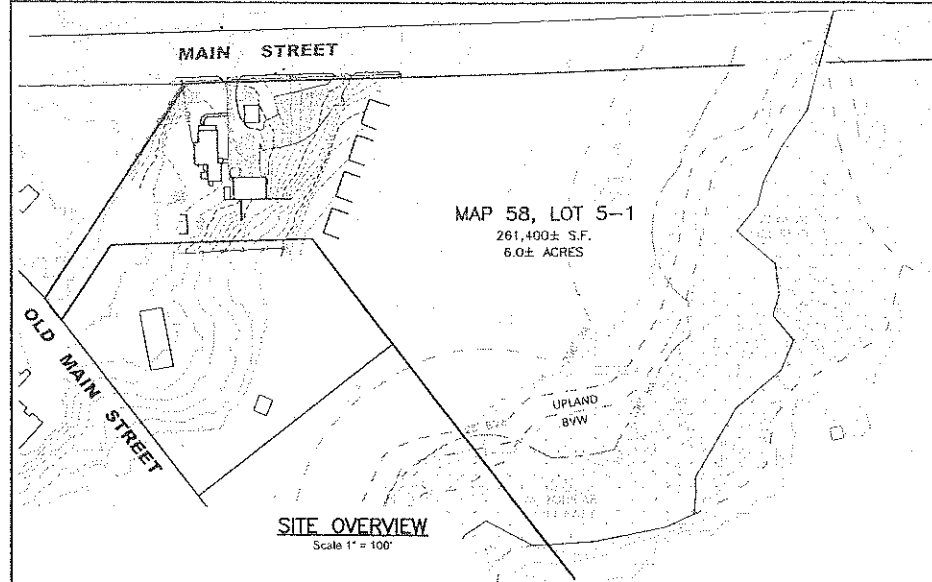
1. In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G.L. c.30A, §20, relating to the 2020 novel Coronavirus outbreak emergency, the November 12, 2020, public meeting of the **Planning Board** shall be physically closed to the public to avoid group congregation. **However, to view this meeting in progress, please go to [facebook.com/lakecam](https://www.facebook.com/lakecam) (you do not need a Facebook account to view the meeting). This meeting will be recorded and available to be viewed at a later date at <http://www.lakecam.tv/>**
2. **Site Plan Review – 202 Main Street** – Meet with River Hawk Environmental
3. **Site Plan Review – 149 Bedford Street** – Meet with Jamie Bissonnette from Zenith Consulting Engineers, LLC (ZCE)
4. **Ledgewood Estates**-Discuss release of security/peer review
5. **Master Plan Implementation** – Update on Site Plan Review costs
6. **Development Opportunities District** – Update
7. **43D Committee** – Update
8. **Review the following Zoning Board of Appeals petitions:**
 - a. Pink-119 Hemlock Street
 - b. Maksy-149 Bedford Street
 - c. Chapin-15 South Avenue
9. **Approve Meeting Minutes for October 22, 2020 and February 27, 2020**
10. **Old Business**
11. **New Business**
 - a. Approve amended check amount for Plymouth County Registry of Deeds
 - b. Sign Chapter 91 Waterways application
12. **Next meeting. . . December 10, 2020**
13. **Any other business that may properly come before the Planning Board.**
14. **Adjourn**

Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the Planning Board arise after the posting of this agenda, they may be addressed at this meeting.

Read the following into the record:

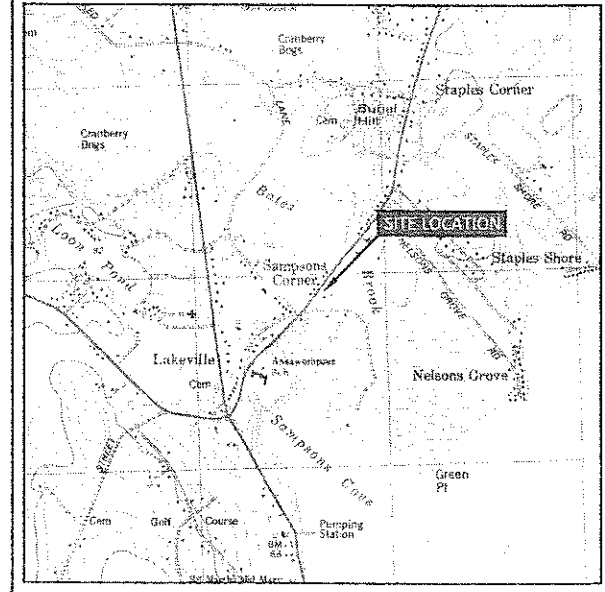
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#2



SITE OVERVIEW
Scale 1" = 100'

- NOTES:**
1. THE SUBJECT PROPERTY IS PRIMARILY LOCATED IN ZONE X (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PORTIONS OF THE PROPERTY ARE LOCATED IN ZONE A, AREAS DETERMINED TO BE WITHIN THE 1% ANNUAL CHANCE OF FLOODING, AND IN ZONE AE (EL 57-FT) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF LAKEVILLE, MA, COMMUNITY PANEL 250230427K, EFFECTIVE JULY 16, 2015. ALL PROPOSED WORK IS LOCATED IN ZONE X.
 2. THE PROPERTY IS NOT LOCATED IN A PRIORITY HABITAT OR ESTIMATED HABITAT AS SHOWN ON THE MASSACHUSETTS NATURAL HERITAGE ATLAS 14TH EDITION EFFECTIVE DATE AUGUST 1, 2017.
 3. ON-SITE TOPOGRAPHIC INFORMATION (IN AREA OF PROPOSED WORK) IS FROM ACTUAL ON THE GROUND SURVEY PERFORMED BY PRIME ENGINEERING, INC. IN NOVEMBER, 2020. OFF-SITE TOPOGRAPHIC INFORMATION FROM LIDAR DATA COLLECTED IN 2011 IS OBTAINED FROM NOAA. EXISTING CONDITIONS SHOWN ON THIS PLAN IS BASED ON THE ACTUAL ON THE GROUND SURVEY.
 4. THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON EITHER RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, VISUAL INSPECTION OF AVAILABLE ABOVEGROUND STRUCTURES, PHYSICAL SURFACE MARKINGS FOUND, OR DATA PROVIDED BY OTHERS. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK.



USGS MAP
NOT TO SCALE

SITE SUMMARY:
CURRENT OWNERS / APPLICANT
202 MAIN ST - KENNETH A ELLIOT REALTY TRUST

ASSESSOR'S REFERENCE:
202 MAIN ST - MAP 58, LOT 5-1

DEED REFERENCE:
202 MAIN ST - BOOK 44209, PAGE 135
AS RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS

ZONING:
ZONING DISTRICT(S)
RESIDENTIAL

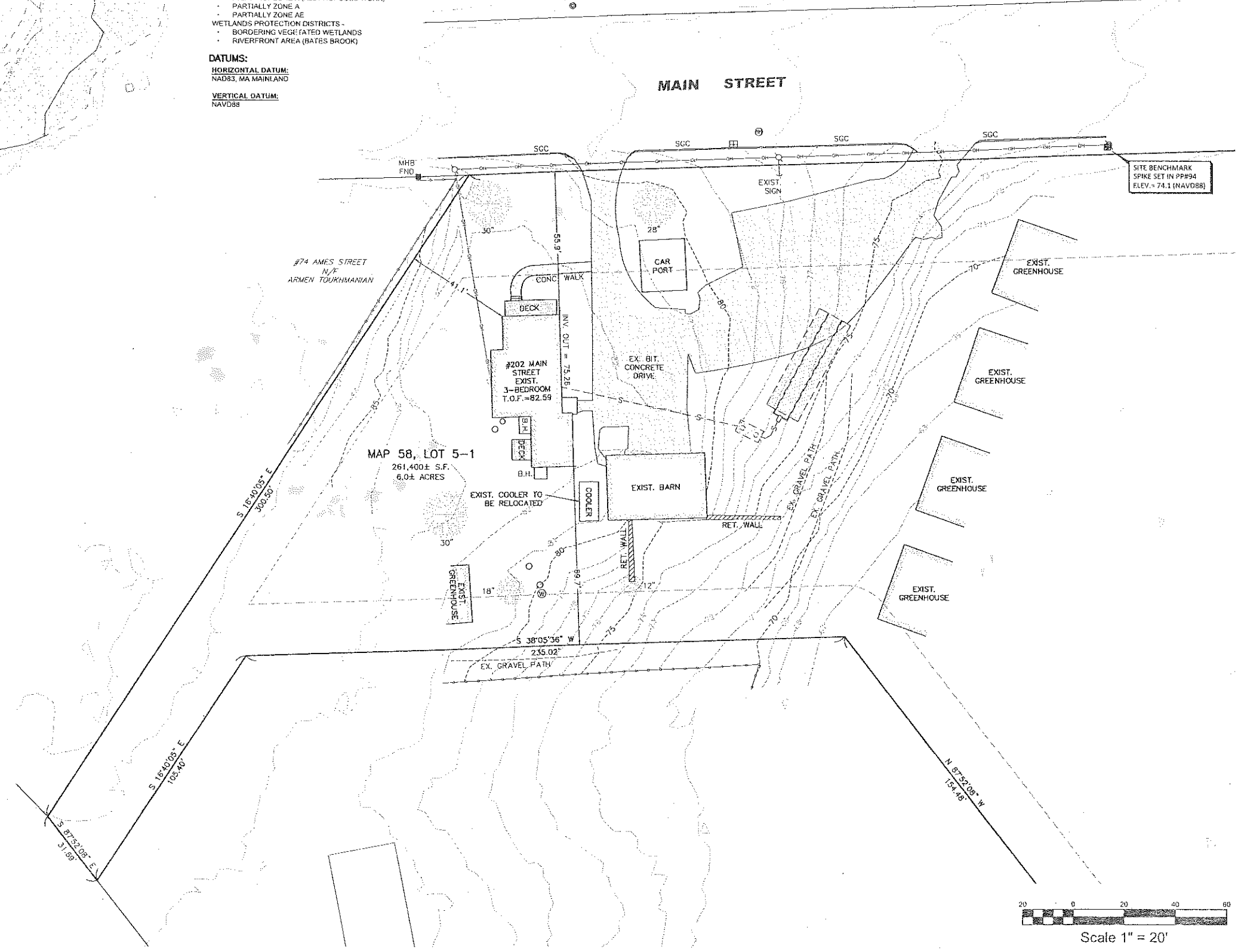
FEMA / WETLANDS:
FLOOD PLAINS
• PRIMARILY ZONE X (ALL PROPOSED WORK)
• PARTIALLY ZONE A
• PARTIALLY ZONE AE
WETLANDS PROTECTION DISTRICTS -
• BORDERING VEGETATED WETLANDS
• RIVERFRONT AREA (BATES BROOK)

DATUMS:
HORIZONTAL DATUM:
NAD83, MA MAINLAND
VERTICAL DATUM:
NAVD88

NOT FOR CONSTRUCTION

LEGEND

DESCRIPTION	EXISTING
CATCH BASINS	○
DRAIN MANHOLE	○
FIRE HYDRANT	○
POWER POLE	○
INTERMEDIATE CONTOUR	---90---
INDEX CONTOUR	---95---



Scale 1" = 20'

DATE: NOV. 04, 2023	PROJECT NO: 0447-01-01	SCALE: AS SHOWN	DESIGNED BY: AP	CHECKED BY: RSR	APPROVED BY: RSR
<p>RiverHawk ENVIRONMENTAL CIVIL ENGINEERING & ENVIRONMENTAL ASSESSMENT 2183 OCEAN STREET, WASHINGTON, MA 02950 781-528-1439 www.RiverHawk.com</p>					
<p>PROPOSED FARM STAND ELLIOT FARM 202 MAIN STREET LAKEVILLE, MA EXISTING CONDITIONS PLAN</p>					
<p>ELLIOT FARM 202 MAIN STREET LAKEVILLE, MA 02347</p>					
<p>11/04/2020</p>					
<p>EX1.1</p>					

SITE SUMMARY:

PARCEL ID: F_808281_2771615
 TOTAL AREA: 261,400± S.F. (6.0± ACRES)
 ZONING DISTRICT: RESIDENTIAL

CAR PARKING REQUIREMENTS:

ITEM	REQ'D PER UNIT	PROPOSED	MIN. REQ'D
COMMERCIAL ESTABLISHMENTS SERVING THE GENERAL PUBLIC	1 PER 300-SF.	1,600-SF	6
	1 PER EMPLOYEE	2 EMPLOYEES	2

SPACES REQUIRED: 8
 SPACES PROVIDED: 19

ADA SPACES REQUIRED ON-SITE: 1 (VAN ACCESSIBLE)
 ADA SPACES PROVIDED ON-SITE: 1 (VAN ACCESSIBLE)

TYPICAL CAR PARKING SPACE DIMENSION:
 MIN. 9' WIDE X 20' DEEP (STANDARD SPACE)
 MIN. 12' WIDE X 20' DEEP (HANDICAP ACCESSIBLE SPACE)

ZONING REQUIREMENTS:

ITEM	REQUIRED	EXISTING	PROPOSED
FRONT SETBACK	40	55.9	55.9
SIDE SETBACK	20	41.1	41.1
REAR SETBACK	20	69.7	31.8

SEPTIC SYSTEM REQUIREMENTS (TITLE V):

ITEM	REQUIRED	EXISTING	PROPOSED
DAILY FLOW CAPACITY (GPD)†	440	445	445

NOTES:
 1. REQUIRED DAILY FLOW CAPACITY IS BASED ON THE EXISTING 3-BEDROOM FLOW (330 GPD) AND THE PROPOSED FLOW (80 GPD) WHICH TOTALS TO 410 GPD. 440 GPD IS LESS THAN THE REQUIRED MINIMUM OF 440 GPD PER TITLE V, SO USE 440 GPD.

- NOTES:**
- ALL STREET SIGNS AND PAVEMENT MARKINGS SHALL ADHERE TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
 - ALL WHEELCHAIR RAMPS AND CROSSWALKS SHALL BE ADA COMPLIANT.
 - THE PARKING LOT AND ENTRANCE/EXIT DRIVES ARE HOT MIX ASPHALT (HMA), UNLESS SPECIFIED OTHERWISE.

- NOTES:**
- ALL SITE WORK SHALL MEET OR EXCEED THE SITE SPECIFICATIONS PREPARED FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE OWNER PRIOR TO ANY SITE WORK WHICH WOULD BE AFFECTED.
 - NO CERTIFICATION IS MADE AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY SUBSURFACE STRUCTURE/UTILITY NOT VISIBLE AND EVIDENCED FROM THE GROUND SURFACE.
 - CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO THE START ANY WORK.
 - ALL DRAINAGE PIPE TO BE 12" ADS N-12 SLOPED AT 0.005 FT/FT, UNLESS SPECIFIED OTHERWISE.
 - UNLESS SPECIFIED, ALL MATERIALS SHALL BE COMPLIANT WITH THE LATEST TOWN OF LAKEVILLE PUBLIC WORKS STANDARDS AND THE SPECIFICATIONS.
 - THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND OWNER'S ENGINEER FOR RESOLUTION.
 - CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION.
 - EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - ALL UTILITY COVERS, GRATES, ETC. TO REMAIN SHALL BE ADJUSTED TO BE FLUSH WITH THE FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS FOR STRUCTURES AND MANHOLES ARE APPROXIMATE.
 - AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
 - ALL SEDIMENT IS TO BE KEPT OUT OF THE PROPOSED INFILTRATION AREAS, WHICH SHALL NOT BE USED UNTIL ALL CATCH BASINS AND OTHER DRAINAGE SYSTEM APPURTENANCES ARE INSTALLED AND FUNCTIONAL.
 - PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN.
 - CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURBS MAY RETAIN RUNOFF PRIOR TO APPLICATION OF FINISH SUBGRADE. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.
 - ALL UTILITY TRENCHES IN THE RIGHT-OF-WAY SHALL BE BACKFILLED WITH CONTROL DENSITY FILL AND THE PAVEMENT SHALL BE PATCH USING INFRARED.

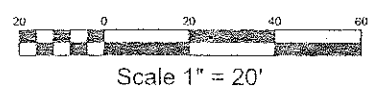
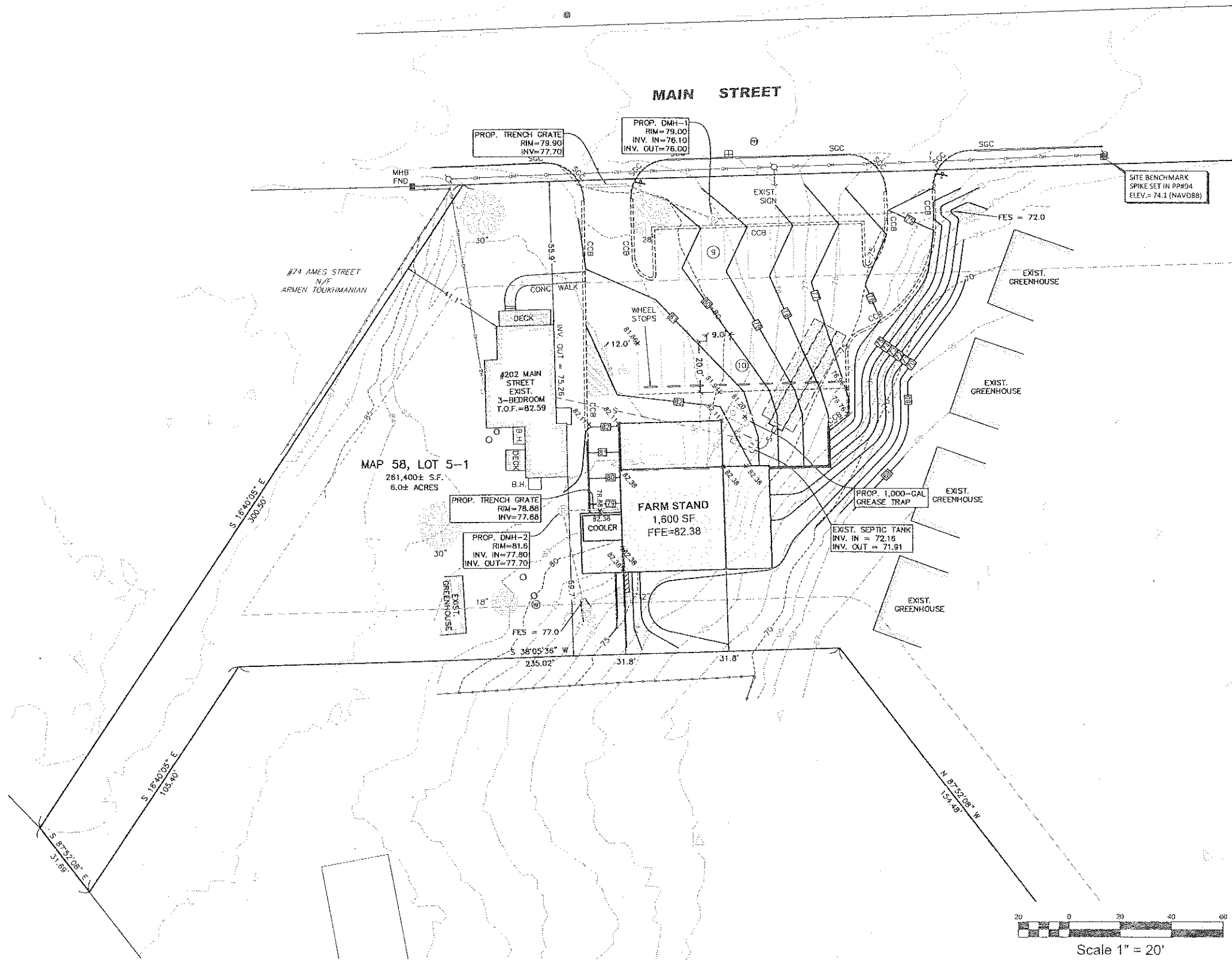
NOT FOR CONSTRUCTION

SIGN LEGEND

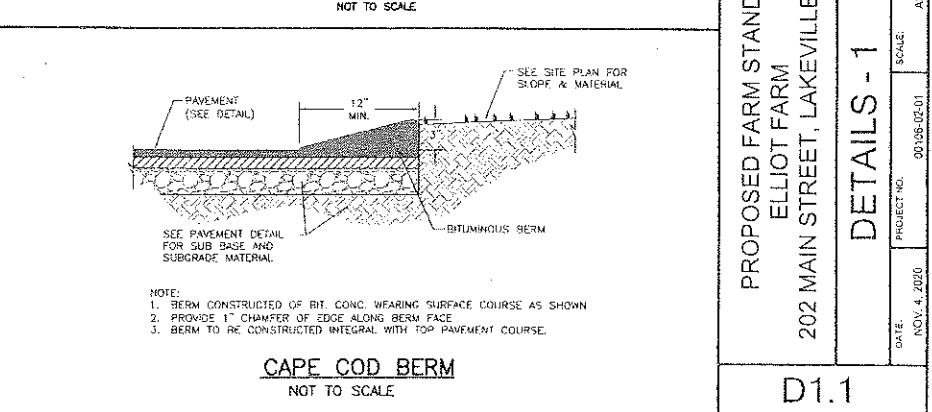
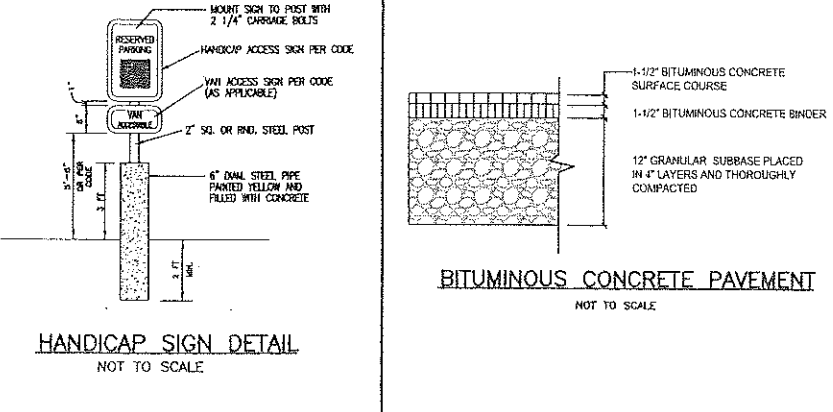
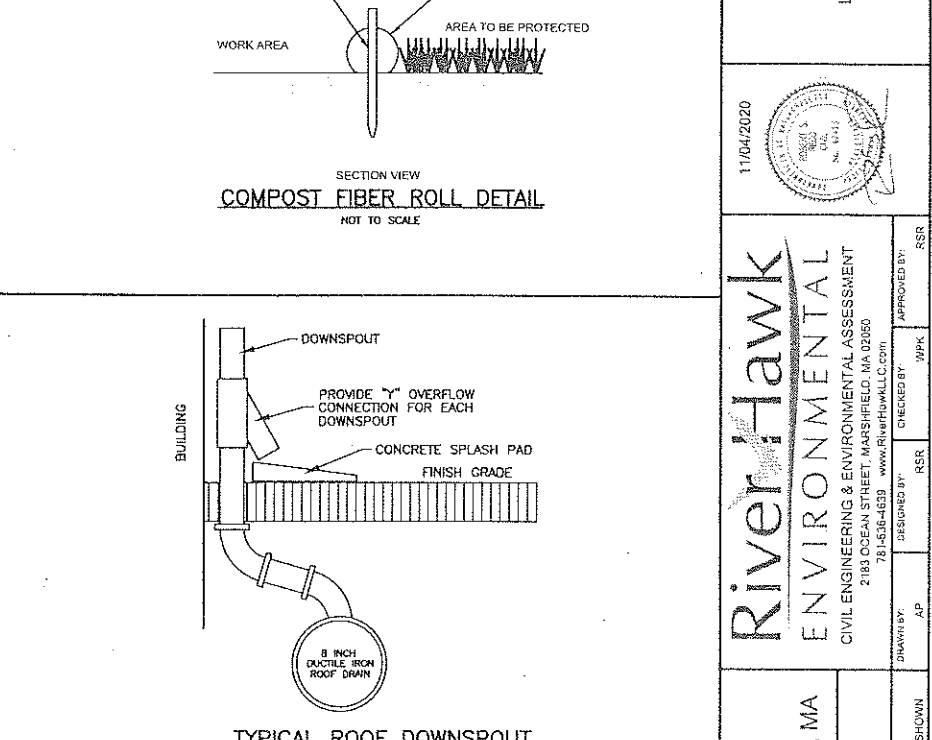
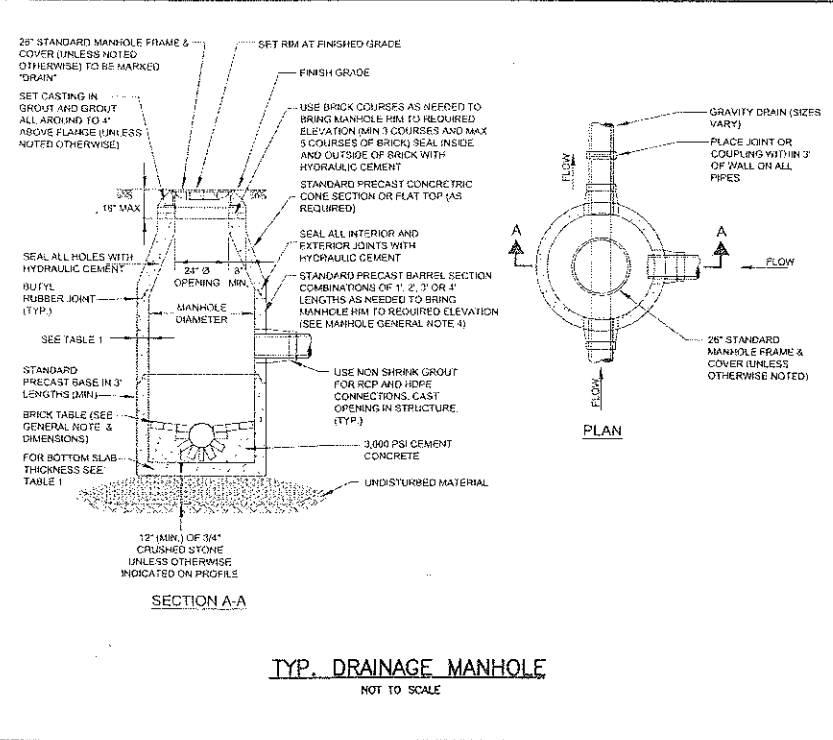
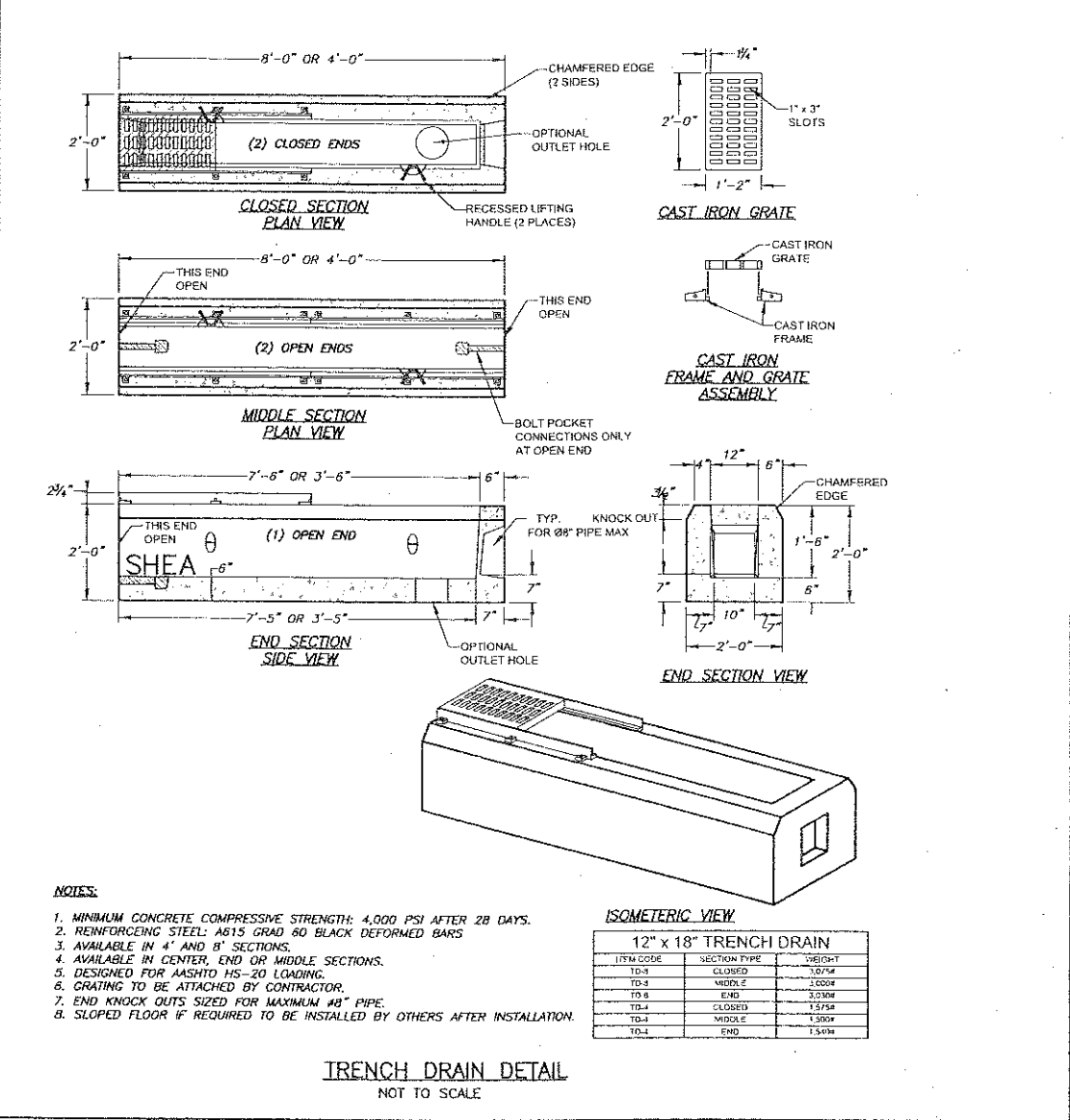
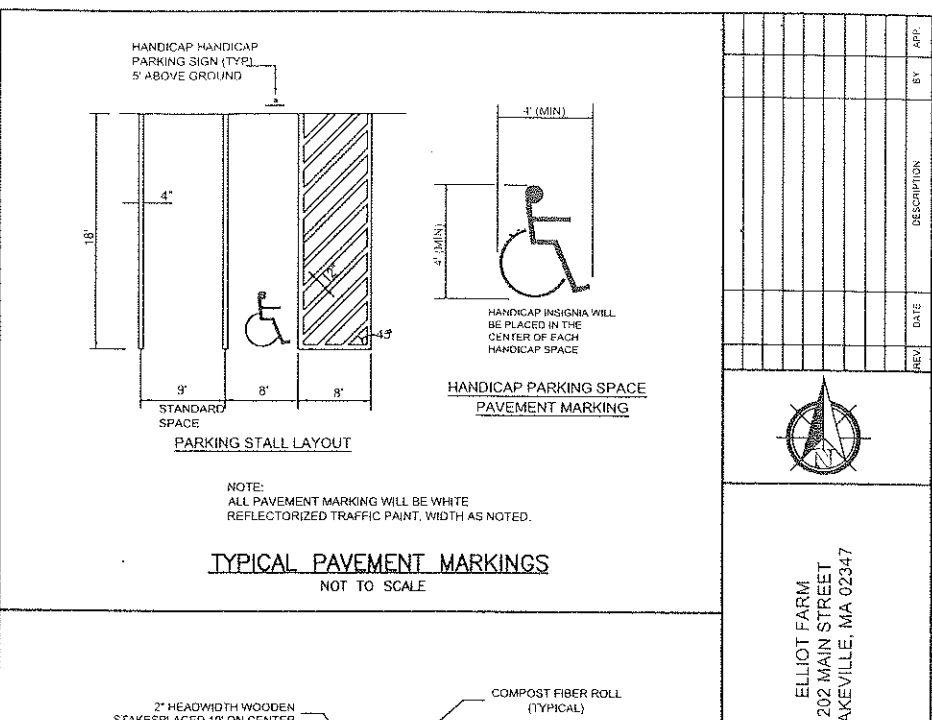
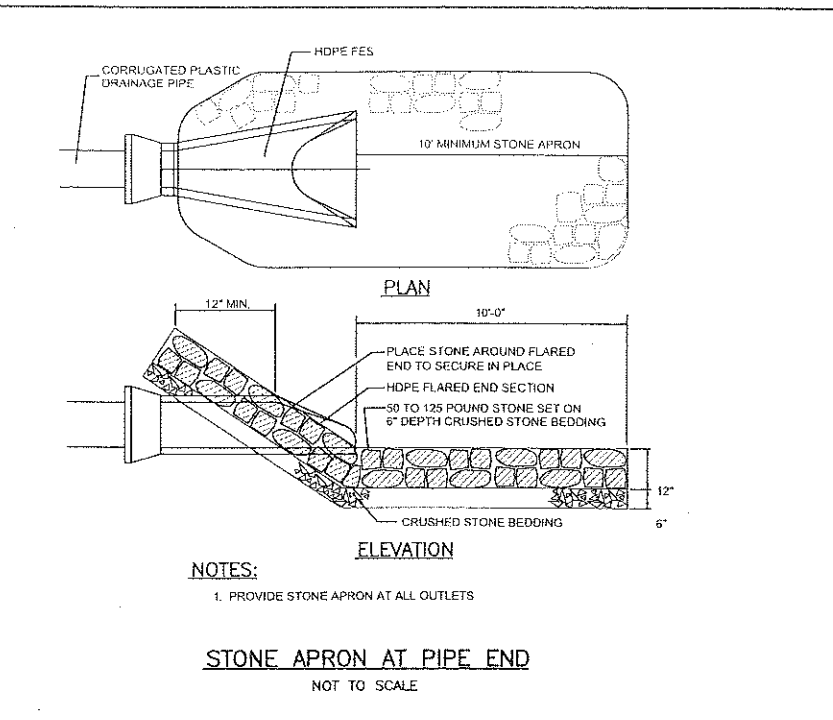
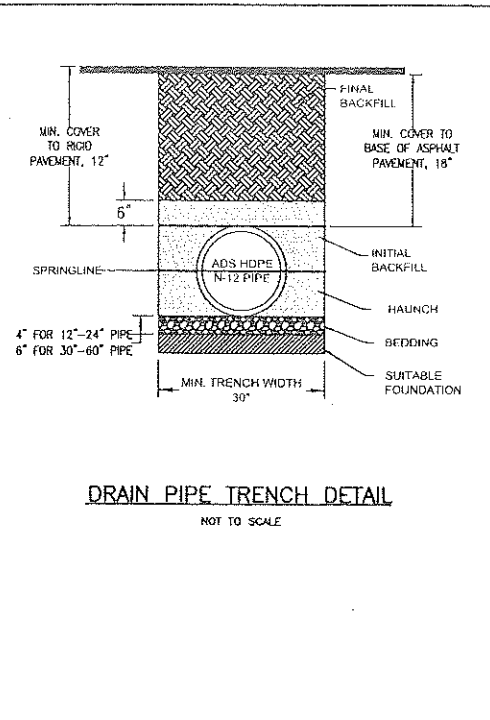
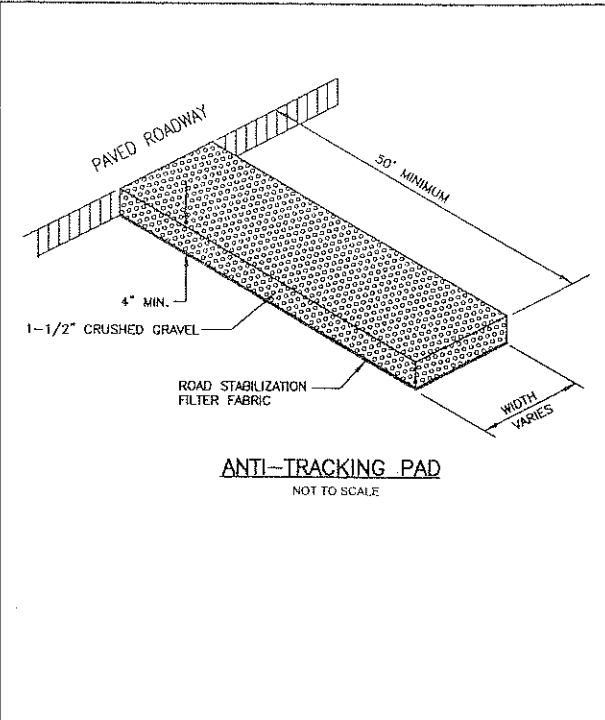
	EXISTING	PROPOSED
STOP	+	+
HANDICAP (VAN ACCESSIBLE)	+	+
STOP - LEFT TURN ONLY	+	+

ABBREVIATIONS

PCC	PRECAST CONCRETE CURB
SGC	SLOPED GRANITE CURB
VGC	VERTICAL GRANITE CURB
CCB	CAPE COD BERM
E.O.P.	EDGE OF PAVEMENT



NOV. 04, 2020	PROJECT NO. 0047-01-01	SCALE: AS SHOWN	DATE: NOV. 04, 2020
APPROVED BY: RSR	CHECKED BY: RSR	DESIGNED BY: RSR	DRAWN BY: AP
Riverhawk ENVIRONMENTAL CIVIL ENGINEERING & ENVIRONMENTAL ASSESSMENT 2183 OCEAN STREET, MARSHFIELD, MA 02050 781-538-4839 www.RiverhawkLLC.com			
PROPOSED FARM STAND ELLIOT FARM 202 MAIN STREET LAKEVILLE, MA SITE LAYOUT & GRADING PLAN			
11/04/2020 202 MAIN STREET, LAKEVILLE, MA 02347 11/04/2020 202 MAIN STREET, LAKEVILLE, MA 02347			
SP1.1			



DATE: NOV. 4, 2020	PROJECT NO: 00105-02-01	SCALE: AS SHOWN	DRAWN BY: AP	CHECKED BY: RSR	APPROVED BY: WPK	RSR
<p>River Hawk ENVIRONMENTAL CIVIL ENGINEERING & ENVIRONMENTAL ASSESSMENT 2183 OCEAN STREET, MARSHFIELD, MA 02050 781-453-4639 www.RiverHawkLLC.com</p>						
<p>PROPOSED FARM STAND ELLIOT FARM 202 MAIN STREET, LAKEVILLE, MA</p>						
<p>DETAILS - 1</p>						
<p>D1.1</p>						



MICHAEL O'BRIEN
FIRE CHIEF
mobrien@lakevillema.org

Lakeville Fire Department

346 Bedford Street
Lakeville, Massachusetts 02347

TEL 508-947-4121 FAX 508-946-3436

WILLIAM PURCELL
DEPUTY CHIEF
wpurcell@lakevillema.org

LAKEVILLE FIRE DEPARTMENT MEMORANDUM

TO: PLANNING BOARD
FROM: MICHAEL P. O'BRIEN, FIRE CHIEF *MO*
SUBJECT: SITE PLAN FOR 149 BEDFORD STREET
DATE: OCTOBER 28, 2020

149 Bedford

Dear Members of the Planning Board,

This document has been written to communicate concerns about the site plan for 149 Bedford Street.

The length of the driveway appears to be in excess of 150 feet in length. CMR 527 mandates an approved turnaround for fire department apparatus for all access roads in excess of 150 ft.

527 CMR 1.00 Chapter 18.2.3.4.4 Dead Ends. Dead-end fire department access roads in excess of 150 ft (46 m) in length shall be provided with approved provisions for the fire apparatus to turn around.

The Fire Department is not able to provide an approval of this plan as drawn. The department is available to provide additional information or have a discussion regarding this concern.

#3

Cathy Murray, Appeals Board Clerk

From: Cathy Murray, Appeals Board Clerk
Sent: Thursday, October 29, 2020 2:30 PM
To: Jamie@zcellc.com
Subject: RE: Site Plan - 149 Bedford Street

Hi Jamie,

Please see the Police Chief's concern below. Please copy me on any response that you may have.

Thanks!

Cathy

From: Matthew Perkins, Lakeville Chief of Police
Sent: Wednesday, October 28, 2020 8:58 AM
To: Cathy Murray, Appeals Board Clerk <cmurray@lakevillema.org>
Cc: Michael P. O'Brien, Fire Chief <mobrien@lakevillema.org>
Subject: RE: Site Plan - 149 Bedford Street

Cathy,

The only public safety concern at this time, that I have, is the protection of the proposed structure. We have been waiting for a vehicle to crash into the existing structure and are surprised it isn't a common occurrence. I see that the proposed design moves the building further away from the roadway and places a retaining wall on the roadway intersection corner. Is this retaining wall sufficient to stop a vehicle prior to striking the building? What about a commercial motor vehicle? This is the only concern I have.

Thanks,
Matt

Respectfully,

Matthew J. Perkins
Chief of Police
Lakeville Police Department
323 Bedford Street
Lakeville, MA 02347
508-947-4422
508-946-4422 fax

SITE NOTES:

- THE SITE IS SHOWN ON THE TOWN OF LAKEVILLE ASSESSORS MAP AS MAP 025 BLOCK 004 LOT 002.
- PROPERTY LINE INFORMATION WAS TAKEN FROM:
 - FOR TITLE REFERENCE TO THE SUBJECT PROPERTY REFER TO BOOK 46008, PAGE 42 IN THE PLYMOUTH COUNTY REGISTER OF DEEDS.
 - PLAN REFERENCES:
 - PLAN BOOK 12 PAGE 860
 - PLAN BOOK 30 PAGE 924
 - PLAN BOOK 44 PAGE 532
- "SEE STATE HIGHWAY DRAINAGE EASEMENT AS SHOWN ON PLAN #620 OF 1971, RECORDED IN DEED BOOK 3689 PAGE 395."
- A PROPERTY LINE AND TOPOGRAPHY INFORMATION TAKEN FROM A FIELD SURVEY BY MADDIGAN LAND SURVEYING LLC IN OCTOBER OF 2019 AND JULY OF 2020.
- THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AS SIALED FROM THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF PLYMOUTH COUNTY, MAP NUMBER 2502300427K, EFFECTIVE DATE JULY 16, 2015.
- THE SUBJECT PROPERTY IS NOT LOCATED IN A ZONE II OR WPA (WELL HEAD PROTECTION AREA).
- THE SYSTEM IS NOT LOCATED WITHIN A ZONE A OF A SURFACE WATER SUPPLY.
- THE PROPERTY IS NOT LOCATED IN A PRIORITY HABITAT OR ESTIMATED HABITAT AS SHOWN ON THE MASSACHUSETTS NATURAL HERITAGE ARLAS 14TH EDITION EFFECTIVE DATE AUGUST 1, 2017.
- THE PROJECT IS NOT LOCATED WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC).
- THE SITE IS LOCATED IN AN OUTSTANDING RESOURCE WATER AREA (ORWA).
- ALL UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE. LOCATIONS WERE TAKEN FROM PLANS OF RECORD WITH THE MUNICIPALITY, DIG SAFE LOCATIONS OR FIELD EVIDENCE. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT DIG SAFE (1-888-DIG SAFE) AND ALL UTILITY COMPANIES TO CONFIRM LOCATIONS AND ELEVATIONS PRIOR TO THE START OF WORK.

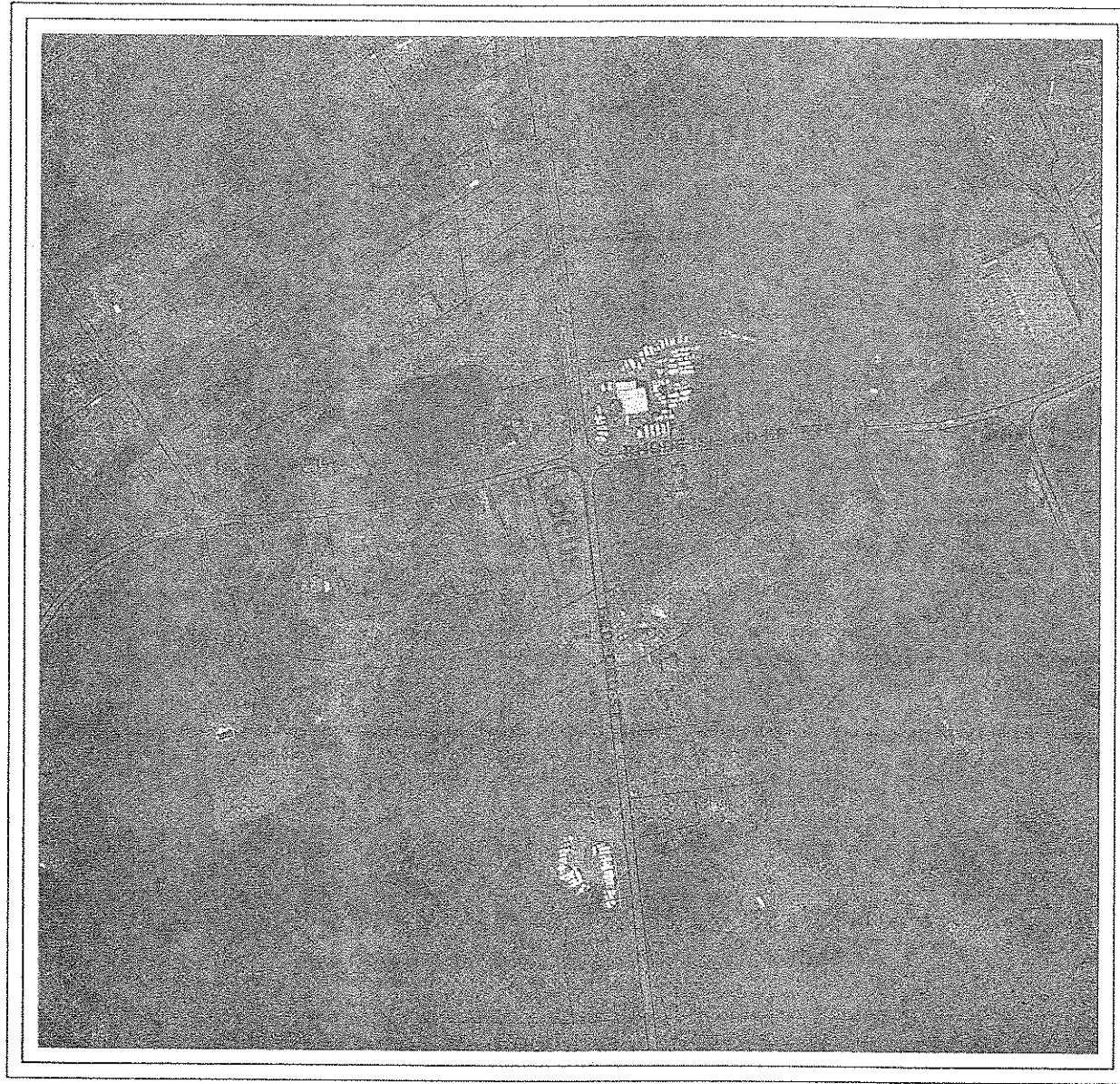
CONSTRUCTION NOTES:

- A NPDES FILING MUST BE SUBMITTED FOR THIS PROJECT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY BENCHMARKS FOR CONSISTENCY PRIOR TO CONSTRUCTION AND SHALL NOTIFY ZENITH CONSULTING ENGINEERS, LLC, OF ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY WATER TABLE ELEVATIONS AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES FROM THE PLAN.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT DIG SAFE (1-888-DIG SAFE) PRIOR TO THE COMMENCEMENT OF WORK AND ALL UNDERGROUND UTILITY COMPANIES TO CONFIRM LOCATIONS AND ELEVATIONS.
- SITE IS TO BE SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER.
- ALL PAVEMENT MARKING AND SIGNAGE SHALL CONFORM TO MUTCD STANDARDS.
- PROPOSED UTILITIES AND CONSTRUCTION METHODS UNDER AREAS SUBJECT TO TRAFFIC LOADING SHALL BE INSTALLED TO WITHSTAND H-20 LOADING TRAFFIC STANDARDS. CONTRACTOR SHALL VERIFY THAT ALL STRUCTURES COMPLY TO THIS STANDARD.
- WHERE ALL CONCRETE STRUCTURES INTERCEPT THE SEASONAL HIGH GROUNDWATER TABLE, THE CONTRACTOR SHALL SEAL THE ENTIRE STRUCTURE WITH WATERPROOF SEALER.
- IF APPLICABLE, ANY RETAINING WALLS SHALL BE DESIGNED BY A MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.
- ALL WORK SHALL CONFORM TO THE CITY OF TAUNTON RULES AND REGULATIONS AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY AND BRIDGES, MOST CURRENT VERSION OF PLAN SET.

SCHEDULE OF DRAWINGS

DRAWING NUMBER	PLAN TITLE	LATEST PLAN DATE
C1	COVER SHEET	10/02/2020
E1	EXISTING CONDITIONS PLAN	10/02/2020
L1	SITE LAYOUT PLAN	10/02/2020
G1	GRADING AND DRAINAGE PLAN	10/02/2020
V1	LANDSCAPING PLAN	10/02/2020
EC1	EROSION CONTROL PLAN 1	10/02/2020
D1	DETAIL SHEET 1	10/02/2020
D2	DETAIL SHEET 2	10/02/2020

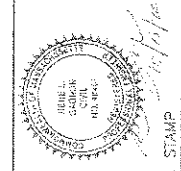
SITE PLAN FOR 149 BEDFORD STREET (ASSESSORS MAP 025 BLOCK 004 LOT 002) LAKEVILLE, MASSACHUSETTS



**LOCUS PLAN
SCALE: 1"=200'**

LAKEVILLE PLANNING BOARD

APPROVED: _____
ENDORSED: _____

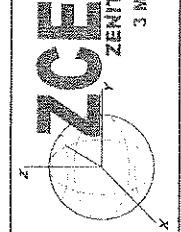


P.E. STAMP

OWNER
CEDAR BERRY HOLDING, LLC.
44 CLEAR POND ROAD
LAKEVILLE, MASSACHUSETTS

APPLICANT
EXPOSURE MARKETING GROUP LLC
139 STAPLES SHORE ROAD
LAKEVILLE, MASSACHUSETTS

ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
---	CONTOURS	---
---	SPOT GRADE	---
---	BOUND	---
---	TEST PIT	---
---	DRAIN LINE	---
---	DRAIN MANHOLE	---
---	CATCH BASIN	---
---	RETAINING WALL	---
---	OVERHEAD WIRES	---
---	LIGHT POLE	---
---	STONEWALL	---
---	SEWER MAIN	---
---	SEWER FORCE MAIN	---
---	CHAIN LINK FENCE	---
---	HYDRANT	---
---	GAS LINE	---

REV.	DATE	DESCRIPTION	BY	APP.

SURVEY COMPANY OF RECORD:

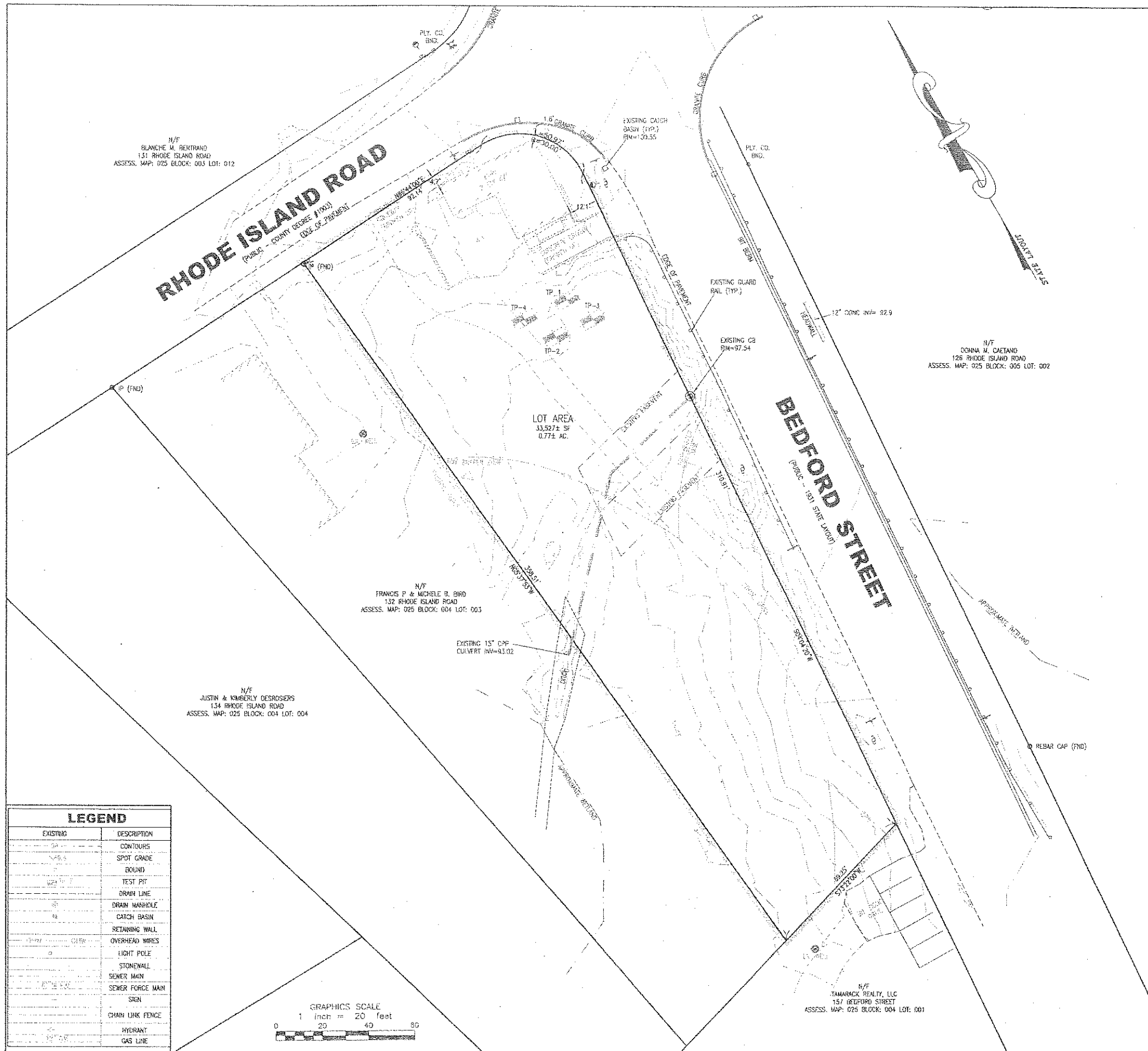
MADDIGAN
LAND SURVEYING,
LLC.

88 EAST GROVE STREET
MIDDLEBORO, MA 02348
T. 774-213-5196
DMADDIGAN@COMCAST.NET

COVER SHEET
149 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS
EXPOSURE MARKETING GROUP LLC
139 STAPLES SHORE ROAD
LAKEVILLE, MASSACHUSETTS

OCTOBER 2, 2020

S:\Civil Engineering Projects\Lakeville\Bedford Street\149 Bedford Street\149 Site Plan Base.dwg



N/F
BLANCHE M. BERTRAND
131 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 003 LOT: 012

N/F
FRANCIS P & MICHELE B. BIRD
132 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 004 LOT: 003

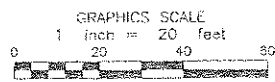
N/F
JUSTIN & KIMBERLY DESROSIERS
134 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 004 LOT: 004

N/F
DORNA W. CAETANO
126 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 005 LOT: 002

N/F
TANARACK REALTY, LLC
15/ BEDFORD STREET
ASSESS. MAP: 025 BLOCK: 004 LOT: 001

LEGEND

EXISTING	DESCRIPTION
- - - - -	CONTOURS
- - - - -	SPOT GRADE
- - - - -	BOUND
- - - - -	TEST PIT
- - - - -	DRAIN LINE
- - - - -	DRAIN MANHOLE
- - - - -	CATCH BASIN
- - - - -	RETAINING WALL
- - - - -	OVERHEAD WIRES
- - - - -	LIGHT POLE
- - - - -	STONEWALL
- - - - -	SEWER MAIN
- - - - -	SEWER FORCE MAIN
- - - - -	SIGN
- - - - -	CHAIN LINK FENCE
- - - - -	HYDRANT
- - - - -	GAS LINE



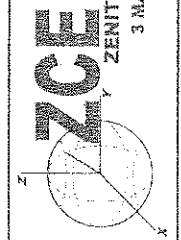
LAKEVILLE PLANNING BOARD

APPROVED: _____
ENDORSED: _____



P. E. STAMP

ZCF ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208



SITE INFORMATION:

1. THE SITE IS SHOWN ON THE TOWN OF LAKEVILLE ASSESSORS MAP AS MAP 025 BLOCK 004 LOT 002.
2. PROPERTY LINE INFORMATION WAS TAKEN FROM:
 - 2.1. FOR TITLE REFERENCE TO THE SUBJECT PROPERTY REFER TO BOOK 4800B, PAGE 42 IN THE PLYMOUTH COUNTY RECORDS OF DEEDS.
 - 2.2. PLAN REFERENCES: PLAN BOOK 12 PAGE 850
PLAN BOOK 30 PAGE 924
PLAN BOOK 44 PAGE 532
 - 2.3. "SEE STATE HIGHWAY DRAINAGE EASEMENT AS SHOWN ON PLAN 620 OF 1971, RECORDED IN DEED BOOK 3689 PAGE 395."
3. A PROPERTY LINE AND TOPOGRAPHY INFORMATION TAKEN FROM A FIELD SURVEY BY MADDIGAN LAND SURVEYING LLC, IN OCTOBER OF 2016 AND JULY OF 2020
4. THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AS SCALED FROM THE FLOOD INSURANCE RATE MAP (FIRM) OF PLYMOUTH COUNTY, MAP NUMBER 260230427K, EFFECTIVE DATE JULY 18, 2015.
5. THE SUBJECT PROPERTY IS NOT LOCATED IN A ZONE U OR UWA (WELL HEAD PROTECTION AREA).
6. THE SYSTEM IS NOT LOCATED WITHIN A ZONE A OF A SURFACE WATER SUPPLY.
7. THE PROPERTY IS NOT LOCATED IN A PRIORITY HABITAT OR ESTIMATED HABITAT AS SHOWN ON THE MASSACHUSETTS NATURAL HERITAGE ATLAS 14TH EDITION EFFECTIVE DATE AUGUST 1, 2017.

REV.	DATE	DESCRIPTION	BY	APP.

SURVEY COMPANY OF RECORD:

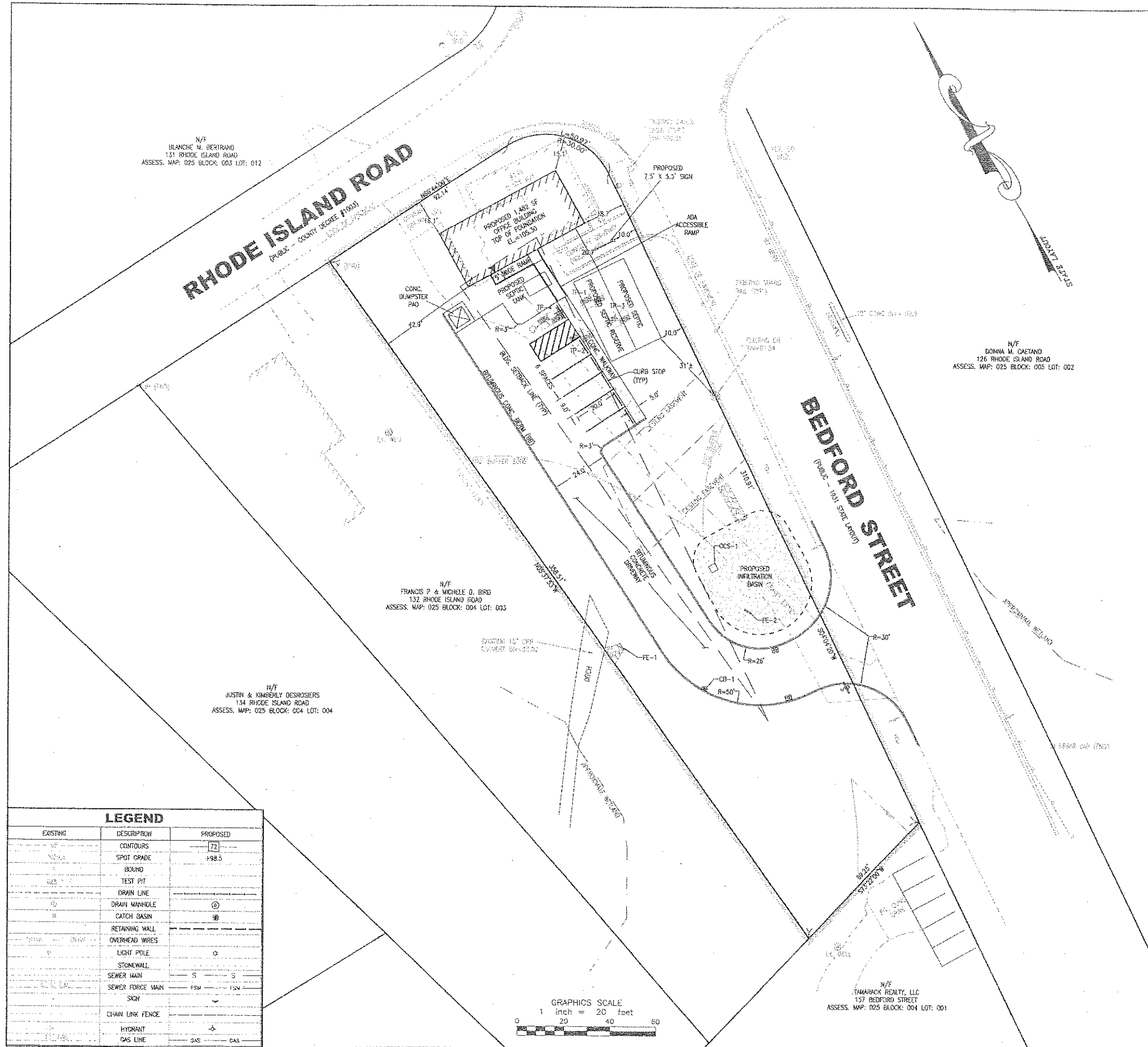
MADDIGAN
LAND SURVEYING,
LLC.
88 EAST GROVE STREET
MIDDLEBORO, MA 02346
T: 774-213-5196
DMADDIGAN@COMCAST.NET



PROFESSIONAL LAND SURVEYOR, PLS. DATE 10-15-2020

EXISTING CONDITIONS PLAN
PROJECT SITE:
149 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS
CLIENT INFO:
EXPOSURE MARKETING GROUP LLC
139 STAPLES SHORE ROAD
LAKEVILLE, MASSACHUSETTS

S:\Civil\Engineering\Projects\Lakeville\Bedford Street\149 Bedford Street\000\Site Plan Board.dwg



N/F
BLANCHE M. BERTRAND
131 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 003 LOT: 012

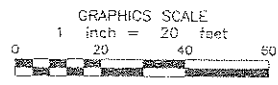
N/F
DONNA M. CAETANO
126 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 005 LOT: 002

N/F
FRANCIS P & MICHELE B. BIRD
132 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 004 LOT: 003

N/F
JUSTIN & KIMBERLY DESROSIERS
134 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 004 LOT: 004

N/F
TAMARACK REALTY, LLC
157 BEDFORD STREET
ASSESS. MAP: 025 BLOCK: 004 LOT: 001

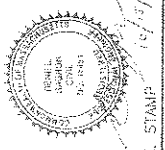
EXISTING	DESCRIPTION	PROPOSED
(Symbol)	CONTOURS	(Symbol)
(Symbol)	SPOT GRADE	+98.5
(Symbol)	BOUND	(Symbol)
(Symbol)	TEST PIT	(Symbol)
(Symbol)	DRAIN LINE	(Symbol)
(Symbol)	DRAIN MANHOLE	(Symbol)
(Symbol)	CATCH BASIN	(Symbol)
(Symbol)	RETAINING WALL	(Symbol)
(Symbol)	OVERHEAD WIRES	(Symbol)
(Symbol)	LIGHT POLE	(Symbol)
(Symbol)	STONEWALL	(Symbol)
(Symbol)	SEWER MAIN	(Symbol)
(Symbol)	SEWER FORCE MAIN	(Symbol)
(Symbol)	SIGN	(Symbol)
(Symbol)	CHAIN LINK FENCE	(Symbol)
(Symbol)	HYDRANT	(Symbol)
(Symbol)	GAS LINE	(Symbol)



LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



ZCF ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

ZONING DISTRICT: BUSINESS

	REQUIRED	PROVIDED
LOT AREA	70,000 SF	33,527 SF
FRONT YARD SETBACK	40 FT.	454 FT.
SIDE YARD SETBACK	40 FT.	40+ FT.
REAR YARD SETBACK	40 FT.	40+ FT.
MAXIMUM HEIGHT	35 FT.	<35 FT.
MAXIMUM IMPERVIOUS AREA	50%	33.0%

IMPERVIOUS COVER (PER LAKEVILLE ZONING SECTION 5.2.2.1)

TOTAL LOT AREA	33,527 SF
WETLAND AREA	0 SF
PROPOSED DRAINAGE BASIN & BERM	4,831 SF
ADJUSTED AREA FOR IMPERVIOUS CALCULATION	28,696 SF
PROPOSED ROOF AND PAVEMENT AREA	9,468 SF
IMPERVIOUS AREA = 9,468 SF	
ADJUSTED AREA = 28,696 SF	= 33.0%

PARKING SUMMARY

OFFICE:
ZONING REGULATION 6.5.3.J - 1 SPACE / 300 SF
MINIMUM REQUIRED: 1,482 SF / 300 SF = 5 SPACES

TOTAL SPACES REQUIRED: 5 SPACES
PROVIDED: 6 SPACES

HANDICAPPED PARKING
ADA STANDARDS FOR ACCESSIBLE DESIGN 28 CFR PART 36
MINIMUM REQUIRED: 1 FOR PARKING LOT BETWEEN 1 AND 25 SPACES
PROVIDED: 1 HC SPACE (VAN ACCESSIBLE)

SITE LAYOUT NOTES:

1. ALL PAVEMENT MARKING AND SIGNAGE SHALL CONFORM TO MUTCD STANDARDS.

SIGN LEGEND

	PROPOSED
STOP	(Symbol)
ONE WAY	(Symbol)
HANDICAP	(Symbol)
RIGHT TURN ONLY	(Symbol)
LEFT TURN ONLY	(Symbol)
DO NOT ENTER	(Symbol)
DO NOT BLOCK INTERSECTION	(Symbol)
DELIVERY VEHICLES ONLY	(Symbol)

SURVEY COMPANY OF RECORD:

MADDIGAN
LAND SURVEYING,
LLC.
88 EAST GROVE STREET
MIDDLEBORO, MA 02346
T: 774-213-5196
DMADDIGAN@COMCAST.NET

REV.	DATE	DESCRIPTION	BY	APP.

DATE: 10/02/2020
PROJECT NUMBER: 0234-01-01
DRAWING SCALE: 1"=20'
SHEET ID: L

DRAWN BY: JLB/HNF
DESIGNED BY: JLB/HNF
CHECKED BY: JLB
APPROVED BY: JLB

SITE LAYOUT PLAN

149 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS
EXPOSURE MARKETING GROUP LLC
155 STAPLES SHORE ROAD
LAKEVILLE, MASSACHUSETTS

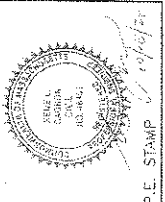
WATER NOTES:

1. BACKFLOW PROTECTION IS REQUIRED ON ALL WATER LINES.
2. A FIRE FLOW TEST IS REQUIRED PRIOR TO THE INSTALLATION OF ANY FIRE SUPPRESSION LINES.
3. RADIO WATER METERS, SUPPLIED BY THE TAUNTON WATER DIVISION, SHALL BE INSTALLED ON ALL DOMESTIC WATER LINES.

LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____

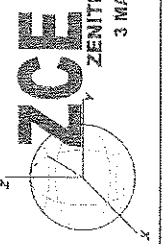


P.E. STAMP

GENERAL NOTES:

1. ALL ELEVATIONS REFER TO AN NAVD-88 DATUM. CONTRACTOR TO VERIFY BENCHMARKS FOR CONSISTENCY PRIOR TO CONSTRUCTION.
2. EXISTING UTILITIES LOCATIONS WERE TAKEN FROM AS-BUILT PLANS, DIG SAFE MARKINGS OR LOCATED IN THE FIELD. THEY ARE TO BE CONSIDERED APPROXIMATE AND MUST BE CONFIRMED BY THE SITE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT DIG SAFE (1-888-DIG SAFE) PRIOR TO THE COMMENCEMENT OF WORK AND ALL UNDERGROUND UTILITY COMPANIES TO CONFIRM LOCATIONS AND ELEVATIONS.
4. ALL BENDS, CAPS AND TEES ON WATER PIPES SHALL BE INSTALLED WITH THRUST BLOCKS AND MEGA-LUG RESTRAINTS.
5. THE SITE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE PROPOSED WATER MAINS AND SERVICE LINES HAVE PROPER FROST PROTECTION AT TIME OF INSTALLATION.
6. SITE IS TO BE SERVICED BY MUNICIPAL WATER, AN ON-SITE SANITARY DISPOSAL SYSTEM, AND UNDERGROUND ELECTRIC/CABLE.
7. ALL DRAINAGE PIPE IS TO BE ADS N-12 STYLE PIPE OR APPROVED EQUAL.
8. ELECTRIC, TELEPHONE AND CABLE LINE LOCATIONS TO BE DESIGNED BY MIDDLEBOROUGH GAS AND ELECTRIC OR OTHERS.
9. PROPOSED UTILITIES AND CONSTRUCTION METHODS UNDER AREAS SUBJECT TO TRAFFIC LOADING SHALL BE INSTALLED TO WITHSTAND H-20 LOADING TRAFFIC STANDARDS. CONTRACTOR SHALL VERIFY THAT ALL STRUCTURES COMPLY TO THIS STANDARD.
10. WHERE ALL CONCRETE STRUCTURES INTERCEPT THE SEASONAL HIGH GROUNDWATER TABLE, THE CONTRACTOR SHALL SEAL THE ENTIRE STRUCTURE WITH WATERPROOF SEALER.
11. CONTRACTOR SHALL VERIFY WATER TABLE ELEVATIONS AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES FROM THE PLAN.
12. IF APPLICABLE, ANY RETAINING WALLS SHALL BE DESIGNED BY A MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.
13. ANY SOILS EXCAVATED FROM THE ROADWAY AREA TO BE REPLACED WITH GRAVEL BORROW MEETING THE SPECIFICATION OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
14. ALL WATER AND SEWER LINE CROSSINGS SHALL CONFORM WITH 310 CMR 15.00 (TITLE 5).
15. THE PROJECT IS SUBJECT TO A WPPPP CONSTRUCTION GENERAL PERMIT BUT NO SWPPP HAS BEEN SUBMITTED. THE SWPPP WILL BE SUBMITTED PRIOR TO THE START OF DISTURBANCE.

ZCF ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208



REV.	DATE	DESCRIPTION	BY	APP.

GRADING AND DRAINAGE PLAN

PROJECT NO: 149 BEDFORD STREET
 LAKEVILLE, MASSACHUSETTS
 CLIENT INFO: EXPOSURE MARKETING GROUP LLC
 139 STAPLES SHORE ROAD
 LAKEVILLE, MASSACHUSETTS

DATE: 10/02/2020

PROJECT NUMBER: 0224-01-01

DRAWING SCALE: 1"=20'

SHEET NO: 6

DRAWN BY: JLB/RMF

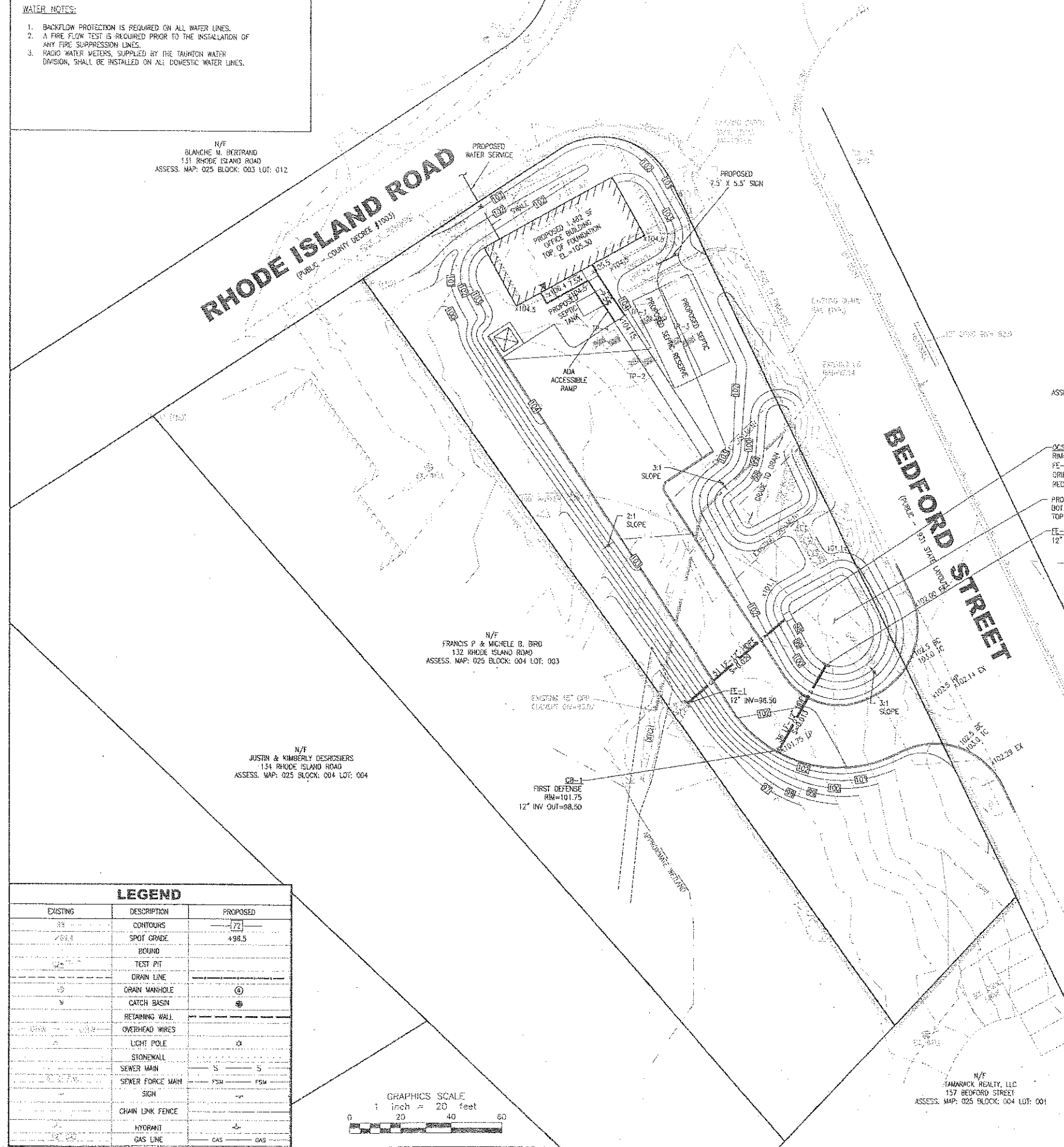
DESIGNED BY: JLB/RMF

CHECKED BY: JLB

APPROVED BY: JLB

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	CONTOURS	
	SPOT GRADE	+98.5
	BOUND	
	TEST PIT	
	DRAIN LINE	
	DRAIN MANHOLE	
	CATCH BASIN	
	RETAINING WALL	
	OVERHEAD WIRES	
	LIGHT POLE	
	STONEWALL	
	SEWER MAIN	
	SEWER FORCE MAIN	
	SIGN	
	CHAIN LINK FENCE	
	HYDRANT	
	GAS LINE	



N/F
 BLANCHE M. BERTRAND
 131 RHODE ISLAND ROAD
 ASSESS. MAP: 025 BLOCK: 003 LOT: 012

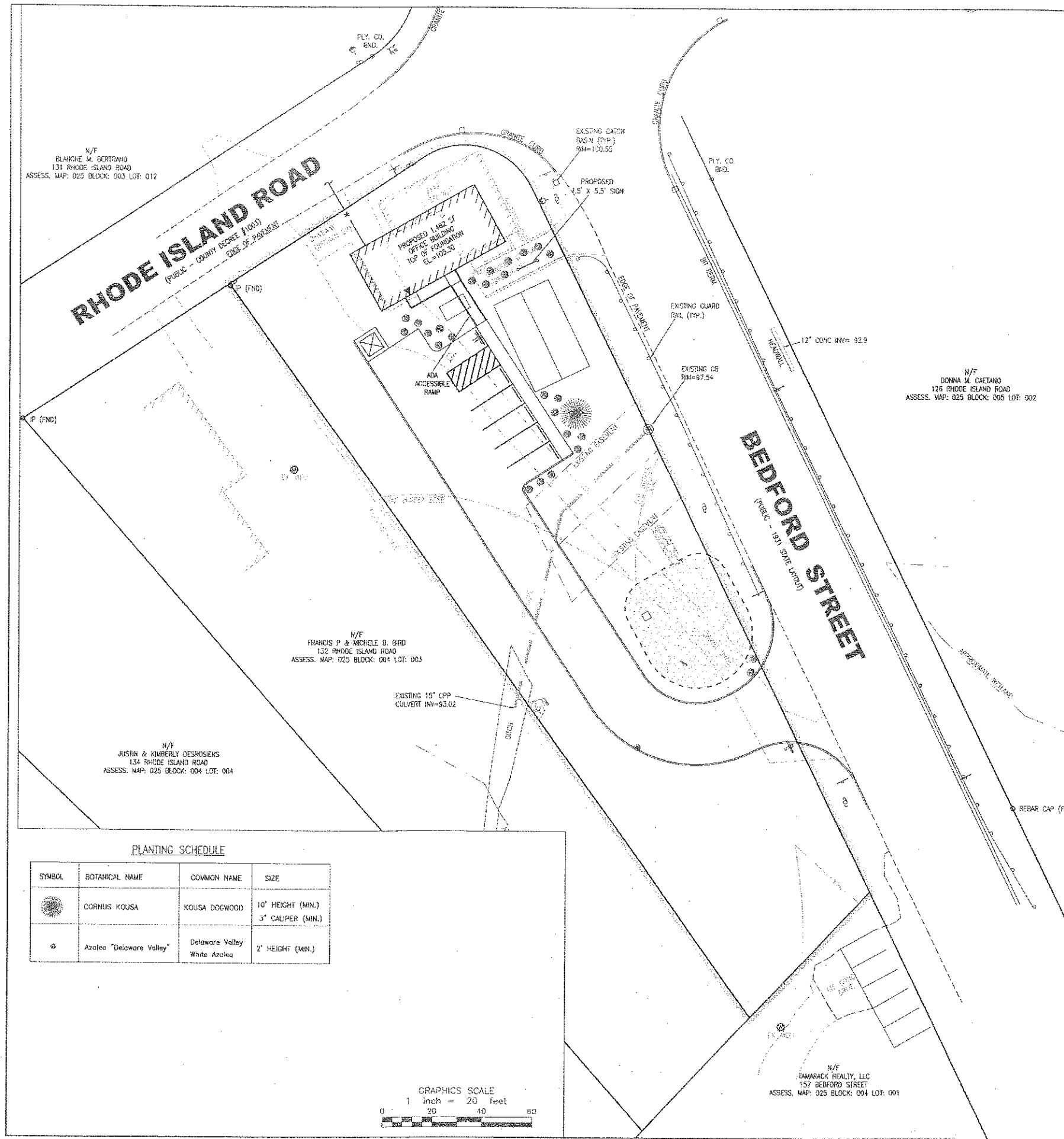
N/F
 DONNA M. CAZIANO
 128 RHODE ISLAND ROAD
 ASSESS. MAP: 025 BLOCK: 005 LOT: 002

N/F
 FRANCIS P & MICHELE G. BIRD
 132 RHODE ISLAND ROAD
 ASSESS. MAP: 025 BLOCK: 004 LOT: 003

N/F
 JUSTIN & KIMBERLY DESROSIERS
 134 RHODE ISLAND ROAD
 ASSESS. MAP: 025 BLOCK: 004 LOT: 004

CB-1
 FIRST DEFENSE
 RM=101.75
 12" INV OUT=98.50

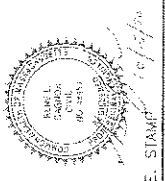
N/F
 TAMARACK REALTY, LLC
 157 BEDFORD STREET
 ASSESS. MAP: 025 BLOCK: 004 LOT: 001



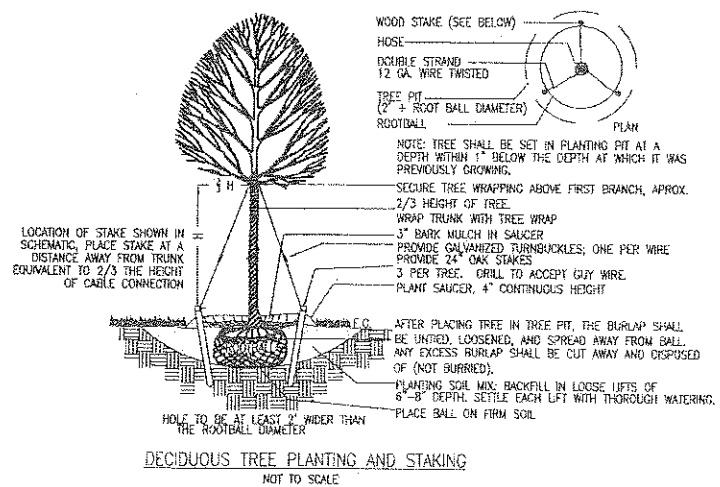
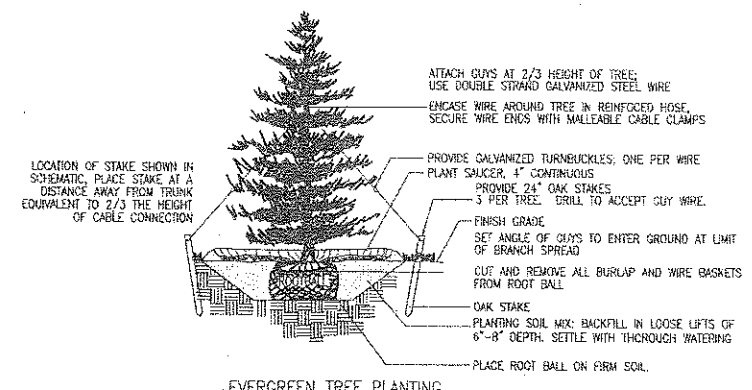
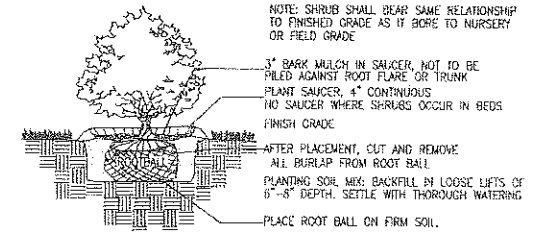
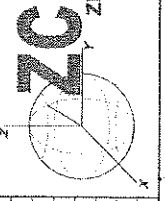
LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____

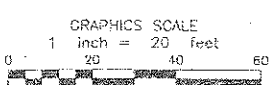


ZCE ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208



PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	CORNUS KOUSA	KOUSA DOGWOOD	10' HEIGHT (MIN.) 3" CALIPER (MIN.)
	Azalea "Delaware Valley"	Delaware Valley White Azalea	2' HEIGHT (MIN.)

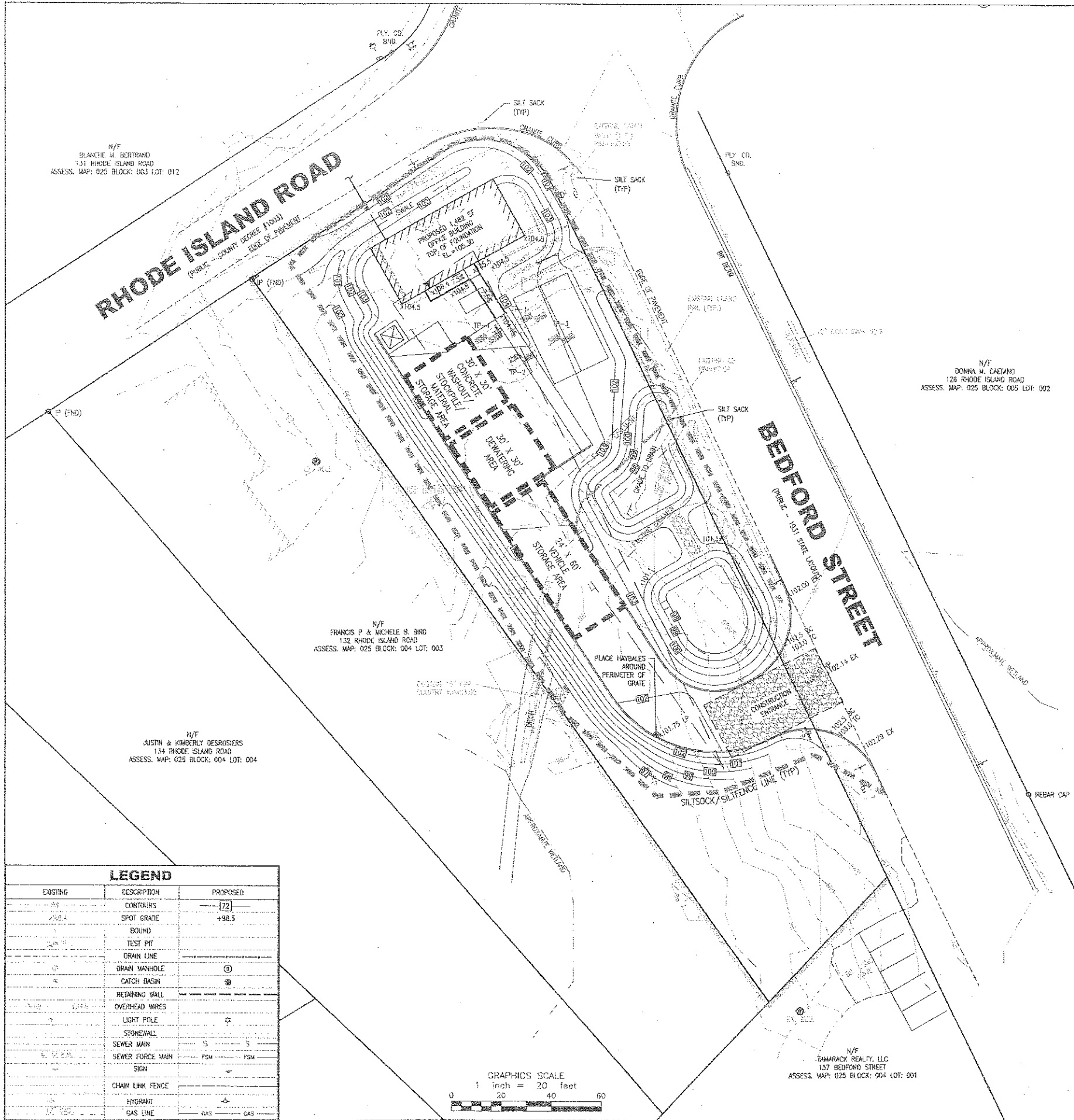


REV.	DATE	DESCRIPTION	BY	APP.

DATE: 10/02/2020
 PROJECT NUMBER: 0234-01-01
 DRAWING SCALE: 1"=20'
 SHEET ID: V

DRAWN BY: JLB/RMF
 DESIGNED BY: JLB/RMF
 CHECKED BY: JLB
 APPROVED BY: JLB

LANDSCAPING PLAN
 149 BEDFORD STREET
 LAKEVILLE, MASSACHUSETTS
 EXPOSURE MARKETING GROUP LLC
 130 STABLES SHORE ROAD
 LAKEVILLE, MASSACHUSETTS



CONSTRUCTION OPERATION AND MAINTENANCE SCHEDULE
 THE OPERATION AND MAINTENANCE (O&M) SCHEDULE DURING THE CONSTRUCTION PHASE IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR. THE OUTLINE BELOW SHALL BE ADHERED TO AS CLOSELY AS POSSIBLE TO ENSURE THE PROPER CONSTRUCTION AND FUNCTION OF THE DRAINAGE SYSTEM.

- PRIOR TO CONSTRUCTION, SILT SOCK SHALL BE INSTALLED PER THE APPROVED PLAN. THE SILT SOCK SHALL BE INSPECTED PRIOR TO A LARGE STORM EVENT TO ENSURE THAT THE EROSION CONTROL WILL FUNCTION AS REQUIRED AND FOLLOWING A STORM TO INSPECT FOR DAMAGE TO THE EROSION CONTROL ELEMENTS. ANY DAMAGE OR IMPROPER INSTALLATION THAT IS NOTICED PRIOR TO OR FOLLOWING A STORM EVENT SHALL BE PROMPTLY REPLACED OR REPAIRED IN A SATISFACTORY MANNER SO AS TO PREVENT SEDIMENT FROM BYPASSING THE EROSION CONTROL BARRIER.
- THE LIMIT OF CLEARING SHOWN ON THE APPROVED PLAN SHALL BE STRICTLY ADHERED TO. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LEVEL OF SAFETY OF STANDING TREES.
- IN CONJUNCTION WITH THE SITE CONSTRUCTION, ALL DRAINAGE STRUCTURES, INCLUDING THE INFILTRATION BASINS, SHALL BE CONSTRUCTED AND STABILIZED AS SOON AS POSSIBLE. METHODS OF STABILIZATION INCLUDE, BUT ARE NOT LIMITED TO, HYDROSEED, LOAM AND SEED, STRAW MULCH, EROSION CONTROL BLANKETS, ETC.
- THE CATCH BASINS, DRAINAGE MANHOLES, OIL WATER SEPARATORS AND FIRST DEFENSE TREATMENT UNITS SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. ANY SEDIMENT BUILDUP OF EIGHT (8) INCH DEPTH IN EITHER OF THE STRUCTURES SHALL BE PROMPTLY REMOVED BY HAND OR MECHANICAL METHODS AND ALL DEBRIS REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- THE INFILTRATION BASINS SHALL BE INSPECTED WEEKLY OR AFTER ALL RAINFALL EVENTS GREATER THAN 1/2 INCH, WHICHEVER OCCURS SOONER. ANY EROSION WITHIN THE BASINS SHALL BE FILLED AND RESTABILIZED IN A MANNER TO PREVENT FUTURE PROSION. IN ADDITION, THE OUTER PORTIONS OF THE INFILTRATION BASINS SHALL BE INSPECTED IN A SIMILAR MANNER.

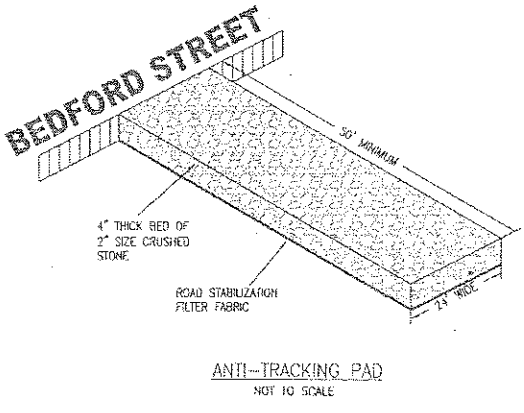
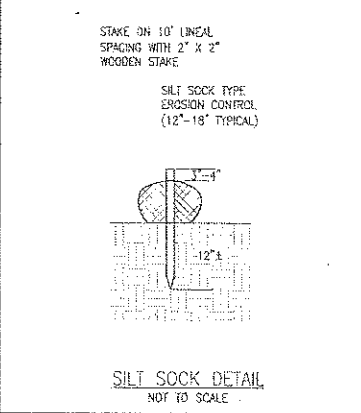
LAKEVILLE PLANNING BOARD

APPROVED: _____

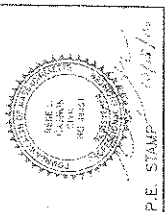
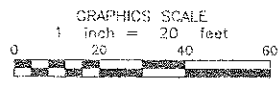
ENDORSED: _____

CONSTRUCTION SEQUENCE OF OPERATIONS
 THE FOLLOWING SEQUENCE OF OPERATIONS SHALL BE FOLLOWED TO ENSURE THE PROPER CONSTRUCTION AND FUNCTION OF THE DRAINAGE AND EROSION CONTROL SYSTEMS.

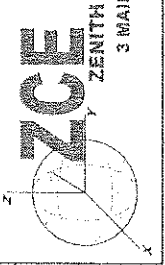
- PRIOR TO ANY EARTH DISTURBING ACTIVITIES, THE EROSION CONTROL BARRIERS CONSISTING OF SILT FENCE AND SILT SOCK SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLANS.
- THE EXISTING TREES AND SHRUBS WITHIN THE LIMIT OF WORK SHALL THEN BE CLEARED AND GRUBBED.
- THE CONSTRUCTION PHASE OF THE PROJECT SHALL BEGIN WITH THE CONSTRUCTION OF THE INFILTRATION BASIN.
- THE AREA SHALL THEN BE FILLED AND COMPACTED IN 12 INCH LIFTS TO THE PROPOSED ROUGH GRADE.
- SIDE SLOPES THAT ARE TO BECOME LAWN IN THE FINAL CONDITION SHALL THEN RECEIVE A 4 INCH LAYER OF LOAM AND THEN BE SEEDING WITH A QUALITY HYDROSEED MIX. THOSE SLOPES THAT ARE DESIGNATED TO RECEIVE SPECIAL SLOPE STABILIZATION AS SHOWN ON SHEET EC1 SHALL BE TREATED AS DESCRIBED FOR THAT METHOD.
- THROUGHOUT THE REMAINDER OF THE CONSTRUCTION PHASE, THE ENTIRE PROJECT SITE SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ANY RAIN EVENT GREATER THAN 1 INCH FOR INDICATIONS OF EROSION. ANY ERODED AREAS SHALL BE REPAIRED IMMEDIATELY AND STABILIZED WITH VEGETATION, GEOTEXT OR ANY METHOD THE CONTRACTOR DETERMINES TO BE ADEQUATE.



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
---	CONTOURS	-72-
---	SPOT GRADE	+98.5
---	BOUND	
---	TEST PIT	
---	DRAIN LINE	
---	DRAIN MANHOLE	⊙
---	CATCH BASIN	⊙
---	RETAINING WALL	---
---	OVERHEAD WIRES	
---	LIGHT POLE	*
---	STONEWALL	
---	SEWER MAIN	S S
---	SEWER FORCE MAIN	FSM FSM
---	SIGN	
---	CHAIN LINK FENCE	
---	HYDRANT	
---	GAS LINE	GAS GAS



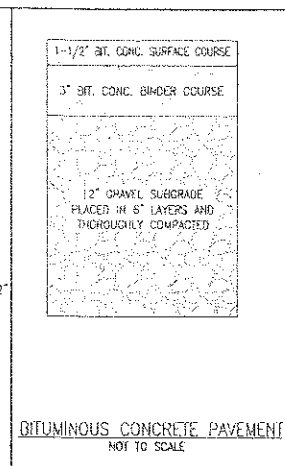
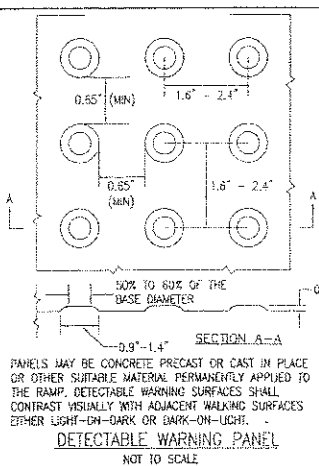
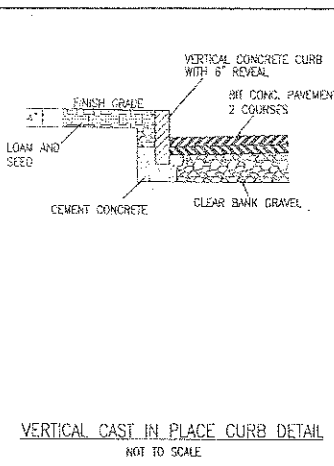
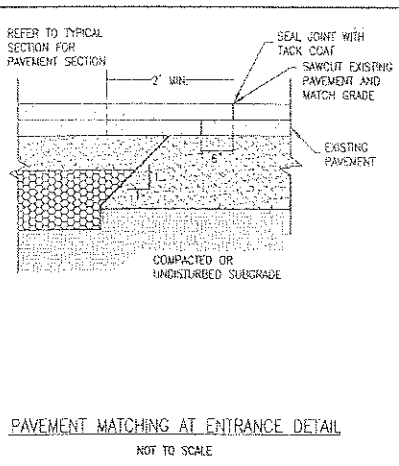
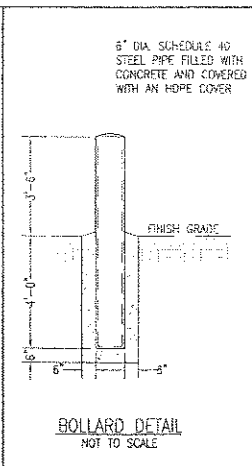
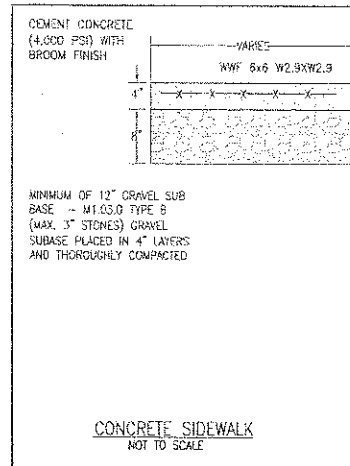
ZCE
 ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208



DATE	REV.	DATE	DESCRIPTION	BY	APP.
10/02/2020					

EROSION CONTROL PLAN
PROJECT SITE: 149 BEDFORD STREET LAKEVILLE, MASSACHUSETTS
CLIENT: EXPOSURE MARKETING GROUP LLC 139 STAPLES SHORE ROAD LAKEVILLE, MASSACHUSETTS
DRAWN BY: JLD/JMF
DESIGNED BY: JLD/JMF
CHECKED BY: JLD
APPROVED BY: JLD
DATE: 10/02/2020
PROJECT NUMBER: 0234-01-01
DRAWING SCALE: 1"=20'
SHEET ID: EC

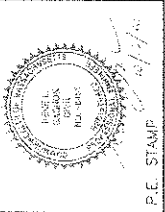
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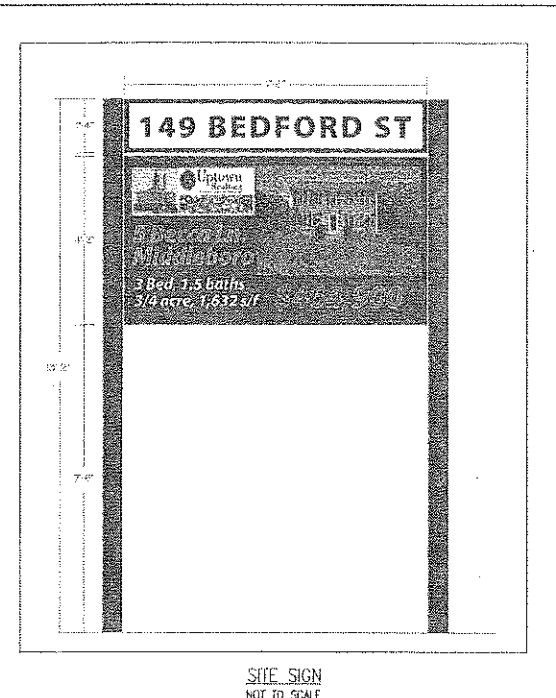
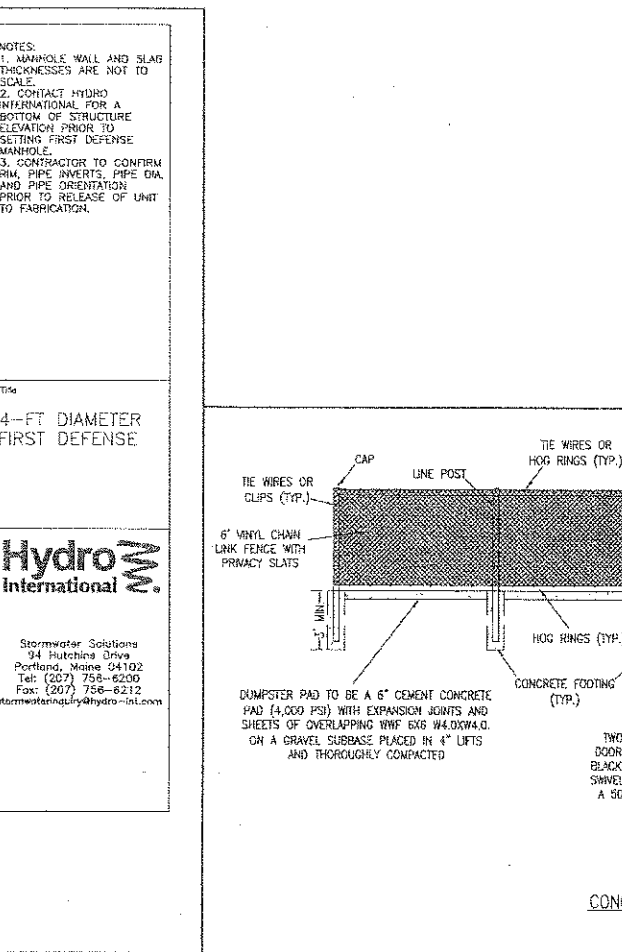
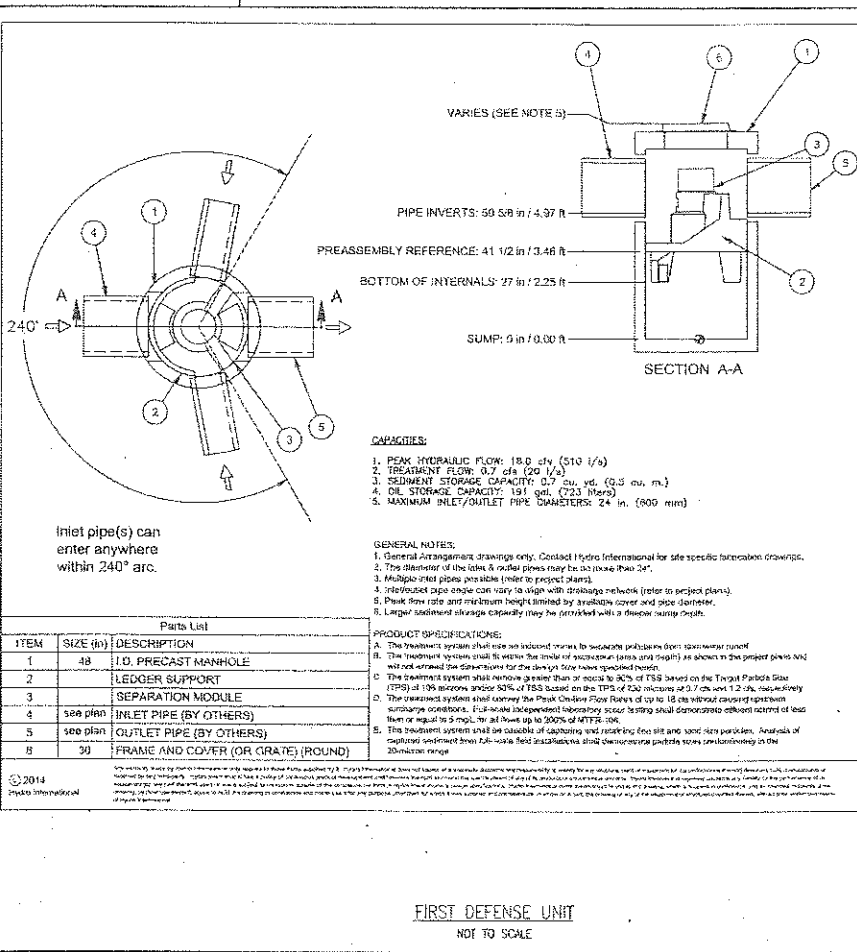
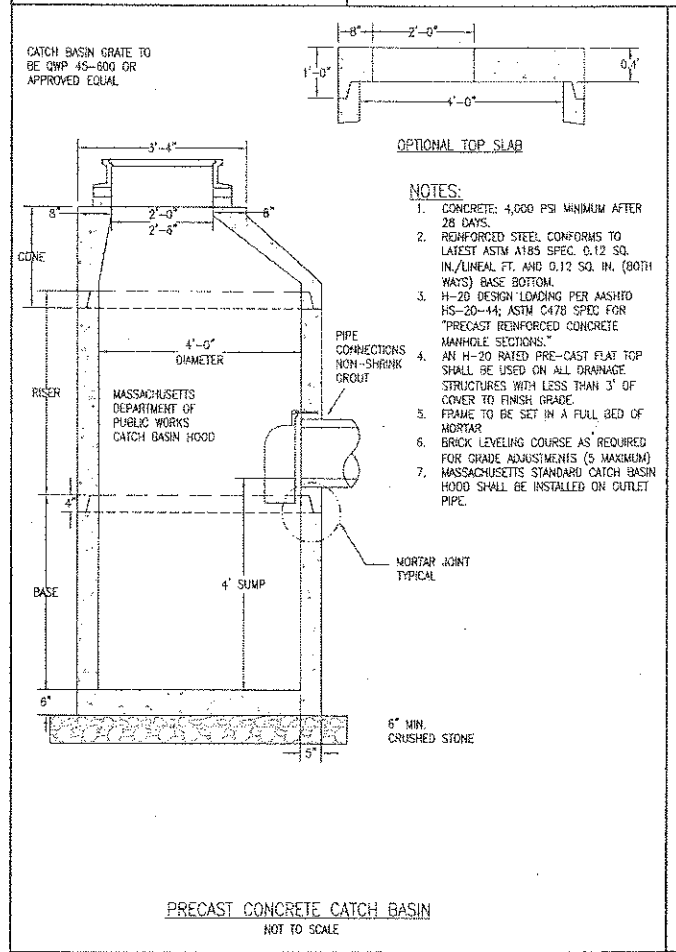
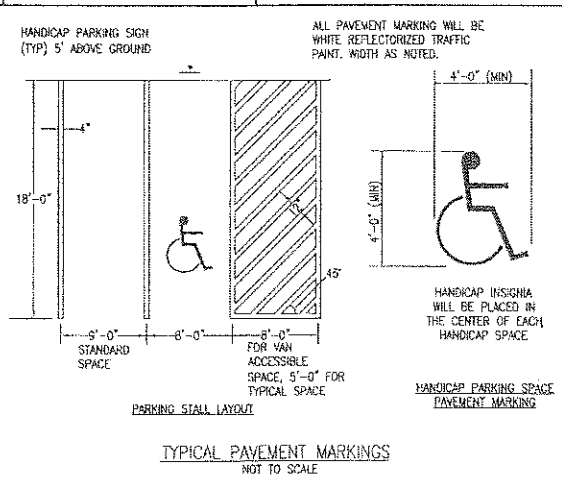
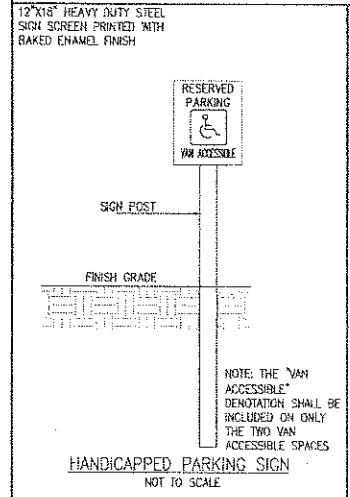
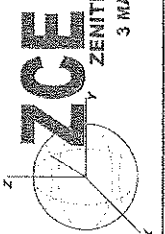
LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



ZCF ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208



REV.	DATE	DESCRIPTION	BY	APP.
	10/02/2020			

DETAIL SHEET 1

149 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS
EXPOSURE MARKETING GROUP LLC
139 STAPLES SHORE ROAD
LAKEVILLE, MASSACHUSETTS

DRAWN BY: JLB/WVF
DESIGNED BY: JLB/WVF
CHECKED BY: JLB
APPROVED BY: JLB

SHEET NAME: _____

PROJECT SITE: _____

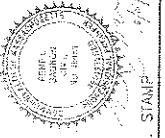
CLIENT (NAME): _____

S:\Civil Engineering\Projects\149 Bedford Street\DWG\Site Plan Base.dwg

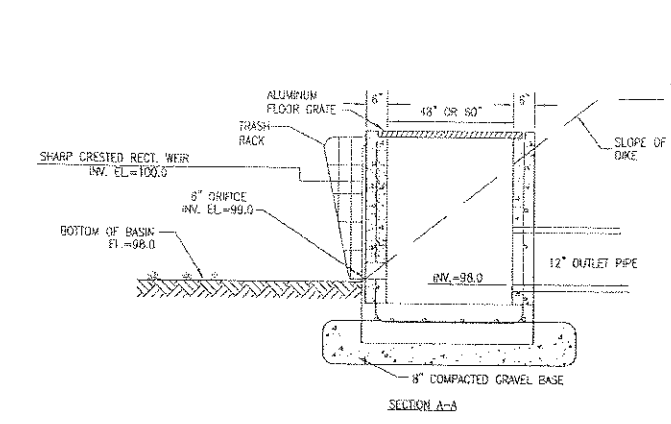
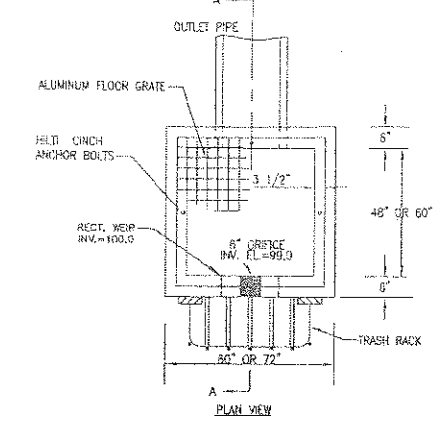
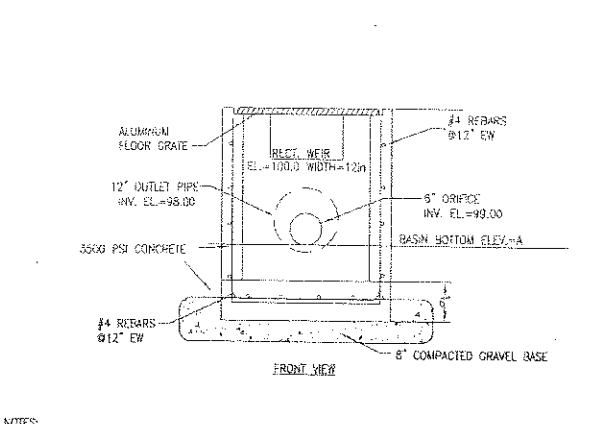
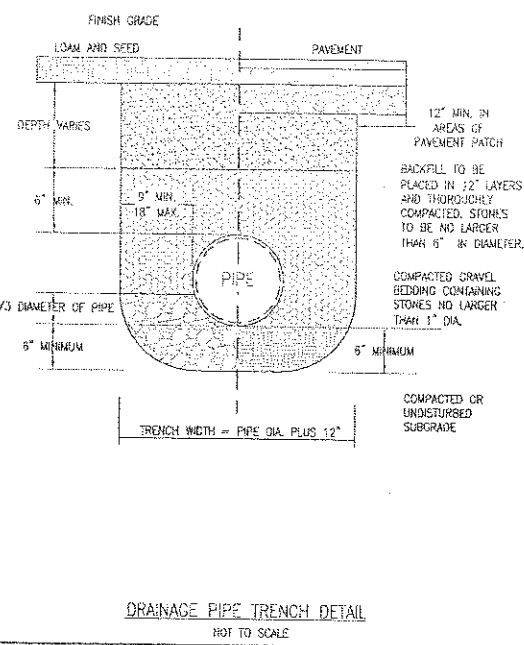
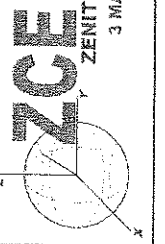
LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



ZCF ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208

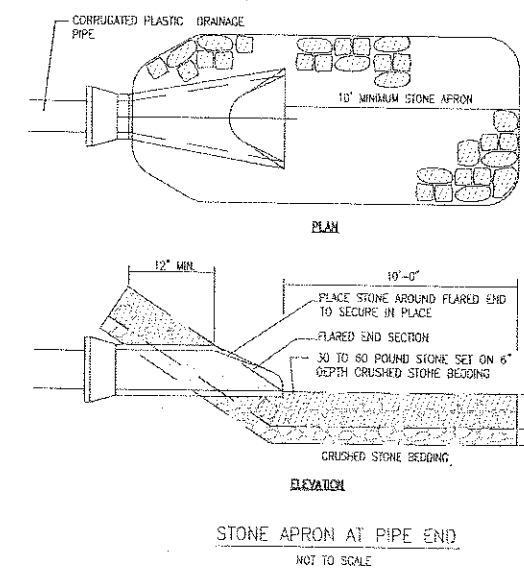


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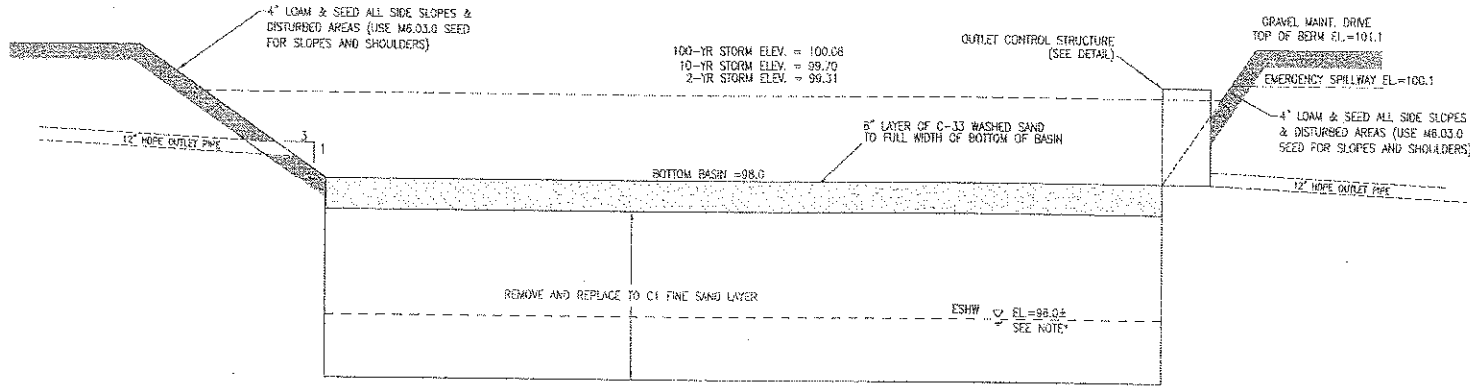
- COVER GRATE SHALL BE SET FLUSH WITH THE TOP OF STRUCTURE AND SHALL HAVE A HINGED, CLEAR ACCESS OPENING OF 24" X 24" WITH A HASP AND LOCK.
- THE GRATE SHALL BE DESIGNED FOR A UNIFORM LOAD OF 100 #/FT². SHALL BE SUPPORTED ON ANGLE FRAME WITH FASTENERS, AND SHALL BE ALUMINUM OR LIGHT DUTY STEEL THAT IS HOT-DIPPED GALVANIZED AFTER FABRICATION.

GRADING: ALUMINUM: ASTM-B221 6063-T6; LIGHT DUTY STEEL: ASTM-A1011, ASTM-A510

OUTLET CONTROL STRUCTURE
NOT TO SCALE



STONE APRON AT PIPE END
NOT TO SCALE

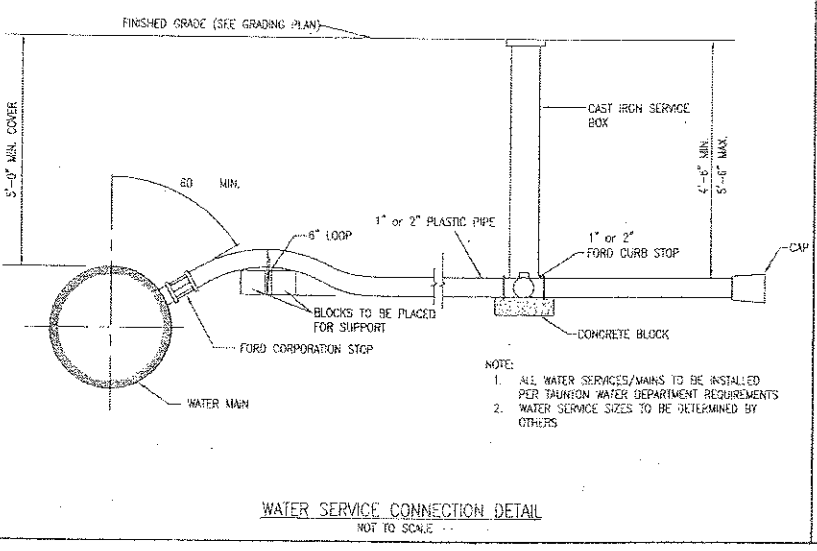


INFILTRATION BASIN CROSS SECTION DETAIL
NOT TO SCALE

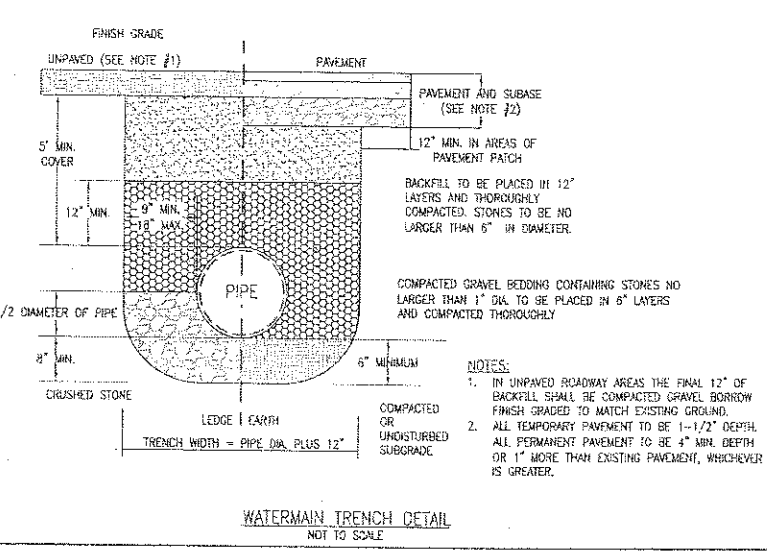
INFILTRATION BASIN NOTES:

THE CONTRACTOR IS CAUTIONED THAT THE DETENTION BASIN IS DESIGNED TO INFILTRATE/RECHARGE STORMWATER PRIMARILY THROUGH THE BOTTOM AND SIDES OF THE BASIN. CONSTRUCTION TECHNIQUES THAT WOULD POTENTIALLY DIMINISH THE FILTRATION CAPACITY OF THE UNDERLYING SOILS ARE TO BE AVOIDED. COMPACTION AND SLIATION OF THE BASIN DURING CONSTRUCTION IS PROHIBITED.

- DO NOT UTILIZE ANY PORTION OF THE BASIN FLOOR AS A HAIL ROAD FOR MATERIAL AND HEAVY EQUIPMENT.
- DO NOT COMPACT SOILS IN THE BASIN FLOOR.
- DO NOT PLACE GRAVEL OR OTHER MATERIALS TO STABILIZE THE BASIN FLOOR FOR CONSTRUCTION VEHICULAR TRAVEL ACCESS.
- STRICT COMPLIANCE WITH THE EROSION CONTROL PLAN AND THE STORMWATER OPERATIONS AND MAINTENANCE PLAN IS NECESSARY.
- BASIN CONSTRUCTION SHALL OCCUR AT THE EARLY STAGES OF THE PROJECT CONSTRUCTION SO THAT THEY ARE FULLY VEGETATED AND STABILIZED PRIOR TO RECEIVING STORMWATER.
- RIP-RAP IN THE FOREBAYS TO BE PLACED, NOT BUMPED. DO NOT COMPACT.
- DO NOT USE THE INFILTRATION BASIN AS A TEMPORARY SEDIMENT BASIN OR DE-WATERING BASIN.
- AS PART OF THE INFILTRATION BASIN CONSTRUCTION, THE CONTRACTOR SHALL REMOVE TOPSOIL, SUBSOIL, AND OTHER UNSUITABLE SOIL THAT MAY BE ENCOUNTERED DOWN TO APPROPRIATELY DRAINING SOILS. TEST PITS SHALL BE DUG WITHIN THE INFILTRATION BASIN AREAS PRIOR TO EARTH REMOVAL OPERATIONS. THE REMOVED MATERIAL SHALL BE REPLACED BY CLEAN SAND WHICH MEETS TITLE V (310 CMR 15.255).



WATER SERVICE CONNECTION DETAIL
NOT TO SCALE



WATERMAIN TRENCH DETAIL
NOT TO SCALE

SOIL LOGS:

DATE: 5-23-15
 PERFORMED BY: DARREN MICHAELS
 WITNESSED BY: LAWRENCE PERRY, LAKEVILLE BOH

DEPTH (INCHES)	TP 1	TP 2	TP 3	TP 4
0	A SANDY LOAM 10R 2/3	A SANDY LOAM 10R 2/3	A SANDY LOAM 10R 2/3	A SANDY LOAM 10R 2/3
12	B SANDY LOAM 10R 5/5	B SANDY LOAM 10R 5/5	B SANDY LOAM 10R 5/5	B SANDY LOAM 10R 5/5
30	C1 MEDIUM SAND 2.5Y 6/3	C1 FINE SAND 2.5Y 6/3	C1 FINE SAND 2.5Y 6/3	C1 FINE SAND 2.5Y 6/3
84	C2 V.F. SAND 2.5Y 6/1	C2 SILT LOAM 2.5Y 6/1	C1 SILT LOAM 2.5Y 6/1	C1 SILT LOAM 2.5Y 6/1
120				

NOTES:

- UNLESS OTHERWISE NOTED, ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS AND THE MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- WATER SUPPLY LINES SHALL HAVE A MINIMUM OF 3 FEET OF COVER AND SHALL CONFORM TO THE TAUNTON WATER DEPARTMENT AND THE TAUNTON FIRE CHIEF PRIOR TO INSTALLATION.
- THE BRAND, TYPE AND SPECIFICATIONS OF ALL WATER GATES, FITTINGS, PIPE MATERIALS AND WATER SYSTEM COMPONENTS SHALL BE APPROVED BY THE TAUNTON SEWER DEPARTMENT PRIOR TO INSTALLATION.
- UNLESS OTHERWISE NOTED, ALL DRAINAGE PIPE IS TO BE ADS N-12 STYLE PIPE.

REV.	DATE	DESCRIPTION	BY	APP.
1	10/02/2020			

DATE: 10/02/2020
 PROJECT NUMBER: 0234-01-01
 DRAWING SCALE: AS NOTED
 SHEET ID: 02

DETAIL SHEET 2

149 BEDFORD STREET
 LAKEVILLE, MASSACHUSETTS
 EXPOSURE MARKETING GROUP LLC
 139 STAPLES SHORE ROAD
 LAKEVILLE, MASSACHUSETTS



Town of Lakeville
Lakeville Town Office Building
346 Bedford Street
Lakeville, Massachusetts 02347

OFFICE OF
ZONING BOARD OF APPEALS
Secretary: Cathy Murray

TO: Building Department
Planning Board ✓
Conservation Commission
Board of Health

FROM: Board of Appeals

DATE: October 22, 2020

RE: Attached Petitions for Hearing
Pink-119 Hemlock Shore Road
Maksy-149 Bedford Street
Chapin-15 South Avenue

Attached please find copies of three (3) Petitions for Hearing, which have been submitted to the Board of Appeals. The hearings for these petitions will be held on November 19, 2020.

Please review and forward any concerns your Board may have regarding these petitions to the Board of Appeals, if possible, no later than Monday, November 16, 2020.

Thank you.

#80

Petition to be filed with Town Clerk

EXHIBIT "A"

TOWN OF LAKEVILLE MASSACHUSETTS ZONING BOARD OF APPEALS PETITION FOR HEARING

RECEIVED OCT 13 2020 BOARD OF APPEALS

Name of Petitioner: Kathryn Pink

Mailing Address: 18 Old Meetinghouse Green Norton, MA 02766

Name of Property Owner: Carolyn Goudreau, Kathryn Pink, Janice Pink

Location of Property: 119 Hemlock Shore Road Lakeville

Property is located in a XX residential business industrial (zone)

Registry of Deeds: Book No. 40071 Page No. 320

Map 046 Block 001 Lot 004

Petitioner is: XX owner tenant licensee prospective purchaser

Nature of Relief Sought: XX Special Permit under Section (s) 6.1, 6.3.2 & 7.4 of the Zoning Bylaws

Brief to the Board: (See instructions on reverse side - use additional paper if necessary.) See attached package

I HEREBY REQUEST A HEARING BEFORE THE ZONING BOARD OF APPEALS WITH REFERENCE TO THE ABOVE PETITION OR APPEAL. ALL OF THE INFORMATION ON THIS PETITION, TO THE BEST OF MY KNOWLEDGE, IS COMPLETE AND ACCURATE AND CONFORMS TO THE REQUIREMENTS ON THE BACK OF THIS PETITION FORM.

Petitioner: Janice Pink Date: 10/9/20

Signed: Janice Pink Telephone: 518-281-9565

Owner Signature: Janice Pink Owner Telephone:

(REFERENCE THE REVERSE SIDE OF THIS APPLICATION FOR FURTHER INSTRUCTIONS IN FILING YOUR PETITION.)

WILL YOU HAVE A REPRESENTATIVE OTHER THAN YOURSELF? XX Yes No Jamie Bissonnette, Engineer (Name and Title)



3 Main Street Lakeville, MA 02347
(508) 947-4208 - www.zcellc.com

- Civil Engineering
- Septic Design (Title 5)
- Septic Inspections (Title 5)
- Commercial and Industrial Site Plans
- Chapter 91 Permitting

NARRATIVE IN SUPPORT
OF A SPECIAL PERMIT
FOR 119 HEMLOCK SHORES ROAD
LAKEVILLE, MA 02347

PREPARED FOR:

CAROLYN GOUDREAU, KATHRYN PINK AND JANICE PINK
18 OLD MEETINGHOUSE GREEN
NORTON, MA 02766

PREPARED BY:

ZENITH CONSULTING ENGINEERS, LLC.
3 MAIN STREET
LAKEVILLE, MA 02347

OCTOBER 5, 2020

EXISTING SITE CONDITIONS

The locus site, 119 Hemlock Shores Road, is located on the westerly side of Long Pond. The site is comprised of approximately 0.25+/- acres of land that includes a residential dwelling and accessory buildings. Along with the dwelling is an existing cesspool with approved plans to upgrade, existing private water supply well with new well location approved by board of health and utilities. A plan entitled "Plan to Accompany a Zoning Board of Appeals Petition" is part of this packet.

PROPOSED SITE IMPROVEMENTS

The proposed site includes razing one of the existing 8' x 24' accessory buildings and constructing a new 12' x 24' accessory building. The new accessory building will either maintain or improve the setbacks to the existing property lines. Per Section 6.3.2, the accessory buildings will require a Special Permit to be granted by the Zoning Board of Appeals.

SPECIAL PERMIT CONDITIONS

The client has designed and permitted improvements onsite including the installation of a tight tank, a new well and a wall along the water. To construct the wall, construction vehicles will need access that is impeded by the existing accessory building. The applicant is proposing to raze the existing structure and rebuild as shown on plan. It is not practical to temporarily relocate the building to meet current zoning setback requirements. The improvements, as proposed, will not negatively impact the neighborhood and will, in fact, enhance the aesthetics.

Locus: 119 Hemlock Shore Road in Lakeville, MA
Assessors Map 046 Block 001 Lot 004

Zoning Board of Appeals Petition for Hearing Attachments

- 1 Notice to Tax Collector**
- 2 Copy of Current Deed**
- 3 USGS Map**
- 4 Firm Map**
- 5 Copies of Checks**
- 6 Proposed Site Plan Package (11 x 17)**

Copy of Current Deed



2020 00091888

Bk: 53520 Pg: 197 Page: 1 of 6
Recorded: 09/29/2020 09:52 AM
ATTEST: John R. Buckley, Jr. Register
Plymouth County Registry of Deeds

QUITCLAIM DEED

Property Address: 119 Hemlock Shore Road, Lakeville, Massachusetts 02347

We, KATHRYN PINK, with an address at 18 Old Meetinghouse Green, Norton, Massachusetts 02766; ANN LAUTZ of Norfolk, Massachusetts; SUSAN FERRIN of North Attleborough, Massachusetts; CAROLYN GOODREAU of Bridgewater, Massachusetts and JANICE PINK, with an address at 221 South Kelly Road, Schenectady, New York 12306, for consideration paid of less than one hundred dollars, grant to KATHRYN PINK, with an address at 18 Old Meetinghouse Green, Norton, Massachusetts 02766; CAROLYN GOODREAU of Bridgewater, Massachusetts and JANICE PINK, with an address at 221 South Kelly Road, Schenectady, New York 12306, as equal tenants in common, WITH QUITCLAIM COVENANTS, all my right, title and interest in the land with the buildings and other improvements thereon located in Lakeville, Plymouth County, Massachusetts, bounded and described as follows:

Beginning at a stake at the Northwest corner thereof, at the Southwest corner of land now or formerly of one Pierce; thence Easterly along last named land about two hundred fifty (250) feet to a corner and land now or formerly of Josephine G. Rotch; thence Southerly by last named land about fifty (50) feet to a corner at other land of Josephine G. Rotch; thence Westerly by last named land about two hundred forty (240) feet to a stake in the shore of Long Pond and thence Northerly by said Pond about fifty (50) feet to the point of beginning.

The same being Lot No. 34 on the plan "of the shore of Long Pond, Lakeville, Mass., owned by Morgan Rotch as laid out for house lots" made by John G. Paun, February 1909; together with a right of way to this lot from the road to New Bedford at the Bell Schoolhouse along what is known as "The Pike" as it is now laid out.

Also a right of way by a trail leaving the aforesaid road about five hundred feet south of the aforesaid Pike and leading through the woods to the said Pike; the use of this way to be limited to pedestrians.

The Grantors hereby waive any and all rights of homestead in the premises they may have or may be entitled to and further state that no other person, beneficiary or entity has or is entitled to an estate of homestead on the premises. The said KATHRYN PINK, JANICE PINK and ANN LAUTZ are single; the said SUSAN FERRIN is married to DANIEL FERRIN and the said CAROLYN GOUDREAU is married to GREGG GOUDREAU. Each Grantor represents that the premises have never been used as her primary residence and, if married, that the premises have never been used as the principal residence of a spouse and that no spouse occupies or intends to occupy the premises as his principal residence, and therefore that no spouse is entitled to claim the benefit of an existing estate of homestead in the premises.

maely Devin Barry & Austin
80 Washington St
Bldg S Norwell Ma 02061

Such transfer is subject to life estate of FRANCIS X. PINK and BARBARA A. PINK reserved in Deed at Plymouth County Registry of Deeds at Book 40071, Page 320. The said Francis X. Pink passed away on June 13, 2015.

For Grantors' title see deed recorded with Plymouth County Registry of Deeds at Book 40071, Page 320 and deed from PATRICIA PINK recorded with Plymouth County Registry of Deeds at Book 45601, Page 178.

IN WITNESS WHEREOF, I, KATHRYN PINK, hereunto sets my hand and seal this 28th day of August, 2019.

Kathryn E. Pink
KATHRYN PINK

COMMONWEALTH OF MASSACHUSETTS

Bristol, ss.

On this 28th day of August, 2019, before me, the undersigned notary public, personally appeared the above named KATHRYN PINK, proved to me through satisfactory evidence of identification, which was a Massachusetts driver's license, to be the person who voluntarily signed the preceding document in my presence, and who swore or affirmed to me that the statements contained therein are truthful and accurate to the best of his or her knowledge and belief.



MARLYNE A. LAHENS
Notary Public
Commonwealth of Massachusetts
My Commission Expires
September 14, 2023

Marlyne A. Lahens
Notary Public
My Commission Expires: 9/14/2023

Additional Signatures on following pages
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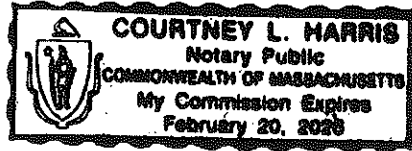
IN WITNESS WHEREOF, I, ANN LAUTZ, hereunto sets my hand and seal this 13 day of July, ~~2019~~ 2020

Ann Lautz
ANN LAUTZ

COMMONWEALTH OF MASSACHUSETTS

Norfolk, ss.

On this 13 day of July, ~~2019~~ 2020, before me, the undersigned notary public, personally appeared the above named ANN LAUTZ, proved to me through satisfactory evidence of identification, which was a Massachusetts driver's license, to be the person who voluntarily signed the preceding document in my presence, and who swore or affirmed to me that the statements contained therein are truthful and accurate to the best of his or her knowledge and belief.



Courtney L. Harris
Notary Public
My Commission Expires: 02/20/2020

Additional Signatures on following pages
REMAINDER OF PAGE INTENTIONALLY BLANK

IN WITNESS WHEREOF, I, SUSAN FERRIN, hereunto sets my hand and seal this 2
day of Sept, 2020.

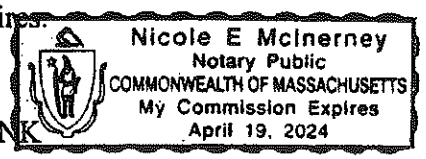
Susan Ferrin
SUSAN FERRIN

COMMONWEALTH OF MASSACHUSETTS

Bristol, ss.

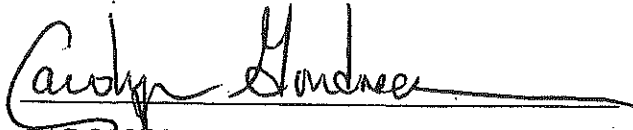
On this 9th day of September, 2020, before me, the undersigned notary public, personally appeared the above named SUSAN FERRIN, proved to me through satisfactory evidence of identification, which was a Massachusetts driver's license, to be the person who voluntarily signed the preceding document in my presence, and who swore or affirmed to me that the statements contained therein are truthful and accurate to the best of his or her knowledge and belief.

Nicole E McInerney
Notary Public
My Commission Expires



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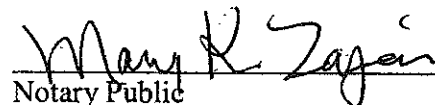
IN WITNESS WHEREOF, I, CAROLYN GOUDREAU, hereunto sets my hand and seal
this 5th day of September, 2019.


CAROLYN GOUDREAU

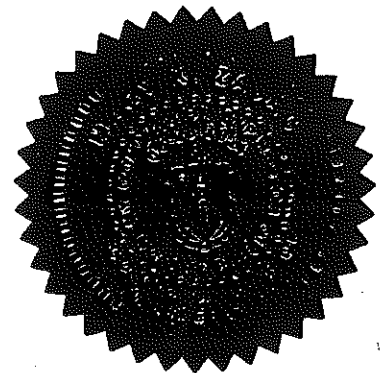
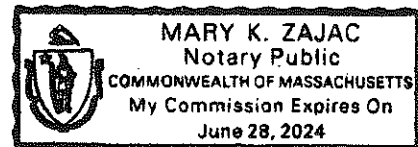
COMMONWEALTH OF MASSACHUSETTS

Plymouth, ss.

On this 5 day of September, 2019, before me, the undersigned notary public, personally appeared the above named CAROLYN GOUDREAU, proved to me through satisfactory evidence of identification, which was a Massachusetts driver's license, to be the person who voluntarily signed the preceding document in my presence, and who swore or affirmed to me that the statements contained therein are truthful and accurate to the best of his or her knowledge and belief.


Notary Public
My Commission Expires:

Additional Signature on following page
REMAINDER OF PAGE INTENTIONALLY BLANK



IN WITNESS WHEREOF, I, JANICE PINK, hereunto sets my hand and seal this 23
day of August, 2019.

Janice Pink

JANICE PINK

STATE OF ~~NEW YORK~~ Massachusetts

Norfolk, ss.

On this 23 day of August, 2019, before me, the undersigned notary public, personally appeared the above named JANICE PINK, proved to me through satisfactory evidence of identification, which was a New York driver's license, to be the person who voluntarily signed the preceding document in my presence, and who swore or affirmed to me that the statements contained therein are truthful and accurate to the best of his or her knowledge and belief.

Casey Argyrou
Notary Public

My Commission Expires:

10/24/2025



USGS Map



SHEET NAME:

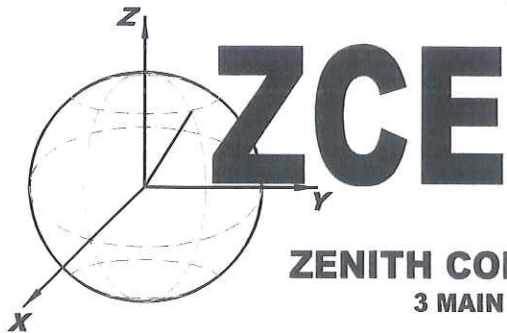
USGS MAP

PROJECT SITE:

**119 HEMLOCK SHORE ROAD
LAKEVILLE, MASSACHUSETTS**

CLIENT INFO:

**KATHRYN & JANICE PINK
NORTON, MA 02766**



ZENITH CONSULTING ENGINEERS, LLC

3 MAIN STREET LAKEVILLE, MA 02347

PHONE: (508) 947-4208

FIRM Map

National Flood Hazard Layer FIRMette



41°48'52.41"N



USGS The National Map: Orthoimagery. Data refreshed April, 2019.

70°56'41.96"W 1:6,000 Feet 0 250 500 1,000 1,500 2,000

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, V, AP3
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transsect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transsect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

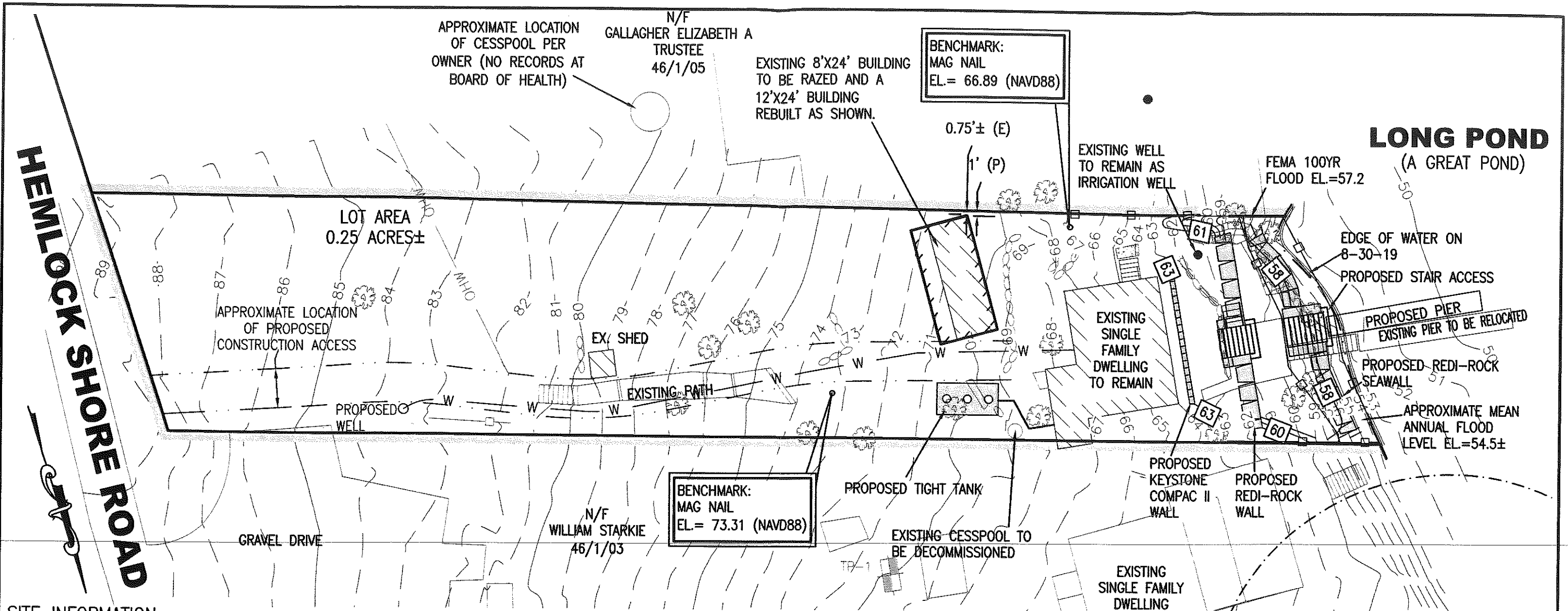
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 1/28/2020 at 6:23:19 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Proposed Site Plan Package (11 x 17)



SITE INFORMATION:

1. THE SITE IS SHOWN ON THE TOWN OF LAKEVILLE ASSESSORS MAP AS MAP 46 BLOCK 1 LOT 4.
2. PROPERTY LINE INFORMATION WAS TAKEN FROM
 - 2.1. FOR TITLE REFERENCE TO THE SUBJECT PROPERTY REFER TO BOOK 40071, PAGE 320 IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.
 - 2.2. PROPERTY LINE AND TOPOGRAPHIC SURVEY BY ZENITH CONSULTING ENGINEERS, LLC.
3. THE SUBJECT PROPERTY IS LOCATED IN ZONES AE-57 & X, AS SCALED FROM THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF PLYMOUTH COUNTY, MAP NUMBER 25023C0429K & 25023C0437K, EFFECTIVE DATE JULY 16, 2015.

LEGEND

69	EXISTING CONTOURS
x 98.5	EXISTING SPOT ELEVATION
69	PROPOSED CONTOURS
100x2	PROPOSED SPOT ELEVATION
OHW	EXISTING OVERHEAD WIRES

SHEET NAME:
PLAN TO ACCOMPANY A ZONING BOARD OF APPEALS PETITION

PROJECT SITE: **119 HEMLOCK SHORE RD
 LAKEVILLE, MASSACHUSETTS**

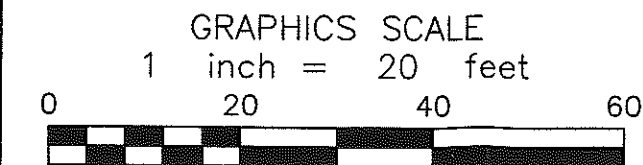
CLIENT INFO:
**KATHRYN PINK
 18 OLD MEETINGHOUSE GREEN
 NORTON, MA 02766**

DRAWN BY:
 JLB

DESIGNED BY:
 JLB

CHECKED BY:
 NCZ

APPROVED BY:
 JLB

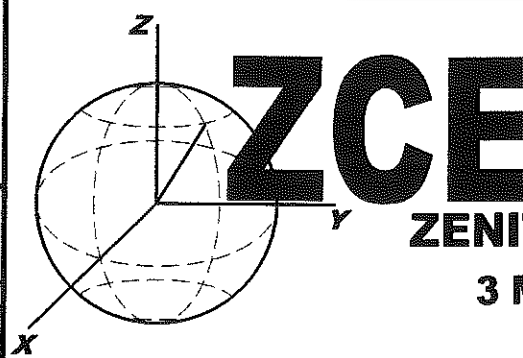


DATE:
 9/21/2020

PROJECT NUMBER
 0460-01-01

DRAWING SCALE:
 1" = 20'

SHEET ID
 ZBA



ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208

#86

Petition to be filed with Town Clerk

EXHIBIT "A"

TOWN OF LAKEVILLE MASSACHUSETTS ZONING BOARD OF APPEALS PETITION FOR HEARING

RECEIVED OCT 16 2020 BOARD OF APPEALS

Name of Petitioner: Madelyn Maksy

Mailing Address: 139 Staple Shore Road Lakeville, MA 02347

Name of Property Owner: Cedar Berry Holding, LLC.

Location of Property: 149 Bedford Street Lakeville, MA 02347

Property is located in a residential XX business industrial (zone)

Registry of Deeds: Book No. 46008 Page No. 42

Map 025 Block 004 Lot 002

Petitioner is: X owner tenant licensee prospective purchaser

Nature of Relief Sought:

X Special Permit under Section (s) 7.4, 6.1, 6.6.3.4 of the Zoning Bylaws

Variance from Section (s) of the Zoning Bylaws.

Appeal from Decision of the Building Inspector/Zoning Enforcement Officer

Date of Denial

Brief to the Board: (See instructions on reverse side - use additional paper if necessary.) See Attached.

I HEREBY REQUEST A HEARING BEFORE THE ZONING BOARD OF APPEALS WITH REFERENCE TO THE ABOVE PETITION OR APPEAL. ALL OF THE INFORMATION ON THIS PETITION, TO THE BEST OF MY KNOWLEDGE, IS COMPLETE AND ACCURATE AND CONFORMS TO THE REQUIREMENTS ON THE BACK OF THIS PETITION FORM.

Petitioner: Madelyn J. Maksy Date: 10.13.20

Signed: Madelyn J. Maksy Telephone: 508 243 0708

Owner Signature: Madelyn J. Maksy Owner Telephone:

(REFERENCE THE REVERSE SIDE OF THIS APPLICATION FOR FURTHER INSTRUCTIONS IN FILING YOUR PETITION.)

WILL YOU HAVE A REPRESENTATIVE OTHER THAN YOURSELF?

X Yes No

Jamie Bissonnette, Zenith Consulting Engineers, LLC. (Name and Title)



3 Main Street Lakeville, MA 02347
(508) 947-4208 - www.zcellc.com

- Civil Engineering
- Septic Design (Title 5)
- Septic Inspections (Title 5)
- Commercial and Industrial Site Plans
- Chapter 91 Permitting

NARRATIVE IN SUPPORT
OF A SPECIAL PERMIT
FOR 149 BEDFORD STREET
LAKEVILLE, MA 02347

PREPARED FOR:

MADLYN MASKY
139 STAPLE SHORE ROAD
LAKEVILLE, MA 02347

PREPARED BY:

ZENITH CONSULTING ENGINEERS, LLC.
3 MAIN STREET
LAKEVILLE, MA 02347

OCTOBER 15, 2020

EXISTING SITE CONDITIONS

The locus site, 149 Bedford Street, is located on the westerly side of Bedford Street and the southern side of Rhode Island Road. The site is comprised of approximately 33,527 sf of land that includes a two-story structure.

PROPOSED SITE IMPROVEMENTS

The applicant is proposing to razing the existing structure and constructing a new 26 x 57' office building. Along with the proposed building is a parking area, sign, drainage and associated utilities.

SPECIAL PERMIT CONDITIONS

The client is looking to raze the existing structure and construct a new office building. The proposed building will be setback further from both Rhode Island Road and Bedford Street than the existing building but still less than that required in a business district. Also requested is a special permit to allow a sign that is 41.25 sq. ft. in area. The improvements, as proposed, will not negatively impact the neighborhood and will, in fact, enhance the aesthetics.

Locus: 149 Bedford Street in Lakeville, MA
Assessors Map 025 Block 004 Lot 002

Zoning Board of Appeals Petition for Hearing Attachments

- 1 Notice to Tax Collector**
- 2 Copy of Current Deed**
- 3 USGS Map**
- 4 Firm Map**
- 5 Copies of Checks**
- 6 Proposed Sign**
- 7 Proposed Site Plan Package (11 x 17)**

Copy of Current Deed



2015 00072991
Bk: 46008 Pg: 42 Page: 1 of 2
Recorded: 09/03/2015 03:02 PM
ATTEST: John R. Buckley, Jr. Register
Plymouth County Registry of Deeds

Massachusetts Quitclaim Deed

We, **Derek A. Maksy and Madelyn J. Maksy**, husband and wife,
of 1 Cedar Berry Lane, Lakeville, MA 02347

for consideration paid, and in full consideration of **Less than One and 00/100 (\$1.00) Dollar**

grant to **Cedar Berry Holding, LLC**, a **Massachusetts Limited Liability Company** with a
business address
of 1 Cedar Berry Lane, Lakeville, MA 02347

with quitclaim covenants

The land together with the buildings thereon, situated in said Lakeville, at the Southwesterly corner of Bedford Street and Rhode Island Road, it being all the premises conveyed by George Haskins to Mary Haskins by a deed recorded in Plymouth County Registry of Deeds, Book 866, Page 79, and a part of the premises conveyed by Susan F. Haskins to Anna M. Johnson by deed recorded in Plymouth County Registry of Deeds, Book 1625, Page 565, bounded and described as follows:

Beginning at an iron pipe, a corner of land now or formerly of Nathan F. Washburn, said pipe standing in the Westerly side line of Bedford Street and is North 9° East 185 feet of a Massachusetts State Highway Bound; thence by Bedford Street, North 9° East 333 feet to the Rhode Island Road, beginning again at the first-mentioned bount; thence by land now or formerly of Nathan F. Washburn, South 77 ½° West, 70 ½ feet to a stake; thence by land of Anna Johnson, North 1 ½° West 358 ½ feet to the Rhode Island Road; thence Easterly by Rhode Island Road, 129 feet to Bedford Street.

Containing about ¾ acres.

Said premises are conveyed subject to any easements and takings for road purposes of record.

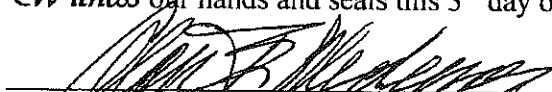
Being the same premises conveyed to these grantors by deed dated July 2, 2015 and recorded with the Plymouth County Registry of Deeds in Book 45759, Page 213.

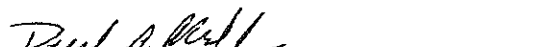
We, the undersigned, Derek A. Maksy and Madelyn J. Maksy, husband and wife declare under the penalties of perjury hereby release and terminate any and all estates of Homestead in and to the property conveyed herein.

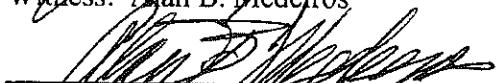
PROPERTY ADDRESS: 149 Bedford Street, Lakeville, MA 02347

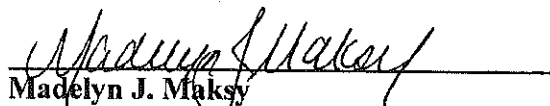
MAIL: ATTY. ALAN B. MEDEIROS
P.O. BOX 488
TAUNTON, MA 02780

Witness our hands and seals this 3rd day of September, 2015.


Witness: Alan B. Medeiros


Derek A. Maksy

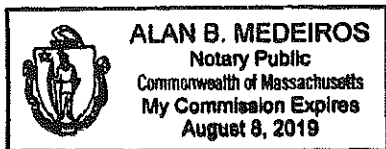

Witness: Alan B. Medeiros

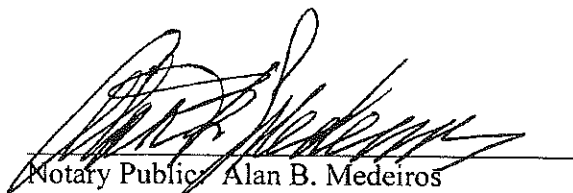

Madelyn J. Maksy

COMMONWEALTH OF MASSACHUSETTS

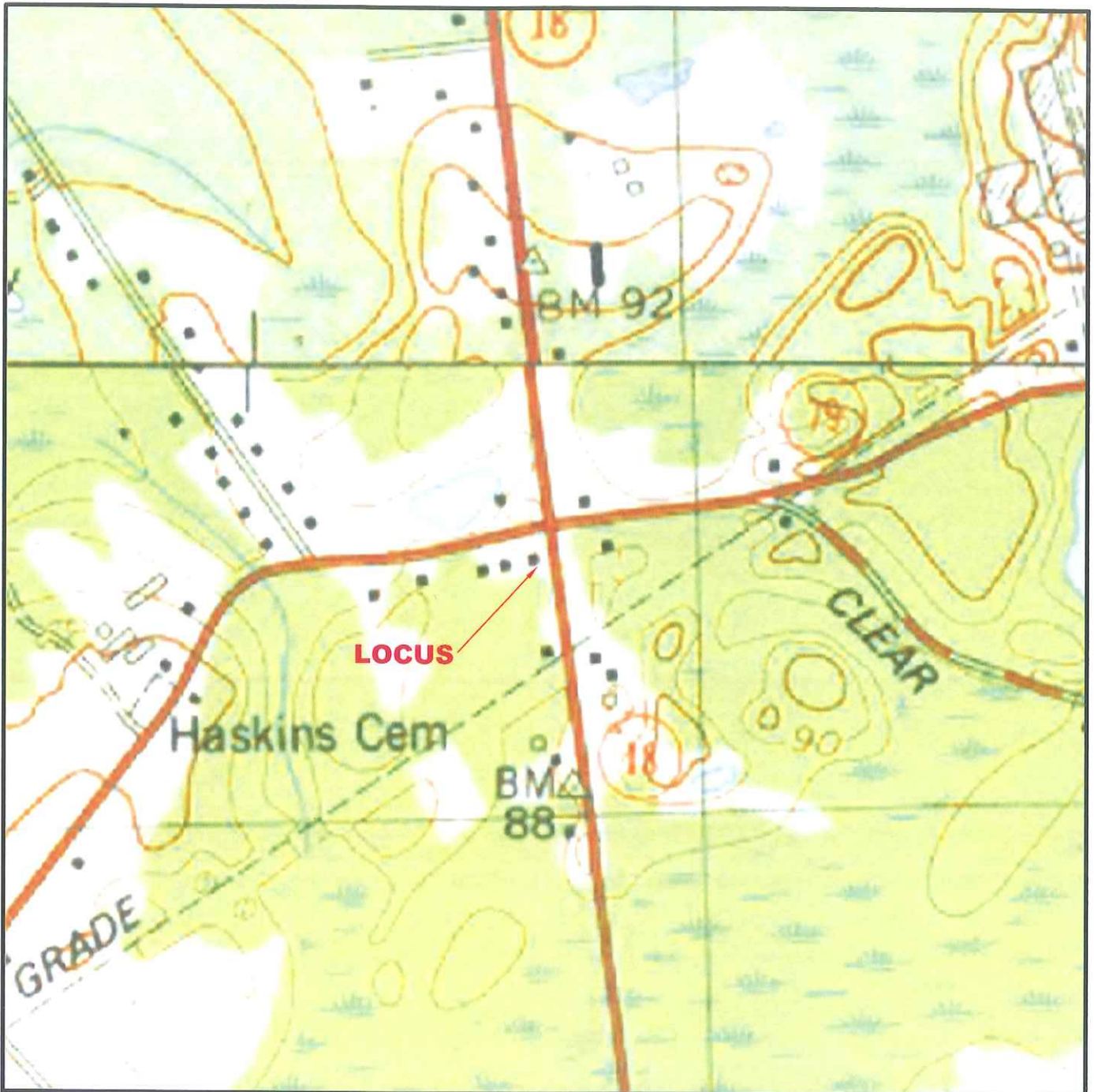
Plymouth, ss.

On this 3rd day of September, 2015, before me, the undersigned notary public, personally appeared **Derek A. Maksy and Madelyn J. Maksy** and proved to me through satisfactory evidence of identification, which were photo identifications, to be the persons whose names are signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose.




Notary Public: Alan B. Medeiros
My commission expires: 8/8/2019

USGS Map



SHEET NAME:

USGS MAP

PROJECT SITE:

**149 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS**

CLIENT INFO:

**EXPOSURE MARKETING GROUP LLC
139 STAPLES SHORE ROAD**



ZENITH CONSULTING ENGINEERS, LLC

3 MAIN STREET LAKEVILLE, MA 02347

PHONE: (508) 947-4208

FIRM Map



MAP SCALE 1" = 500'



805000 FT

JOINS PANEL 0314



NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0427K

FIRM FLOOD INSURANCE RATE MAP Plymouth County, Massachusetts (ALL JURISDICTIONS)

PANEL 427 OF 650
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:
COMMUNITY LAKEVILLE TOWN OF
NUMBER 250271
PANEL 0427
SUFFIX K

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
25023C0427K
MAP REVISED
JULY 16, 2015

Federal Emergency Management Agency

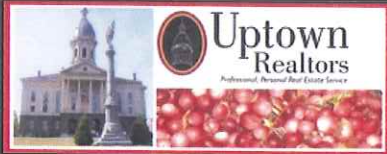
This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

Proposed Sign

7'-6"

149 BEDFORD ST

1'-4"



4'-2"

5 Becca Ln. Middleboro

3 Bed, 1.5 baths
3/4 acre, 1,632 s/f

\$464,900

13'-2"

7'-6"

Petition to be filed with Town Clerk

EXHIBIT "A"

#8C

TOWN OF LAKEVILLE MASSACHUSETTS

ZONING BOARD OF APPEALS PETITION FOR HEARING

RECEIVED OCT 16 2020

BOARD OF APPEALS

Name of Petitioner: CHRISTOPHER S. CHAPIN

Mailing Address: 31 ALGEM ROAD, LAKEVILLE, MA 02347

Name of Property Owner: NYNELYN, INC. (CHRIS CHAPIN)

Location of Property: 15 SOUTH AVENUE

Property is located in a residential business industrial (zone)

Registry of Deeds: Book No. 53214 Page No. 321

Map 042 Block 025 Lot 008

Petitioner is: X owner tenant licensee prospective purchaser

Nature of Relief Sought:

Special Permit under Section (s) 6.1.3 of the Zoning Bylaws

Variance from Section (s) of the Zoning Bylaws.

Appeal from Decision of the Building Inspector/Zoning Enforcement Officer

Date of Denial

Brief to the Board: (See instructions on reverse side - use additional paper if necessary.)

ADDITION OF SF TO MAIN BUILDING VIA ADDITION OF SECOND FLOOR AS WELL AS CONSTRUCTION OF DETACHED 24 X 24 GARAGE.

I HEREBY REQUEST A HEARING BEFORE THE ZONING BOARD OF APPEALS WITH REFERENCE TO THE ABOVE PETITION OR APPEAL. ALL OF THE INFORMATION ON THIS PETITION, TO THE BEST OF MY KNOWLEDGE, IS COMPLETE AND ACCURATE AND CONFORMS TO THE REQUIREMENTS ON THE BACK OF THIS PETITION FORM.

Petitioner: CHRISTOPHER S. CHAPIN Date: 10/15/20

Signed: [Signature] Telephone: 508 728 2496

Owner Signature: [Signature] Owner Telephone: SAME

(If not petitioner)

(REFERENCE THE REVERSE SIDE OF THIS APPLICATION FOR FURTHER INSTRUCTIONS IN FILING YOUR PETITION.)

WILL YOU HAVE A REPRESENTATIVE OTHER THAN YOURSELF?

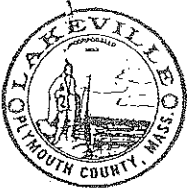
Yes No

SCOTT BORDEN / CONTRACTOR (Name and Title)

GRANT OF RESTRICTIVE COVENANT



Bk: 40412 Pg: 111 Page: 1 of 1
Recorded: 10/06/2011 11:33 AM
ATTEST: John R. Buckley, Jr. Register
Plymouth County Registry of Deeds



I, MARTIN J. CONWAY ^{CONWAY REALTY TRUST TRUSTEE} owner of property located at 15 South Avenue, LAKEVILLE, Massachusetts hereby grant to the TOWN OF LAKEVILLE, a municipal corporation organized under the laws of the Commonwealth of Massachusetts, acting through its Board of Health, the following use restriction shall run with the land and be for the benefit of the TOWN OF LAKEVILLE, on the land particularly described as Map 042 Block 025 Lot 008

DEED BOOK: 20543 PAGE: 149

filed with the Plymouth County Registry of Deeds.

SUBJECT TO THE FOLLOWING RESTRICTIONS:

Dwelling will remain a "Seasonal" (2) two-bedroom dwelling with no further expansion and no increase in flow to the septic system. It is to be made known that this Dwelling houses a "Tight Tank" that requires a Renewable Inspection and Maintenance Contract for the life of the system.

This deed is given to specifically include the above restrictions as per order of the LAKEVILLE BOARD OF HEALTH AND CANNOT BE REMOVED WITHOUT WRITTEN PERMISSION THEREOF

WITNESS my hand and seal this 5 day of OCT. 2011

Martin J. Conway
Signature of Owner(s) MARTIN J. Conway Trustee

COMMONWEALTH OF MASSACHUSETTS

Plymouth, ss.

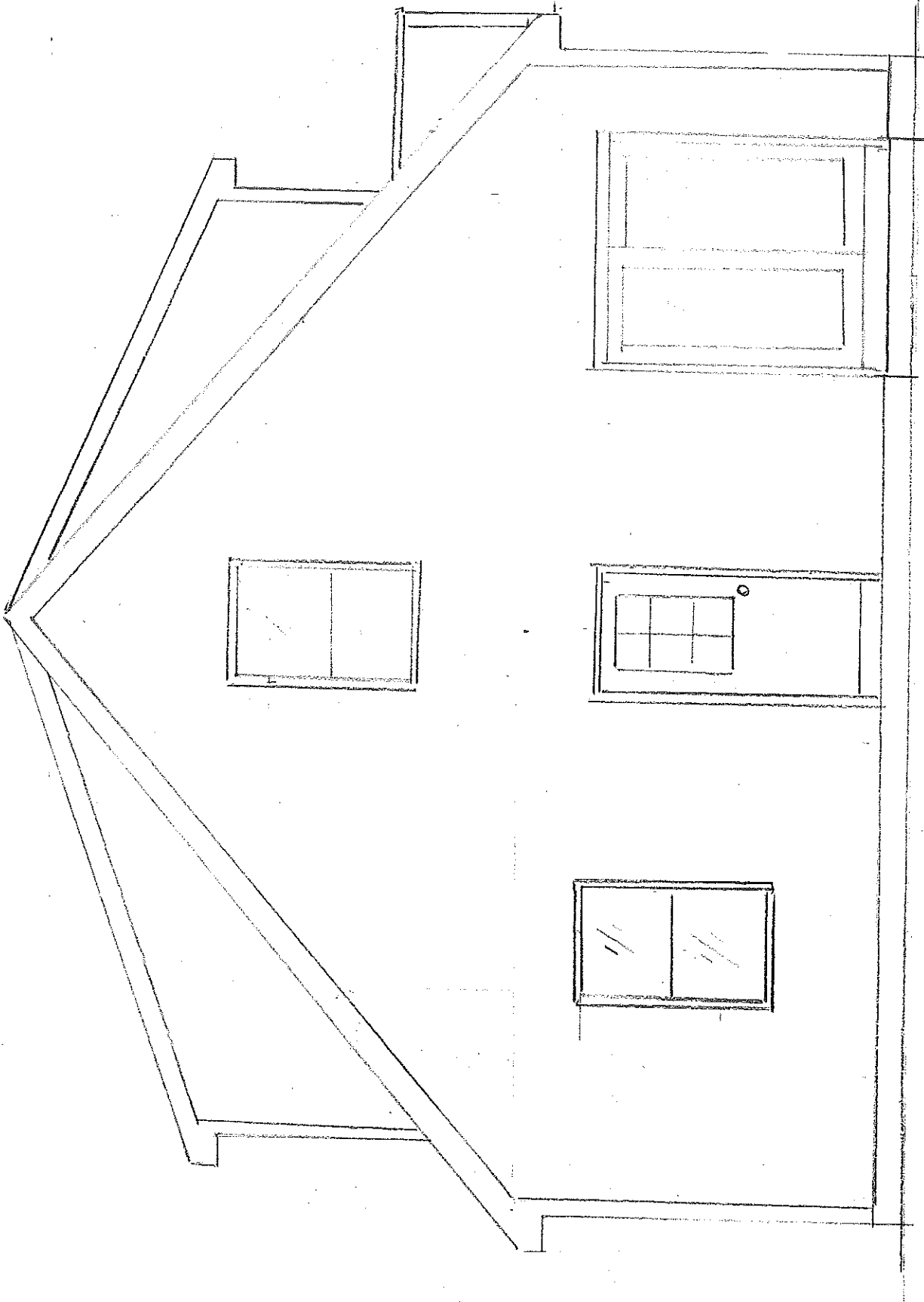
10-5-11
Date

Then personally appeared the above named MARTIN J. CONWAY and acknowledged the foregoing instrument to be a free act and deed, before me.

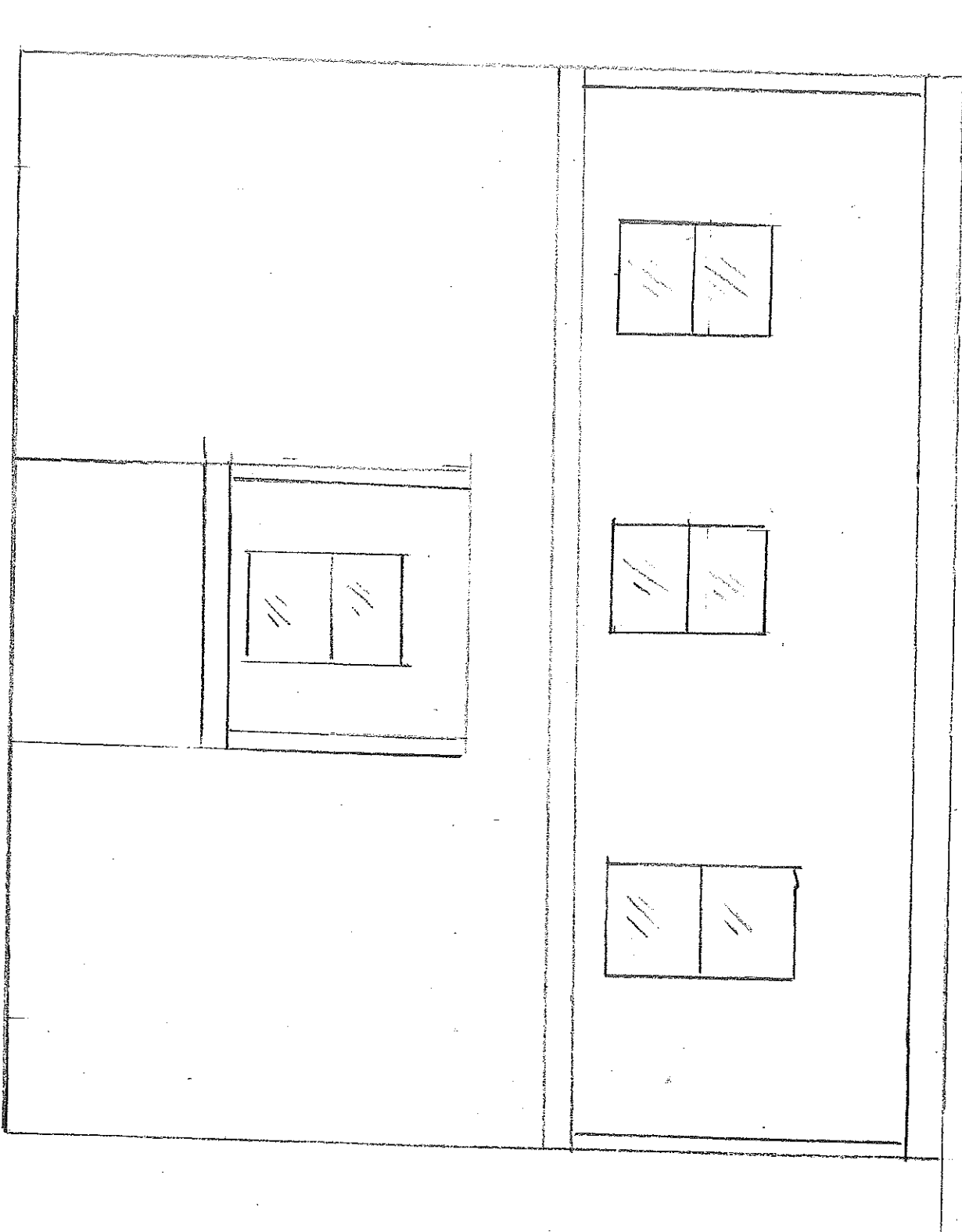
MAIL ✓
MARTIN J. CONWAY
46 NANCY RD
MILTON MA 02186

[Signature]
Notary Public
LINDA R. POTEAU
NOTARY PUBLIC
Commonwealth of Massachusetts
My commission expires Oct. 20, 2017

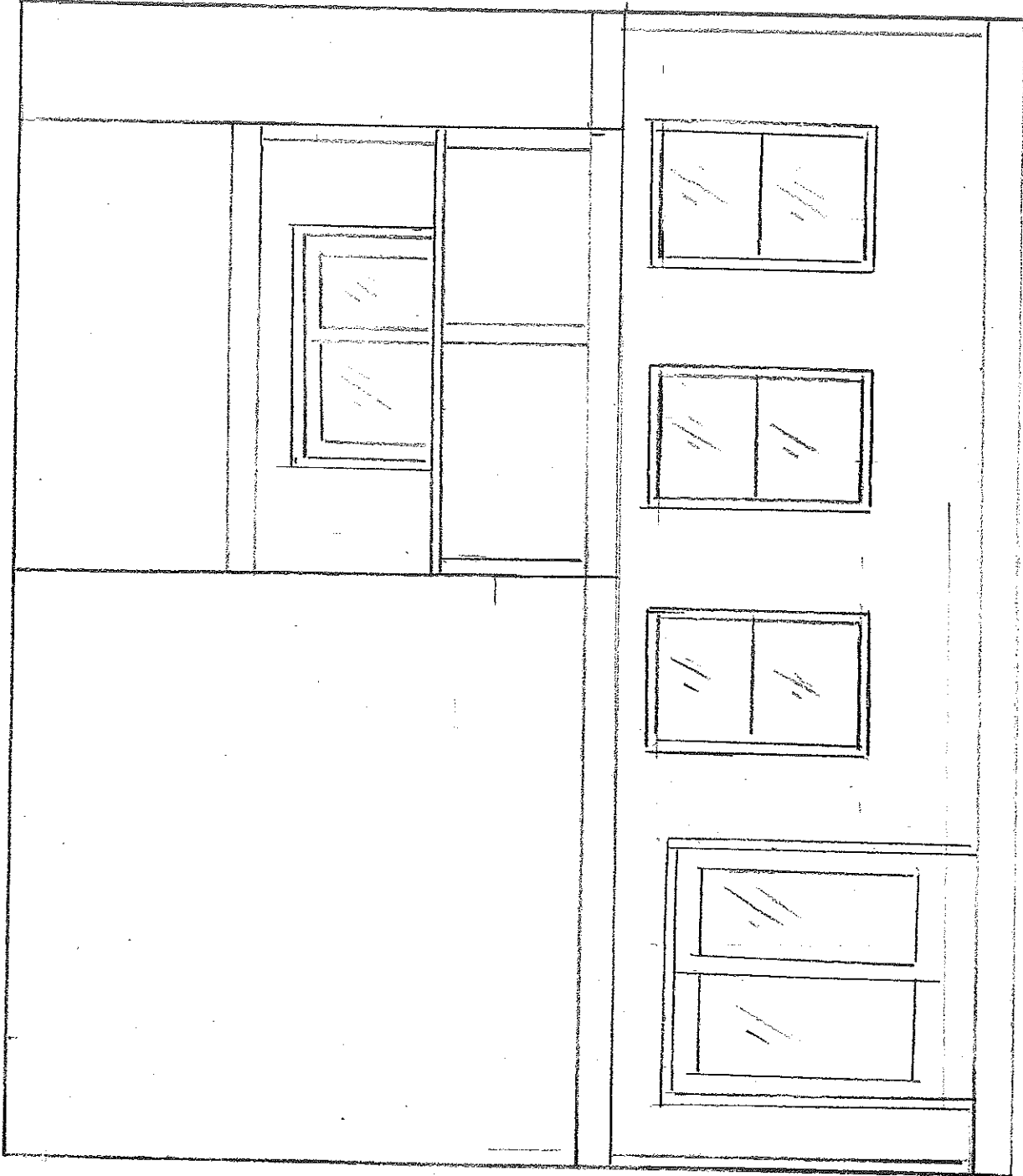
10/20/17



Right Side
44' = 1'-0"

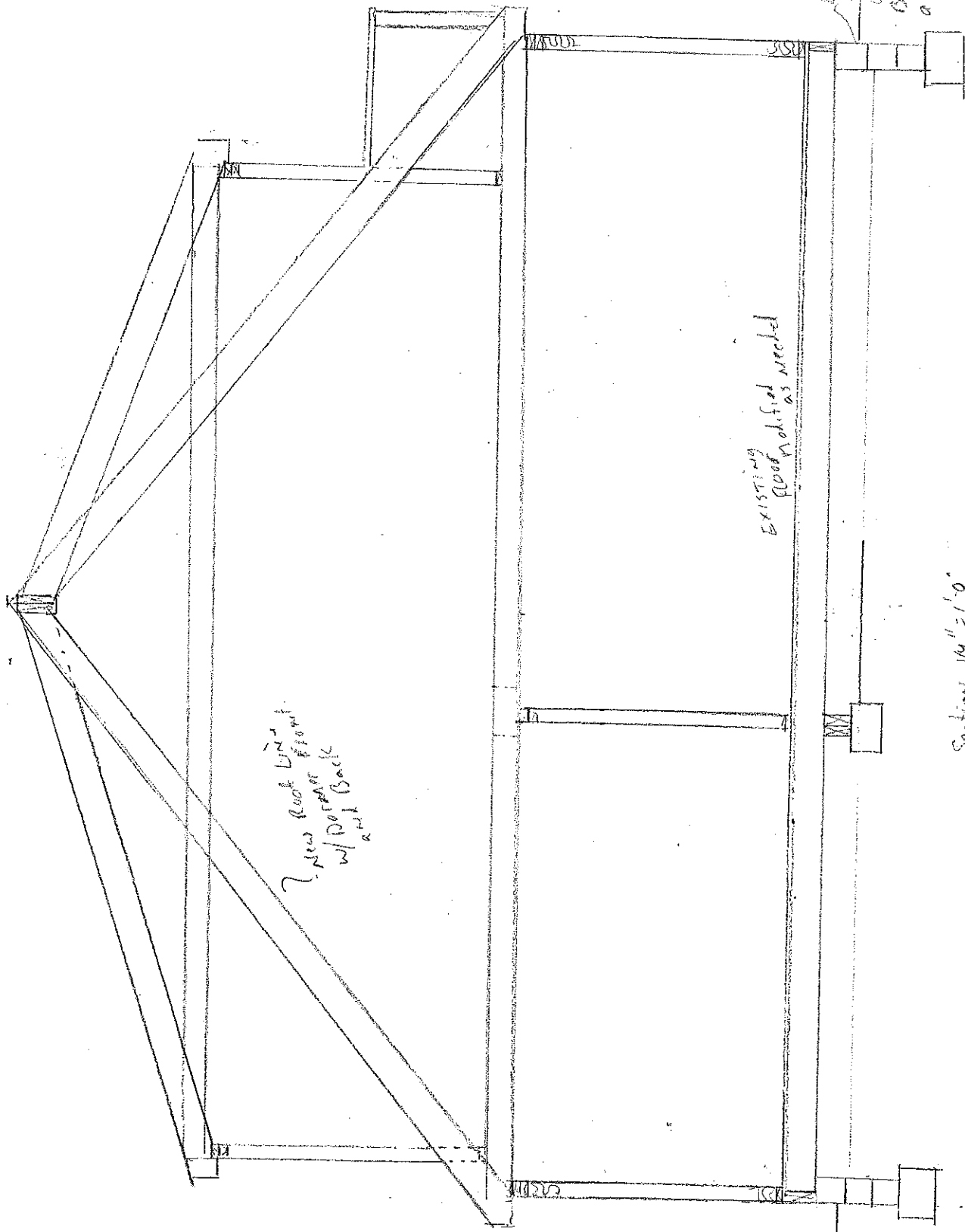


STREET SIDE
19' x 1'-0"



Water Side Elevation

1/4" = 1'-0"

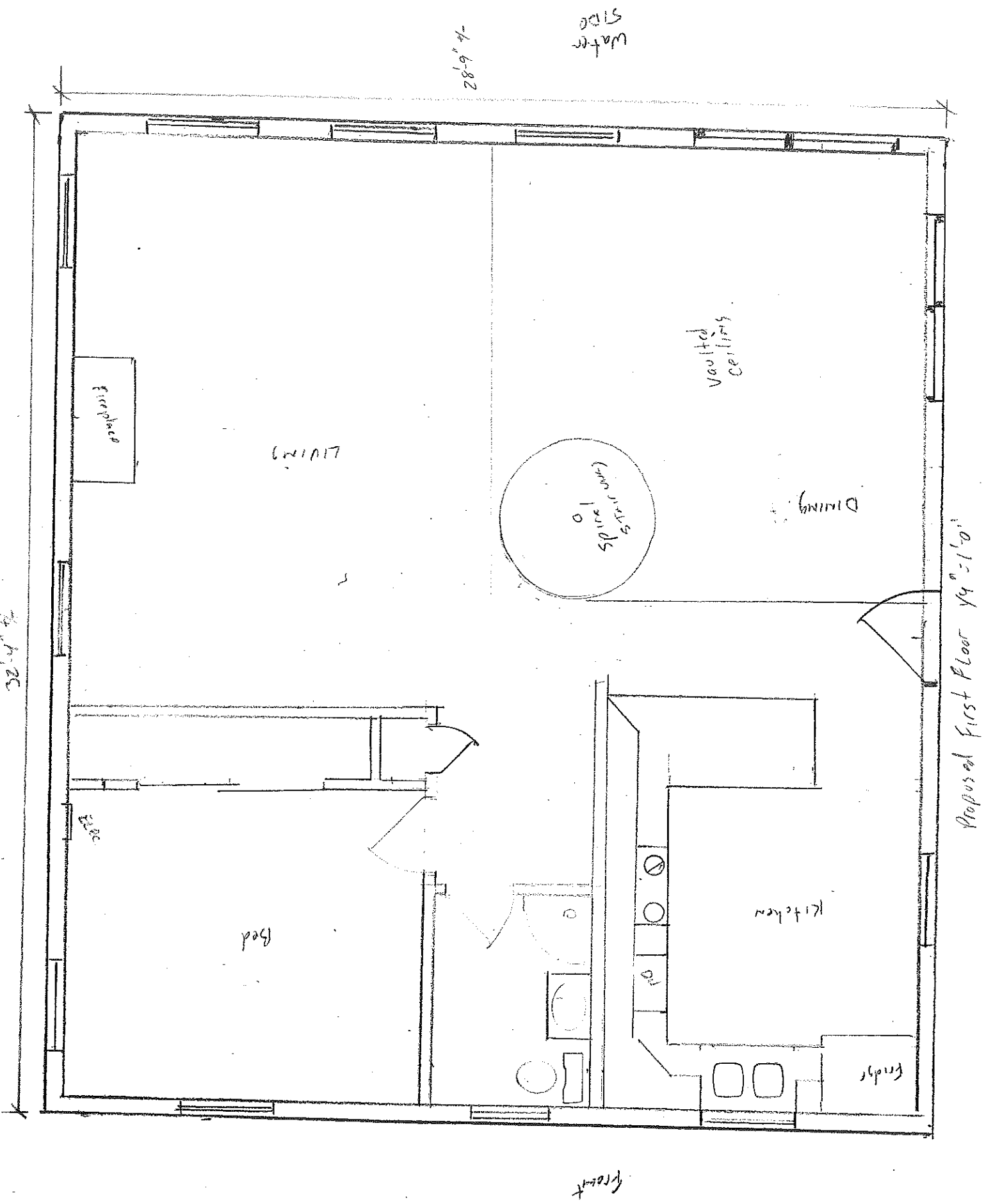


New Roof Line
w/ Porch Front
and Back

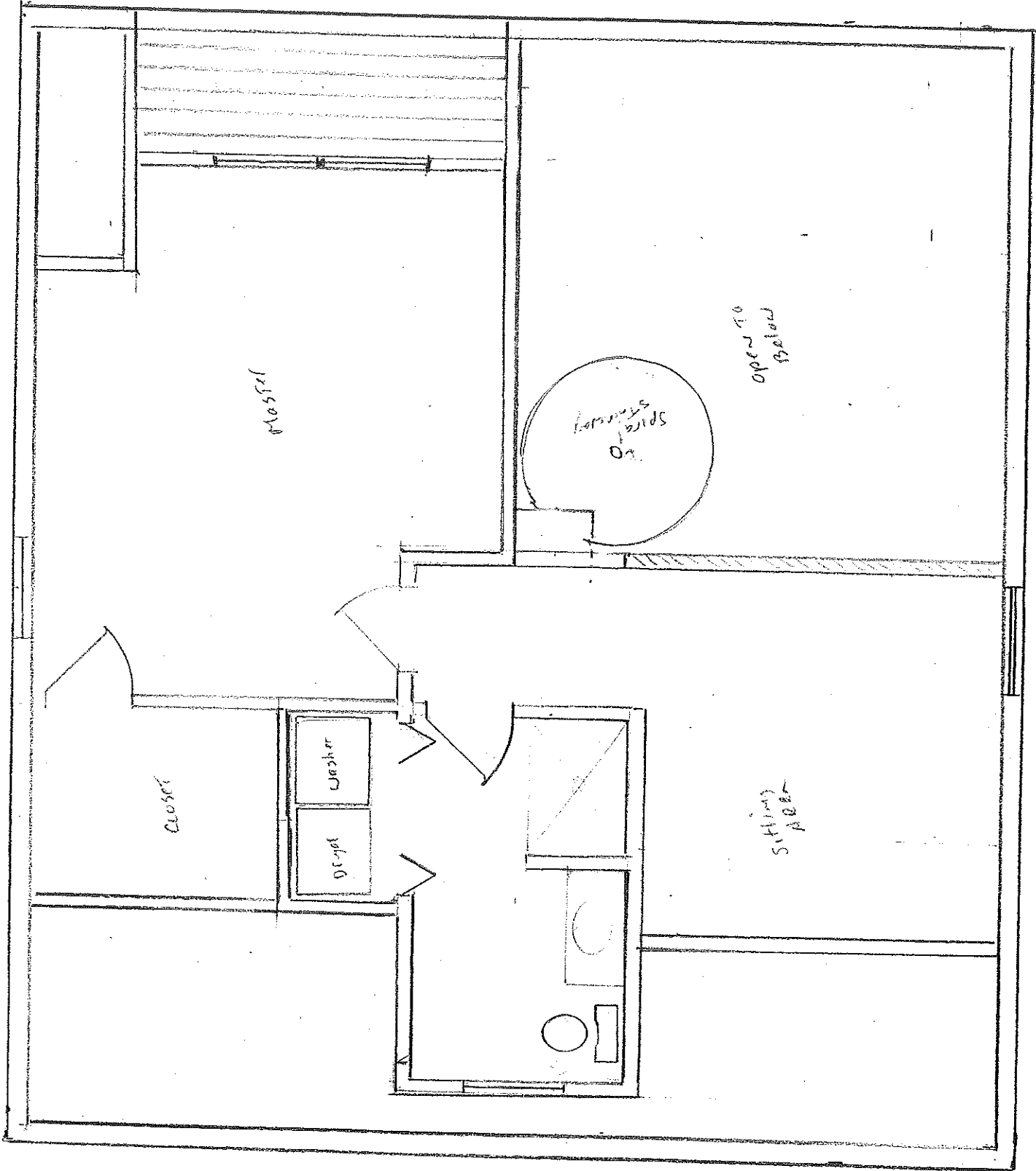
Existing Floor Modified as needed

Existing Block Walls to be fixed as needed

Section 1/4" = 1'-0"



~~Front~~
Balcony



closet

closet

Washer

Dryer

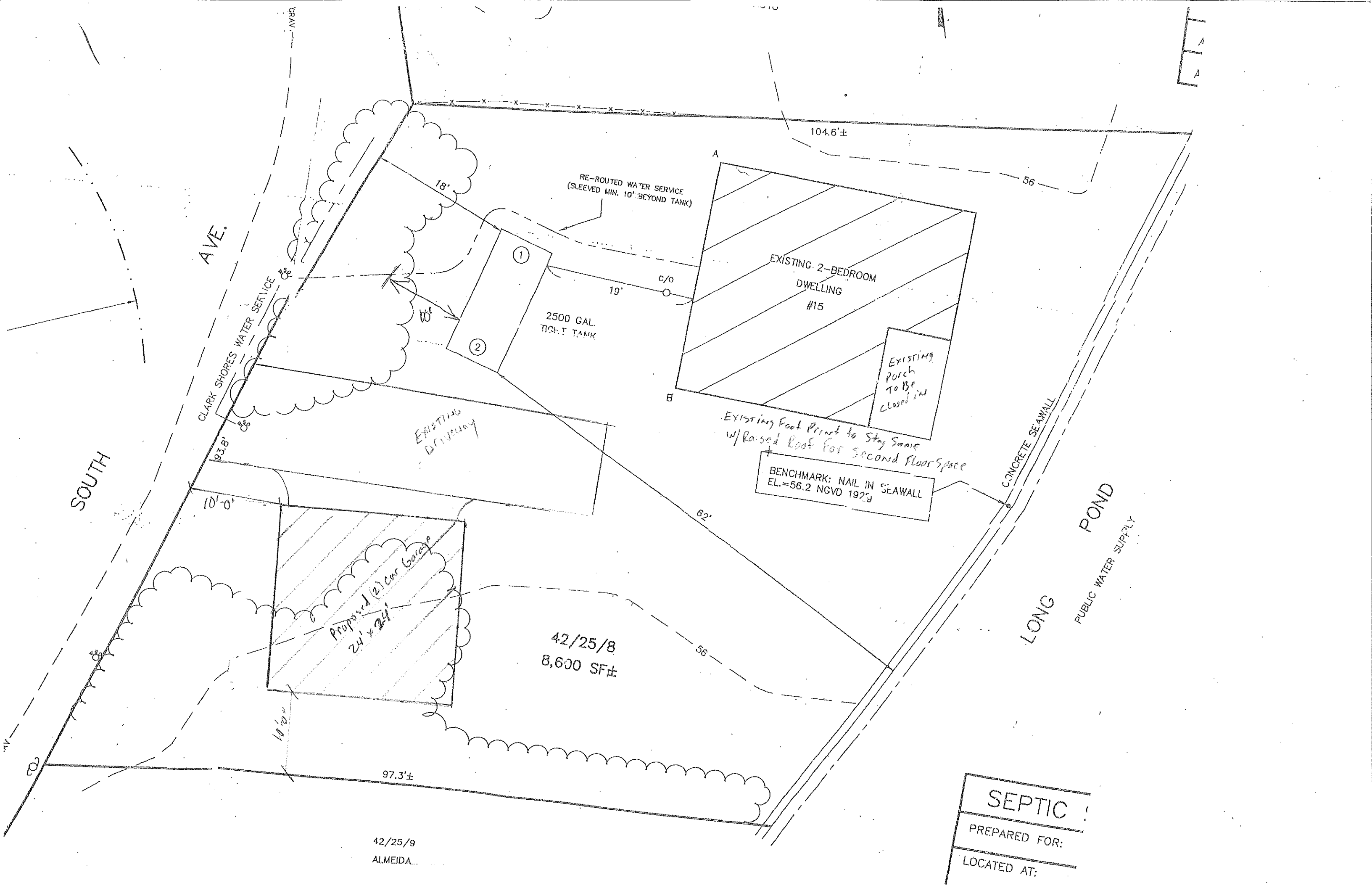
SINKS
ON

open to
balcony

Sitting
Area

FRONT
SIDE

Proposed Second Floor Area: 74' x 10'



AVE.

SOUTH

CLARK SHORES WATER SERVICE

104.6'±

56

RE-ROUTED WATER SERVICE
(SLEEVED MIN. 10' BEYOND TANK)

18'

EXISTING 2-BEDROOM
DWELLING
#15

2500 GAL.
TIGHT TANK

19'

c/o

EXISTING
Porch
To Be
Closed in

EXISTING
DRIVEWAY

EXISTING Foot Print to Stay Same
w/ Raised Roof for Second Floor Space

BENCHMARK: NAIL IN SEAWALL
EL. = 56.2 NGVD 1929

CONCRETE SEAWALL

LONG POND
PUBLIC WATER SUPPLY

93.8'

10'-0"

Proposed (2) Car Garage
24' x 24'

42/25/8
8,600 SF±

62'

56

LONG

10' car

97.3'±

42/25/9
ALMEIDA

SEPTIC
PREPARED FOR:
LOCATED AT:

**Planning Board
Lakeville, Massachusetts
Minutes of Meeting
October 22, 2020
Remote meeting**

On October 22, 2020, the Planning Board held a remote meeting. It was called to order by Chairman Knox at 7:00. LakeCam was recording, and it was streaming on Facebook Live.

Members present:

Mark Knox, Chair; Barbara Mancovsky, Vice-Chair; Peter Conroy, Michele MacEachern, Jack Lynch

Also present:

Atty. Michael O'Shaughnessy, Paul Turner

Agenda item #1

Mr. Knox read this item into the record. It was an explanation of the Governor's Order Suspending Certain Provisions of the Open Meeting Law related to the 2020 novel Coronavirus outbreak emergency which was why the Board was meeting remotely. Mr. Knox asked if anyone else was recording the meeting. There was no response.

Ledgewood Estates

Atty. Michael O'Shaughnessy and Mr. Paul Turner were present. Mr. Knox advised tonight they would be discussing the release of the surety. Members should have received via email a lot of paperwork submittals signed off by Jeremy Peck, who was previously the Highway Superintendent. There were also some reports regarding the pavement from Outback Engineering. Mr. Turner asked if there were any questions. Mr. Knox was not sure if the Board had received the binder report, but he and Ms. Murray had gotten a copy of it, and it would be added to the record. He asked if any Board members had any questions.

Ms. Mancovsky said the reports were very detailed and technical. Mr. Conroy said he had read the reports today. He knew the road was very well built, and he knew Mr. Turner did excellent work. He had no problem moving forward with everything they had collected. Ms. MacEachern noted it was technical material, and it appeared there had been a lot of attention to detail. Mr. Lynch said he had read the material but he did not have expertise in that area and would have to rely on the expert's opinion of it. Mr. Knox said that the materials have been submitted to Town Counsel for a quick review as Mr. Peck had left before the topcoat went down. They do have the report from Outback Engineering who had been present that day and an As-built. He wants to

make sure that everything they have satisfies the Town's needs so they can release the surety. They would hold back the \$15 per foot based on 852 feet. His only concern would be if Counsel says anything is lacking. They also would like a final review by another engineer to verify the paper work and As-built and protect the Town's interest. That would be the only outstanding item that he could see. Mr. Knox said his recommendation would be to vote to release the surety pending the response from Town Counsel. They will continue to hold approximately \$12,000 until Town Meeting. In the interim, they would converse with Mr. Turner if they needed funds to perform the final peer review inspection. Mr. Turner was fine with that. Mr. Knox asked if anyone would like to make a motion.

Ms. Mancovsky made that motion. It was seconded by Mr. Conroy.

Mr. Knox clarified the motion was to release the surety reducing the amount held to \$15 per foot based on 852 feet and hold that amount until Town Meeting, pending the response from Town Counsel. That is when they will release the surety through the Town Treasurer.

Roll Call Vote: Ms. Mancovsky-Aye, Mr. Conroy-Aye, Ms. MacEachern-Aye, Mr. Lynch-Aye, Mr. Knox-Aye

Mr. Knox said he felt they should also check with Counsel to see if tonight they could waive the release of the surety starting the clock and see if they could go with May when the topcoat went down. Mr. Conroy agreed.

Master Plan implementation

Mr. Knox asked Ms. MacEachern to give them a rundown on what she had found regarding the fee structure for some other Towns. Ms. MacEachern stated she looked up Plymouth, Easton, and Stow. She noted the Town of Easton had a tiered fee structure for Site Plan Review. It is based on the size of building square footage. Mr. Knox said that it could be based on lot disturbance which would cover the building footprint, as well as parking, loading, etc. This would play right into the density bonus rather than just the size of the structure. Ms. MacEachern advised that she had spoken to Mr. Darling who had noted the fees have to be within a reasonable range. She said they could be reviewed by Town Counsel.

Ms. Mancovsky stated when she looked at some Towns, she found they are all substantially higher than their fees. She felt they had a lot of room for improvement and there was nothing wrong with charging market rate. She noted that Lexington was charging \$1,000 for an ANR plan and \$500 for a new lot compared to Lakeville that charges \$100 per lot. She felt that the \$100 fee is too low and doesn't even cover their expenses. She suggested a grid type of report that would clearly define these fees and comparisons.

Ms. MacEachern noted that the Town of Stow adds a 10% fee onto their peer review. It might be something to consider as well. Mr. Knox said regarding subdivisions is there a metric they could use such as by the lot, etc. He knows they hold building permits on lots until the development is

at a certain point as insurance for the Town. Ms. Mancovsky said what she has seen is the subdivision fees are tiered, and it depends on the size of the development.

Mr. Lynch asked if they knew how other Towns are handling this. Mr. Knox said that was not the surety but the just the Planning Board reviewing the plan. He is using that as an example because it is governed by the number of lots. To Ms. Mancovsky's point, if a developer puts in a 40-lot subdivision and then goes under half through, the Town is left holding the bag for 20 homeowners, 20 vacant lots, and an unfinished road. The fee that he is talking about would be some kind of insurance policy that the Town would be holding, perhaps 10% of something defined. He felt this is something they should look to other Towns to see how it is handled. Recently, they have had subdivisions with private ways so the Town hasn't been at such a risk compared to a road that was going to be accepted at Town Meeting. Ms. Mancovsky asked if he was asking them to do more research of sureties. Mr. Knox said yes, and it should be part of their fee schedule. It should be an even and fair cost across the Board for all developers.

Ms. Mancovsky suggested for their next meeting putting this information down in a grid of ten different Towns. She would recommend that one of the criteria they consider be the average sale price of homes for the community that they are looking in. It was a good barometer of what new homes are going to be selling for. It's not exact, but they may be able to get a better comparison. Lakeville really shouldn't be compared with Towns that have a very different demographic profile. Mr. Knox said that he would like to see something come back to them for their next meeting. He noted that the purpose of this was not to kill development; the purpose of this is for them not to be so far behind the times of what everybody else is charging.

Ms. Mancovsky asked if he was only asking for Site Plan Review and the surety fees. Mr. Knox said no, but that would be his priority. However, if a huge discrepancy is seen then they should take a look at it. Ms. Mancovsky said she would draft up something and send it to Michele for review. Then if it is okay, she will circulate it with the Board to make sure they are on the right path. Mr. Knox said on Site Plan Review, he did like the idea of basing it on either the square footage of the building, the square footage of disturbance, or a combination of both. He felt the size of a project should govern it, and they shouldn't just have two fees.

Development Opportunities District

Mr. Knox wanted to note at the last meeting he had confused cluster zoning with spot zoning. His thoughts were if they could come up with language to control the location of the Development Opportunities District. For example, if they put it within one mile or half mile of any highway ramp, exit ramp of a numbered road, or it has to be on a numbered route. This would keep it off of the secondary roads. They could measure mileage wise what areas this would be and still require a minimum of 25 acres for this District. He would not want to see a parcel get developed that could have a distribution center going through a community because they didn't do anything about it.

Ms. Mancovsky noted that in this conversation could also be the transfer of development rights. This is where you have a developer who says I have all this land I want to develop but I'm only

allowed to develop to this density. Therefore, I am willing to transfer some of those development rights to this other location. She believed Carver had done some of that. Although it can be controversial, it has helped some communities that have this kind of thing going on. Mr. Knox said that might be a consideration, but he did not know if there was a way to put language in the Development Opportunities District. If something does get developed traffic is a big concern for him. He felt rather than wait until they have to fight a project they don't want; they could be proactive now and work language to amend the existing By-law. He recommended they take the Zoning map and try to overlay the highways on it. They could then pick some areas to focus on where they want the Development Opportunities District to only be located.

Ms. Mancovsky asked if this bylaw revision would be something they would be working on for the spring meeting. Would it be an appropriate topic for them to engage a consultant or a planning professional who could help them look at those maps and find the locations? They could then talk about the language that would be related to the bylaw. Mr. Knox said maybe for the next meeting they could take the Zoning map, overlay some highways onto it, and put down some circles. They could then see what areas throughout the Town would be affected. They then look at the bylaw and see if they can come up with some language to at least convey their efforts. Then they could talk to SRPEDD or if they get permission to use Environmental Partners to help with this.

Ms. MacEachern asked if there was another version of the Zoning map available. Ms. Mancovsky replied there is an electronic version that you can zoom into but the street names were probably not on it. Ms. Mancovsky thought there was something available, and they could ask Mr. Darling. Mr. Knox suggested they try to work with what they had and come back to the next meeting with at least a sense of the areas they are talking about.

43D Committee

Proposed Public Hearing schedule

Mr. Knox said regarding the proposed schedule, many of these meetings will require joint meetings with other Boards. The developer has acknowledged that their public hearing will probably take several hours when they go through a hearing for one of these portions of their project. They may not have enough time to do their regular business on their regular night. They looked at the Town's schedule, and it looked like Wednesdays were pretty open so they are going to meet jointly with other Board's for some Wednesday night meetings. They will continue to have their regular Planning Board meetings on Thursday if they have business.

Mr. Knox asked if anyone saw a conflict with any of the proposed dates or had any questions. He would like to know by next Wednesday. Ms. Mancovsky said she could not make next Wednesday's meeting as she did have a conflict. Ms. Murray noted that some of the hearings conflicted with the Zoning Board. Mr. Knox said a member of the Zoning Board was not on this Committee. Ms. Murray replied that she understood that but if residents were attending the Zoning Board's public hearings, they would not be able to attend this one if they were so inclined. The dates would December 17th, January 21st, and February 18th. Mr. Knox said that he would bring it up at the meeting.

Review submission requirements

Mr. Knox advised this is what Rhino Capital has supplied as a list of Boards and a list of the documents they plan to supply to these Boards. They have asked if any Board sees any other submittal or document that they need to request it now. He noted that Ms. MacEachern had already gone through this, and everything that is in their requirements had been covered. At the 43D meeting, Historical and the Earth Removal Permit had been mentioned. He thought the Planning Board section had been thorough but did anyone see anything else that they would require to be submitted. He then read through the list.

Ms. Mancovsky asked if the MEPA filing had been done, and if they had seen those results yet. Mr. Knox replied that would be done simultaneously. Ms. Mancovsky said that is something that should be done earlier in the process. That filing is important for other consultants that are doing some of this work. Ms. MacEachern said they are aware of it, and they did mention it. Mr. Knox explained that this is basically the plans that they normally require, and they need to make sure that they're all there. This is not trying to get ahead of the Public Hearing with additional items they might want to see. Their questions and concerns might be something they would ask of Environmental Partners to manage. When they are concerned about what's on the plan, that will be part of the Public Hearing, but this is about what they will require to be submitted as the plan.

Revisit peer review items

Mr. Knox said that Ms. MacEachern had composed an extensive list of peer review items. Did anyone want to add to that list. Ms. Mancovsky said she would like to see noise mitigation, and it must be very thorough. Her next question would be about fire suppression and water runoff. Is fire management participating in this? They do not want a building that has a bunch of chemicals in it having a fire event and then discharging out into their water system.

Mr. Knox said once they see a set of plans and prior to that meeting, he would open up communication to Scott Turner from Environmental Partners so he can sit in on that meeting. He will also get the list to him once it is assembled. After further discussion, Mr. Knox noted that the applicant is providing something based on what they think for example, noise mitigation, but for anything that is supplied Environmental Partners, or a subcontractor of Environmental Partners, will peer review it. However, if they have major concerns, they should stress those items. He thought they might want to go through the list and highlight the five things they may think are the most important.

Mr. Knox felt the most important items were noise and traffic. He also stated a long-time concern is they don't know who the occupant is going to be. They are being told it is going to be warehouse. Ms. Mancovsky said that could change. Mr. Knox agreed. They don't have a tenant so they are conditioning for something. His main concern is to condition this project for what they have been told, and to make it come back to Site Plan Review if that's a mechanism that is possible. They need to protect the Town. Ms. Mancovsky agreed and the project will need to be well conditioned.

Approve meeting minutes

Mr. Conroy made a motion, seconded by Mr. Lynch, to approve the Minutes from the October 8, 2020, meeting.

Roll Call Vote: Ms. Mancovsky-Aye, Mr. Conroy-Aye, Ms. MacEachern-Aye, Mr. Lynch-Aye, Mr. Knox-Aye

New Business

Review memo regarding Special Town Meeting

Mr. Knox then read the October 20, 2020, memo from Ms. Tracie Craig-McGee into the record. It advised that there would be a Special Town Meeting on November 30, 2020. Articles for the Warrant needed to be submitted to the Selectmen by October 26, 2020.

2020 Fall workshops

Mr. Knox advised that Citizens Planner Training Collaborative (CPTC) is offering e-training workshops this fall. Registration is now open. Workshops are about two hours long and include electronic handouts covering the subjects. He recommended if they were interested to sign up for one of these subjects and the Town will cover the fee.

Next meeting

Mr. Knox advised the next meeting is scheduled for November 12, 2020, at 7:00 p.m.

Adjourn

Ms. Mancovsky made a motion, seconded by Mr. Conroy, to adjourn the meeting.

Roll Call Vote: Ms. Mancovsky-Aye, Mr. Conroy-Aye, Ms. MacEachern-Aye, Mr. Lynch-Aye, Mr. Knox-Aye

Meeting adjourned at 8:30.

#11a



PLYMOUTH COUNTY REGISTRY OF DEEDS

50 OBERY STREET, PLYMOUTH, MA 02360
(508) 830-9200
FAX (508) 830-9221
www.plymouthdeeds.org

JOHN R. BUCKLEY, JR., Esquire
REGISTER

TIMOTHY H. WHITE, Esquire
ASSISTANT REGISTER
MARILYN L. MARVILL
CHIEF EXECUTIVE ASSISTANT
JOHN ZIGOURAS II
DIRECTOR OF OPERATIONS

Returned To: **Town of Lakeville**

DATE: 10/27/2020

The enclosed has not been recorded. We are returning it together with your check for the reason(s) checked below:

- Consideration not recited - required by statute. (MGL Ch. 183, Sec. 6)
- Grantee's address is not recited in the Deed. (MGL Ch. 183, Sec. 6)
- Property address is not recited in the margin of the Deed. (MGL Ch. 183, Sec. 6B).
- Exact pre-paid recording fee will be \$ 107.00. (Incorrect amount tendered).
- State Stamp check not enclosed. (\$).
- Property is not located in Plymouth County.
- Property description is incomplete. (Insert in Item 4 of U.C.C. Statement).
- Instrument is not signed and/or notarized.
- Signature of Notary is not legible - please type or print. (MGL Ch. 22, Sec. 8A).
- Instrument cannot be properly reproduced for our records. We must have clear, legible instruments for reproduction. (MGL Ch. 36, Sec. 12A).
- Financing Statement not related to real property.
- M-792 reference to Deed book and page omitted and/or in error.
- Instrument not dated.
- Does not set forth book and page of document to which it refers.
- Check not signed and/or stale dated.
- Return name and address must appear on front side (lower left, if possible) of first page of instrument. (MGL Ch. 36, Sec. 14)
- Must have original document or attested copy thereof.
- Notary outdated, or expiration date not filled in.
- Acknowledgement incomplete.
- Names and titles of all persons whose signatures appear thereon must be typed directly beneath signature.
- Property address is not recited in Discharge of Mortgage. (MGL Ch. 183, Sec. 54).
- Mortgagee's address is not recited in Mortgage. (MGL Ch. 183, Sec. 6C).
- Assignee's address is not recited in assignment. (MGL Ch. 183, Sec. 6C).
- OTHER:
Our fees went up last Dec. 31, 2019. I have enclosed a new fee schedule for future reference.

PLEASE INCLUDE THIS MEMO WHEN RETURNING CORRECTED DOCUMENTS

Name of Recorder: Shelley McVicar Location: Plymouth, 50 Obery St. 508-830-9264
 Brockton, 32 Belmont St. 508-830-9240
 Rockland, 900 Hingham St. 508-830-9277

#11b

Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Waterways Regulation Program
Chapter 91 Waterways License Application - 310 CMR 9.00
Water-Dependent, Nonwater-Dependent, Amendment

X286857
Transmittal No.

H. Municipal Planning Board Notification

Notice to Applicant:

Section H should be completed and submitted along with the original application material.

Kathryn Pink
Name of Applicant
119 Hemlock Shore Road
Project street address
Long Pond
Waterway
Lakeville
City/Town

Description of use or change in use:
The construction of a wall (seawall) and relocation of a pier.

To be completed by municipal clerk or appropriate municipal official:

"I hereby certify that the project described above and more fully detailed in the applicant's waterways license application and plans have been submitted by the applicant to the municipal planning board."

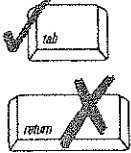
Printed Name of Municipal Official
Date
Signature of Municipal Official
Title
Lakeville
City/Town

Note: Any comments, including but not limited to written comments, by the general public, applicant, municipality, and/or an interested party submitted after the close of the public comment period pertaining to this Application shall not be considered, and shall not constitute a basis for standing in any further appeal pursuant to 310 CMR 9.13(4) and/or 310 CMR 9.17.

Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Waterways Regulation Program
Chapter 91 Waterways License Application - 310 CMR 9.00
 Water-Dependent, Nonwater-Dependent, Amendment

X286857
 Transmittal No.

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



For assistance in completing this application, please see the "Instructions".

A. Application Information (Check one)

NOTE: For Chapter 91 Simplified License application form and information see the Self Licensing Package for BRP WW06.

Name (Complete Application Sections)	Check One	Fee	Application #
WATER-DEPENDENT -			
General (A-H)	<input checked="" type="checkbox"/> Residential with \leq 4 units	\$215.00	BRP WW01a
	<input type="checkbox"/> Other	\$330.00	BRP WW01b
	<input type="checkbox"/> Extended Term	\$3,350.00	BRP WW01c
Amendment (A-H)	<input type="checkbox"/> Residential with \leq 4 units	\$100.00	BRP WW03a
	<input type="checkbox"/> Other	\$125.00	BRP WW03b
NONWATER-DEPENDENT -			
Full (A-H)	<input type="checkbox"/> Residential with \leq 4 units	\$665.00	BRP WW15a
	<input type="checkbox"/> Other	\$2,005.00	BRP WW15b
	<input type="checkbox"/> Extended Term	\$3,350.00	BRP WW15c
Partial (A-H)	<input type="checkbox"/> Residential with \leq 4 units	\$665.00	BRP WW14a
	<input type="checkbox"/> Other	\$2,005.00	BRP WW14b
	<input type="checkbox"/> Extended Term	\$3,350.00	BRP WW14c
Municipal Harbor Plan (A-H)	<input type="checkbox"/> Residential with \leq 4 units	\$665.00	BRP WW16a
	<input type="checkbox"/> Other	\$2,005.00	BRP WW16b
	<input type="checkbox"/> Extended Term	\$3,350.00	BRP WW16c
Joint MEPA/EIR (A-H)	<input type="checkbox"/> Residential with \leq 4 units	\$665.00	BRP WW17a
	<input type="checkbox"/> Other	\$2,005.00	BRP WW17b
	<input type="checkbox"/> Extended Term	\$3,350.00	BRP WW17c
Amendment (A-H)	<input type="checkbox"/> Residential with \leq 4 units	\$530.00	BRP WW03c
	<input type="checkbox"/> Other	\$1,000.00	BRP WW03d
	<input type="checkbox"/> Extended Term	\$1,335.00	BRP WW03e

B. Applicant Information Proposed Project/Use Information

1. Applicant:

Kathryn Pink
 Name Kepink@comcast.net
E-mail Address
 18 Old MeetingHouse Green
 Mailing Address
 Norton MA 02766
 City/Town State Zip Code
 508-285-8607
 Telephone Number Fax Number

Note: Please refer to the "Instructions"

2. Authorized Agent (if any):

Jamie Bissonnette
 Name jamie@zcellc.com
E-mail Address
 3 Main Street
 Mailing Address
 Lakeville MA 02347
 City/Town State Zip Code
 5089474208
 Telephone Number Fax Number

C. Proposed Project/Use Information

1. Property Information (all information must be provided):

Kathryn Pink, Susan Ferrin, and Janice Pink
 Owner Name (if different from applicant)
 046-001-004 41d48'39" 70d56'25"
 Tax Assessor's Map and Parcel Numbers Latitude Longitude
 119 Hemlock Shore Road Lakeville MA 02347
 Street Address and City/Town State Zip Code

2. Registered Land Yes No

3. Name of the water body where the project site is located:

Long Pond

4. Description of the water body in which the project site is located (check all that apply):

<u>Type</u>	<u>Nature</u>	<u>Designation</u>
<input type="checkbox"/> Nontidal river/stream	<input checked="" type="checkbox"/> Natural	<input type="checkbox"/> Area of Critical Environmental Concern
<input type="checkbox"/> Flowed tidelands	<input type="checkbox"/> Enlarged/dammed	<input type="checkbox"/> Designated Port Area
<input type="checkbox"/> Filled tidelands	<input type="checkbox"/> Uncertain	<input type="checkbox"/> Ocean Sanctuary
<input checked="" type="checkbox"/> Great Pond		<input checked="" type="checkbox"/> Uncertain
<input type="checkbox"/> Uncertain		

C. Proposed Project/Use Information (cont.)

Select use(s) from
 Project Type Table
 on pg. 2 of the
 "Instructions"

5. Proposed Use/Activity description

The construction of a wall (seawall) and relocation of a pier.

6. What is the estimated total cost of proposed work (including materials & labor)?

\$75,000

7. List the name & complete mailing address of each abutter (attach additional sheets, if necessary). An abutter is defined as the owner of land that shares a common boundary with the project site, as well as the owner of land that lies within 50' across a waterbody from the project.

William C. Starkie Jr. 2 Morningside Dr. Rockland, MA 02370
 Name Address

Elizabeth A. Gallagher, Tr. 117 Hemlock Shore Road Lakeville, MA 02347
 Name Address

 Name Address

D. Project Plans

1. I have attached plans for my project in accordance with the instructions contained in (check one):

Appendix A (License plan)

Appendix B (Permit plan)

2. Other State and Local Approvals/Certifications

401 Water Quality Certificate

 Date of Issuance

Wetlands

SE 192-0848
 File Number

Jurisdictional Determination

JD-
 File Number

MEPA

 File Number

EOE A Secretary Certificate

 Date

21E Waste Site Cleanup

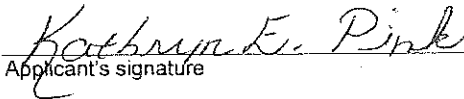
 RTN Number

E. Certification

All applicants, property owners and authorized agents must sign this page. All future application correspondence may be signed by the authorized agent alone.

"I hereby make application for a permit or license to authorize the activities I have described herein. Upon my signature, I agree to allow the duly authorized representatives of the Massachusetts Department of Environmental Protection and the Massachusetts Coastal Zone Management Program to enter upon the premises of the project site at reasonable times for the purpose of inspection."

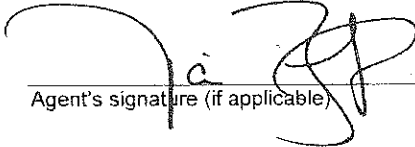
"I hereby certify that the information submitted in this application is true and accurate to the best of my knowledge."


Applicant's signature

10-26-2020
Date

Property Owner's signature (if different than applicant)

Date


Agent's signature (if applicable)

10-26-2020
Date

F. Waterways Dredging Addendum

1. Provide a description of the dredging project

Maintenance Dredging (include last dredge date & permit no.) Improvement Dredging

Purpose of Dredging

2. What is the volume (cubic yards) of material to be dredged?

3. What method will be used to dredge?

Hydraulic Mechanical Other

4. Describe disposal method and provide disposal location (include separate disposal site location map)

5. Provide copy of grain size analysis. If grain size is compatible for beach nourishment purposes, the Department recommends that the dredged material be used as beach nourishment for public beaches. **Note:** In the event beach nourishment is proposed for private property, pursuant to 310 CMR 9.40(4)(a)1, public access easements below the existing high water mark shall be secured by applicant and submitted to the Department.

G. Municipal Zoning Certificate

Kathryn Pink

Name of Applicant

119 Hemlock Shore Road

Project street address

Long Pond

Waterway

Lakeville

City/Town

Description of use or change in use:

The construction of a wall (seawall) and relocation of a pier.

To be completed by municipal clerk or appropriate municipal official:

"I hereby certify that the project described above and more fully detailed in the applicant's waterways license application and plans is not in violation of local zoning ordinances and bylaws."

Printed Name of Municipal Official

Date

Signature of Municipal Official

Title

Lakeville

City/Town

Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Waterways Regulation Program
Chapter 91 Waterways License Application - 310 CMR 9.00
Water-Dependent, Nonwater-Dependent, Amendment

X286857
Transmittal No.

H. Municipal Planning Board Notification

Notice to
Applicant:

Section H should
be completed and
submitted along
with the original
application material.

Name of Applicant	Kathryn Pink	
Project street address	119 Hemlock Shore Road	Long Pond
	Waterway	Lakeville
City/Town		
Description of use or change in use:		
	The construction of a wall (seawall) and relocation of a pier.	

To be completed by municipal clerk or appropriate municipal official:

"I hereby certify that the project described above and more fully detailed in the applicant's waterways license application and plans have been submitted by the applicant to the municipal planning board."

Printed Name of Municipal Official

Date

Signature of Municipal Official

Title

Lakeville
City/Town

Note: Any comments, including but not limited to written comments, by the general public, applicant, municipality, and/or an interested party submitted after the close of the public comment period pertaining to this Application shall not be considered, and shall not constitute a basis for standing in any further appeal pursuant to 310 CMR 9.13(4) and/or 310 CMR 9.17.

Appendix A: License Plan Checklist

General View

- PE or RLS, as deemed appropriate by the Department, stamped and signed, in ink, each sheet within 8 1/2 inch by 11 inch border
- Format and dimensions conform to "Sample Plan" (attached)
- Minimum letter size is 1/8 of an inch if freehand lettering, 1/10 of an inch if letter guides are used
- Sheet number with total number in set on each sheet
- Title sheet contains the following in lower left: Plans accompanying Petition of [Applicant's name, structures and/or fill or change in use, waterway and municipality]
- North arrow
- Scale is suitable to clearly show proposed structures and enough of shoreline, existing structures and roadways to define its exact location
- Scale is stated & shown by graphic bar scale on each sheet
- Initial plans may be printed on bond; final plans due before License issuance must be on 3mil Mylar.

Structures and Fill

- All Structures and Fill shown in full BLACK lines, clearly labeling which portions are existing, which are Proposed and indicating Existing Waterways Licenses
- Cross Section Views* show MHW* and MLW* and structure finish elevations
- Dredge or Fill*, actual cubic yardage must be stated and typical cross sections shown
- All Structures and Fill shown in full BLACK lines, clearly labeling which portions are existing, which are Proposed and indicating Existing Waterways Licenses
- Cross Section Views* show MHW* and MLW* and structure finish elevations
- Dredge or Fill*, actual cubic yardage must be stated and typical cross sections shown
- Actual dimensions of structures(s) and or fill and the distance which they extend beyond MHW* or OHW*
- Change in Use of any structures on site must be stated

* See 310 CMR 9.02, Waterways Regulations definitions of High Water Mark, Historic High Water Mark, Historic Low Water Mark, and Low Water Mark. *Note:* DEP may, at its discretion, accept appropriately scaled preliminary plans in lieu of the plans described above. In general, DEP will accept preliminary plans only for non-water dependent projects and projects covered by MEPA to address site design components such as visual access, landscaping & site coverage. *Anyone wishing to submit preliminary plans must obtain prior approval of the DEP Waterways Program before submitting them with their application.*

Appendix A: License Plan Checklist (cont.)

Boundaries

- Property lines, full black lines, _____, along with abutters' names and addresses
- Mean High Water (MHW)* or Ordinary High Water (OHW)*, full black line _____
- Mean Low Water (MLW)*, black dotted line, (.....)
- Historic MHW* or OHW* (— — — —)
- Historic MLW* (... ..)
- State Harbor Lines, black dot-dash line (- . - . - .) with indication of Chapter & Act establishing them (Ch. , Acts of)
- Reference datum is National Geodetic Vertical Datum (NGVD) or (NAVD).
- Floodplain Boundaries according to most recent FEMA maps
- Proposed & Existing Easements described in metes & bounds

Water-Dependent Structures

- Distance from adjacent piers, ramps or floats (minimum distance of 25' from property line, where feasible)
- Distance from nearest opposite shoreline
- Distance from outside edge of any Navigable Channel
- Access stairs at MHW for lateral public passage, or 5 feet of clearance under structure at MHW.

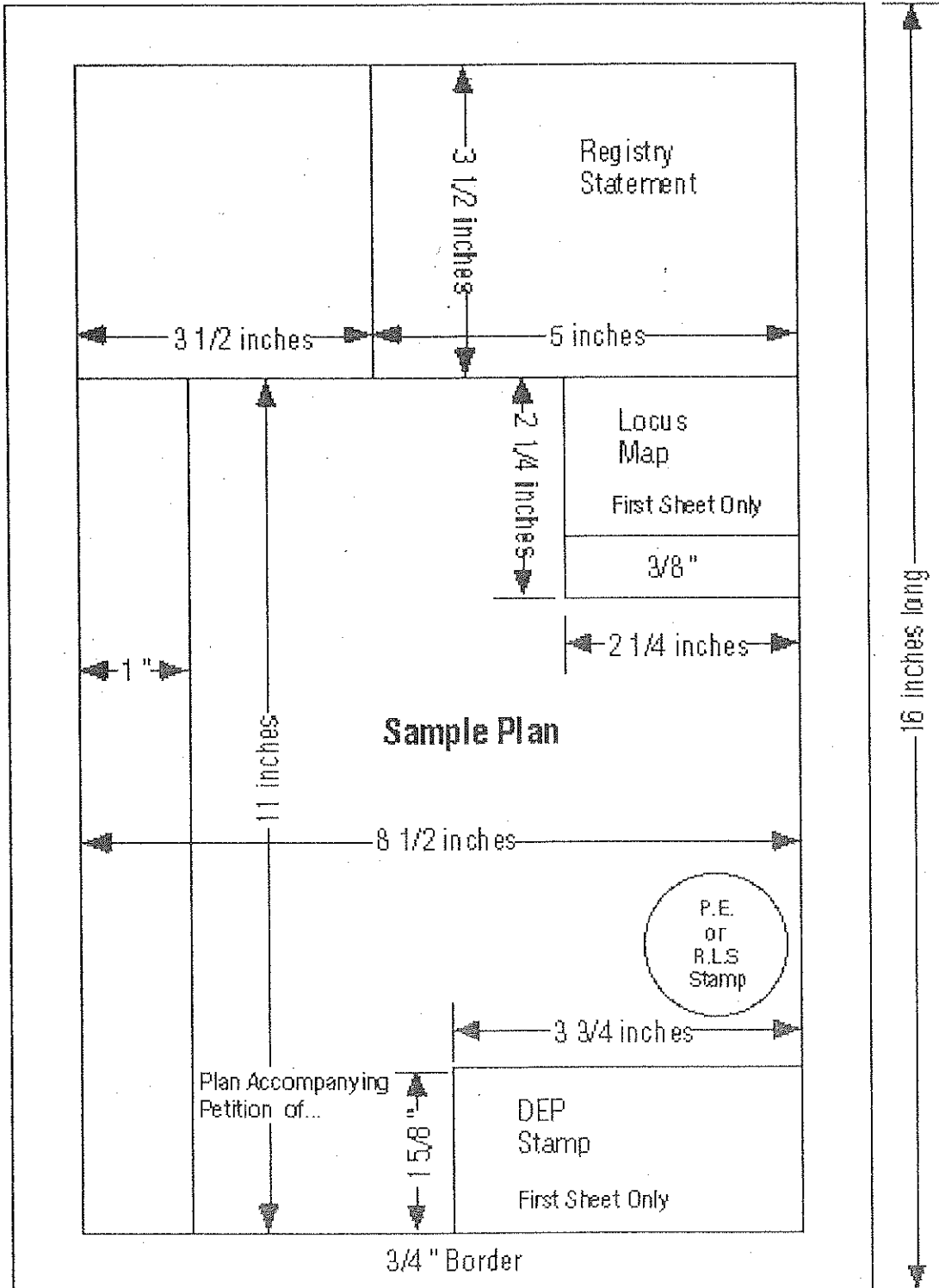
Non Water-Dependent Structures

- Depict extent of "Water-dependent Use Zone".

See Waterways Regulations at 310 CMR 9.51-9.53 for additional standards for non water-dependent use projects.

Note: Final Mylar project site plans will be required upon notice from the Department, prior to issuance of the Chapter 91 Waterways License.

Appendix A: License Plan Checklist Cont.



Appendix B: Dredging Permit Plan Checklist

For projects applying for dredging permits only, enclose drawings with the General Waterways Application that include the following information:

General View

- Submit one original of all drawings. Submit the fewest number of sheets necessary to adequately illustrate the project on 8-1/2 inch X 11 inch paper.
- A 1-inch margin should be left at the top edge of each drawing for purposes of reproduction and binding. A 1/2 inch margin is required in the three other edges.
- A complete title block on each drawing submitted should identify the project and contain: the name of the waterway; name of the applicant; number of the sheet and total number of sheets in the set; and the date the drawing was prepared.
- Use only dot shading, hatching, and dashed or dotted line to show or indicate particular features of the site on the drawings.
- If deemed appropriate by the Department, certification by the Registered Professional Engineer or Land Surveyor is included.

Plan View

- North Arrow
- Locus Map
- Standard engineering scale.
- Distances from channel lines and structures if appropriate.
- Mean high water and mean low water shorelines (see definitions of "High Water Mark" and "Low Water Mark" at 310 CMR 9.02, C. 91 Regulations).
- Dimensions of area proposed to be dredged or excavated.
- Notation or indication of disposal site.
- Volume of proposed dredging or excavation.
- Ordinary high water, proposed drawdown level, and natural (historic) high water (for projects lowering waters of Great Ponds).

Section Views

- Existing bottom and bank profiles.
- Vertical and/or horizontal scales.
- Proposed and existing depths relative to an indicated datum.
- Elevation and details of control structure (for projects lowering waters of Great Ponds).

Appendix C: Application Completeness Checklist

Please answer all questions in the General Waterways Application form. If a question does not apply to your project write "not applicable" (n/a) in that block. Please print or type all information provided on the form. Use black ink (blue ink or pencil are not easily reproducible, therefore, neither will be accepted). If additional space is needed, attach extra 8-1/2" x 11" sheets of paper.

- Proper Public Purpose:** For nonwater-dependent projects, a statement must be included that explains how the project serves a proper public purpose that provides greater benefit than detriment to public rights in tidelands or great ponds and the manner in which the project meets the applicable standards. If the project is a nonwater-dependent project located in the coastal zone, the statement should explain how the project complies with the standard governing consistency of the policies of the Massachusetts Coastal Zone Management Program, according to 310 CMR 9.54. If the project is located in an area covered by a Municipal Harbor Plan, the statement should describe how the project conforms to any applicable provisions of such plan pursuant to 310 CMR 9.34(2).
- Plans:** Prepared in accordance with the applicable instructions contained in Appendix A-B of this application. For initial filing, meet the requirements of 310 CMR 9.11(3)(b)(3).
- Applicant Certification:** All applications must be signed by "the landowner if other than the applicant. In lieu of the landowner's signature, the applicant may provide other evidence of legal authority to submit an application for the project site." If the project is entirely on land owned by the Commonwealth (e.g. most areas below the current low water mark in tidelands and below the historic high water mark of Great Ponds), you may simply state this in lieu of the "landowner's signature".
- Municipal Zoning Certification:** If required, applicants must submit a completed and signed Section E of this application by the municipal clerk or appropriate municipal official or, for the initial filing, an explanation of why the form is not included with the initial application. If the project is a public service project subject to zoning but will not require any municipal approvals, submit a certification to that effect pursuant to 310 CMR 9.34(1).
- Municipal Planning Board Notification:** Applicants must submit a copy of this application to the municipal planning board for the municipality where the project is located. Submittal of the complete application to DEP must include Section H signed by the municipal clerk, or appropriate municipal official for the town where the work is to be performed, except in the case of a proposed bridge, dam, or similar structure across a river, cove, or inlet, in which case it must be certified by every municipality into which the tidewater of said river, cove, or inlet extends.
- Final Order of Conditions:** A copy of one of the following three documents is required with the filing of a General Waterways Application: (1) the Final Order of Conditions (with accompanying plan) under the Wetlands Protection Act; (2) a final Determination of Applicability under that Act stating that an Order of Conditions is not required for the project; or (3) the Notice of Intent for the initial filing (if the project does not trigger review under MEPA).
- Massachusetts Environmental Protection Act (MEPA):** MGL 30, subsections 61-61A and 301 CMR 11.00, submit as appropriate: a copy of the Environmental Notification Form (ENF) and a Certificate of the Secretary of Environmental Affairs thereon, or a copy of the final Environmental Impact Report (EIR) and Certificate of the Secretary stating that it adequately and properly complies with MEPA; and any subsequent Notice of Project change and any determination issued thereon in accordance with MEPA. For the initial filing, only a copy of the ENF and the Certificate of the Secretary thereon must be submitted.

Note: If the project is subject to MEPA, the Chapter 91 Public Notice must also be submitted to MEPA for publication in the "Environmental Monitor". MEPA filing deadlines are the 15th and 30th of each month.

Appendix C: Application Completeness Checklist (cont.)

- Water Quality Certificate:** if applicable, pursuant to 310 CMR 9.33, is included.
- Other Approvals:** as applicable pursuant to 310 CMR 9.33 or, for the initial filing, a list of such approvals which must be obtained.

Projects involving dredging:

- The term "dredging" means the removal of materials including, but not limited to, rocks, bottom sediments, debris, sand, refuse, plant or animal matter, in any excavating, clearing, deepening, widening or lengthening, either permanently or temporarily, of any flowed tidelands, rivers, streams, ponds or other waters of the Commonwealth. Dredging includes improvement dredging, maintenance dredging, excavating and backfilling or other dredging and subsequent refilling. Included is a completed and signed copy of Part F of the application.

Filing your Completed General Waterways Application:

- For all Water-Dependent applications** – submit a completed General Waterways Application and all required documentation with a *photocopy* of both payment check and DEP's *Transmittal Form for Permit Application & Payment* to the appropriate DEP Boston or regional office (please refer to Pg. 10 of the "Instructions" for the addresses of DEP Regional Offices).
- For all Non Water-Dependent applications** – submit a completed General Waterways Application and all required documentation with a *photocopy* of both payment check and DEP's *Transmittal Form for Permit Application & Payment* to DEP's Boston office.

Department of Environmental Protection
Waterways Regulation Program
One Winter Street
Boston, MA 02108

- Application Fee Payment for ALL Waterways Applications:** Send the appropriate Application fee* (please refer to Page 1 of the "Application"), in the form of a check or money order, along with DEP's *Transmittal Form for Permit Application & Payment*.

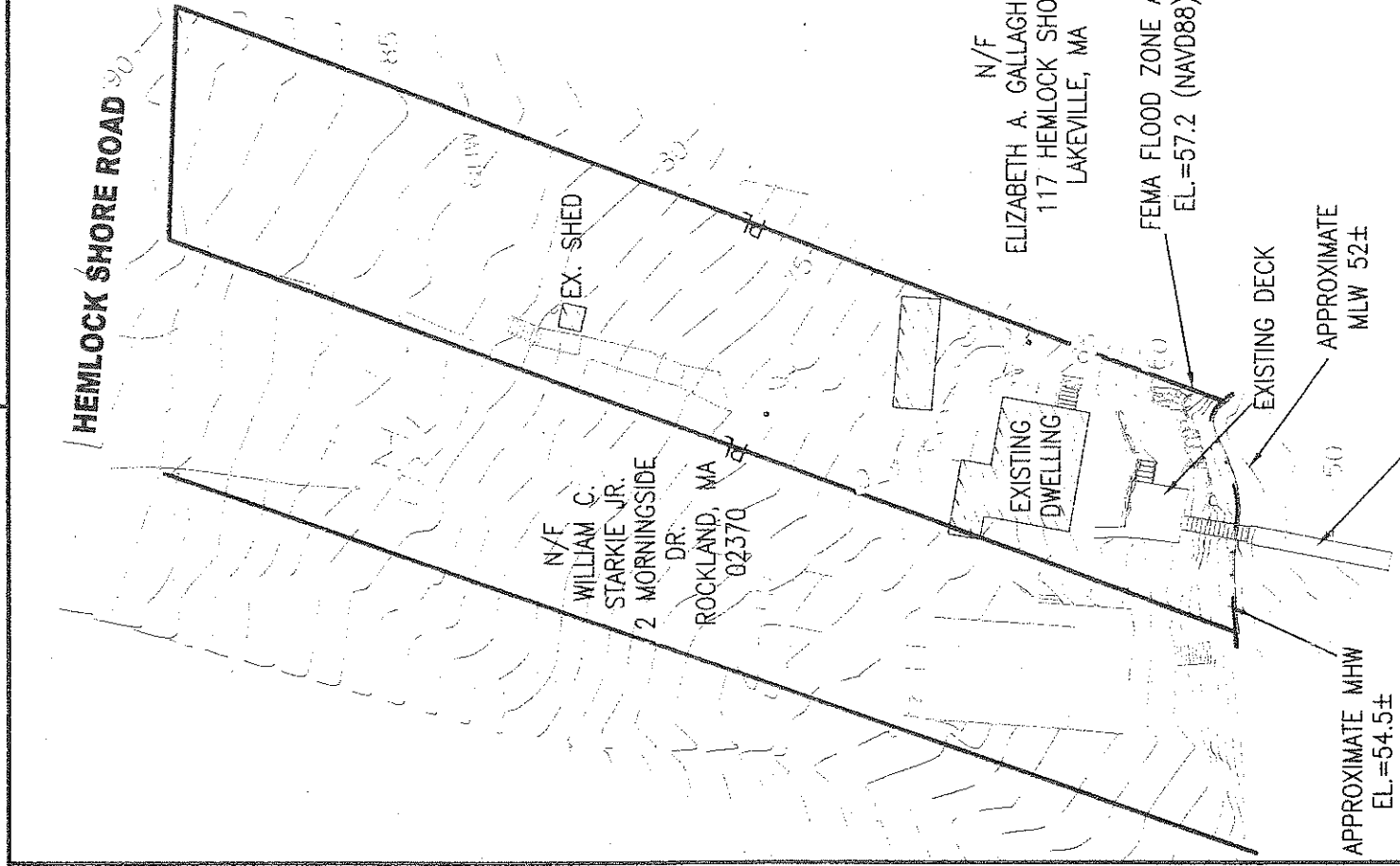
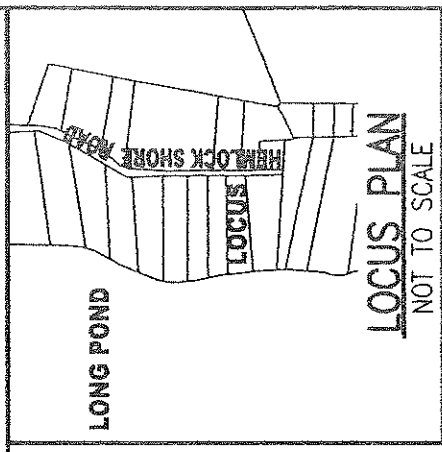
Department of Environmental Protection
P.O. Box 4062
Boston, MA 02211

* Under extreme circumstances, DEP grants extended time periods for payment of license and permit application fees. If you qualify, check the box entitled "Hardship Request" on the *Transmittal Form for Permit Application & Payment*. See 310 CMR 4.04(3)(c) to identify procedures for making a hardship request. Send hardship request and supporting documentation to the above address.

NOTE: You may be subject to a **double application fee** if your application for Chapter 91 authorization results from an enforcement action by the Department or another agency of the Commonwealth or its subdivisions, or if your application seeks authorization for an existing unauthorized structure or use.

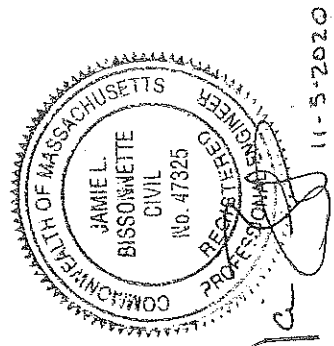
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE _____



GRAPHICS SCALE
1 inch = 40 feet

EXISTING CONDITIONS

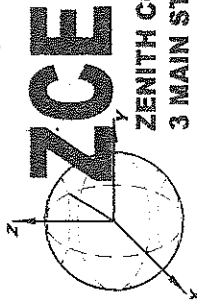


LONG POND

LICENSE # 4255 "1995"

PLAN ACCOMPANYING PETITION OF:

KATHRYN PINK
FOR LICENSE TO CONSTRUCT A SEAWALL AND PIER
LONG POND (PLYMOUTH COUNTY)
119 HEMLOCK SHORE ROAD
LAKEVILLE, MASSACHUSETTS



ZCF
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE _____

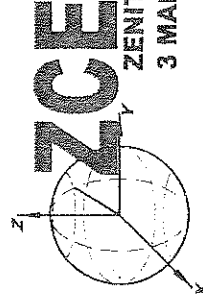
NOTES:

SITE INFORMATION:

1. THE SITE IS SHOWN ON THE TOWN OF LAKEVILLE ASSESSORS MAP AS MAP 46 BLOCK 1 LOT 4.
2. PROPERTY LINE INFORMATION WAS TAKEN FROM
 - 2.1. FOR TITLE REFERENCE TO THE SUBJECT PROPERTY REFER TO BOOK 40071, PAGE 320 IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.
 - 2.2. PROPERTY LINE AND TOPOGRAPHIC SURVEY BY ZENITH CONSULTING ENGINEERS, LLC.
3. EXISTING CHAPTER 91 LICENSE PLAN NO. 4255 "DATE OF ISSUE JANUARY 3, 1995", REFER TO BOOK 13422 PAGE 001 (PAGES 1-4) AND PLAN BOOK 37 PAGES 635 IN THE BRISTOL COUNTY REGISTRY OF DEEDS.
4. THE SUBJECT PROPERTY IS LOCATED IN ZONES AE-57.2 & X, AS SCALED FROM THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF PLYMOUTH COUNTY, MAP NUMBER 25023C0429K & 25023C0437K, EFFECTIVE DATE JULY 16, 2015.
5. THE SUBJECT PROPERTY IS NOT LOCATED IN A ZONE II OR IWPA (WELL HEAD PROTECTION AREA).
6. A PORTION OF THE SUBJECT PROPERTY IS LOCATED IN A PRIORITY HABITAT OR ESTIMATED HABITAT AS SHOWN ON THE MASSACHUSETTS NATURAL HERITAGE ATLAS 14TH EDITION EFFECTIVE DATE AUGUST 1, 2017.
9. THE SITE IS IN AN OUTSTANDING RESOURCE WATER (ORW)
10. THE PROPOSED WORK IS NOT LOCATED IN AN ACEC
11. LOCATION OF UTILITIES ARE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE ACTUAL LOCATION AND INVERTS OF UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.
12. THE CONTRACTOR IS RESPONSIBLE UNDER MASSACHUSETTS STATE LAW TO NOTIFY DIGSAFE (800.322.4844) TO LOCATE UTILITIES IN THE PROJECT AREA 72 HOURS PRIOR TO THE START OF EXCAVATION.

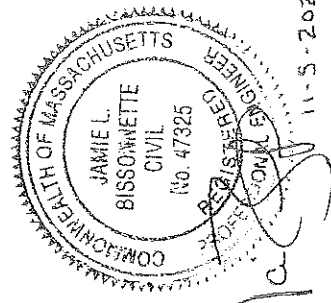
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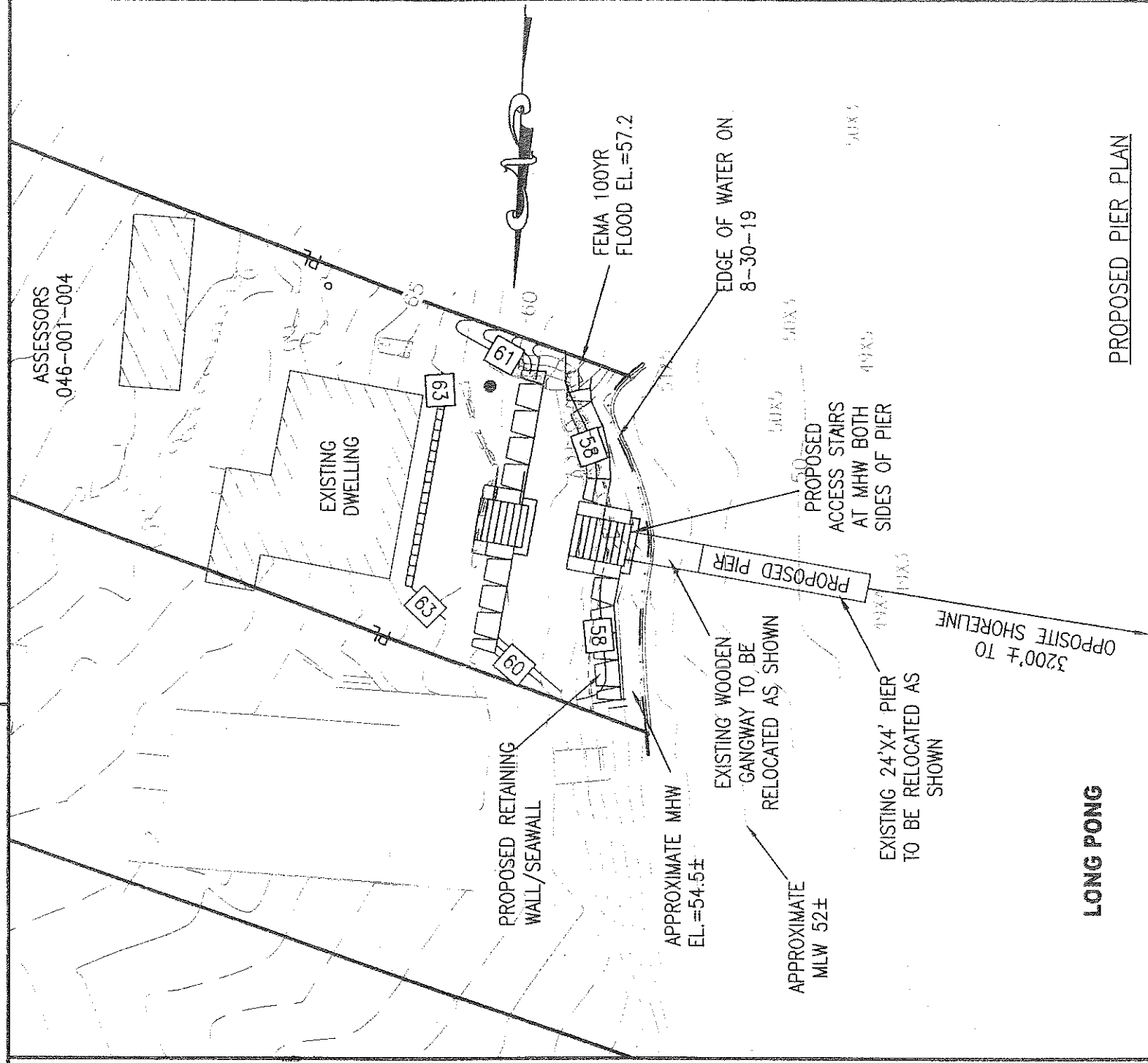
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

SITE NOTES



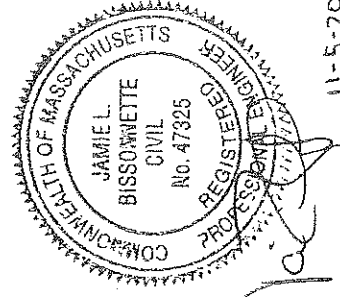
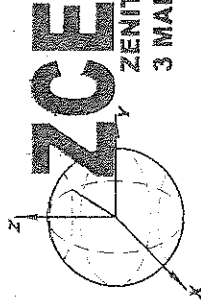
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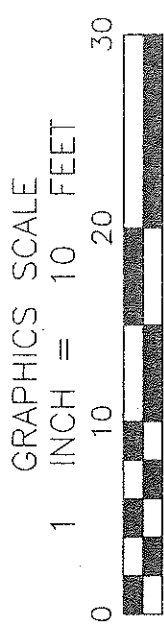
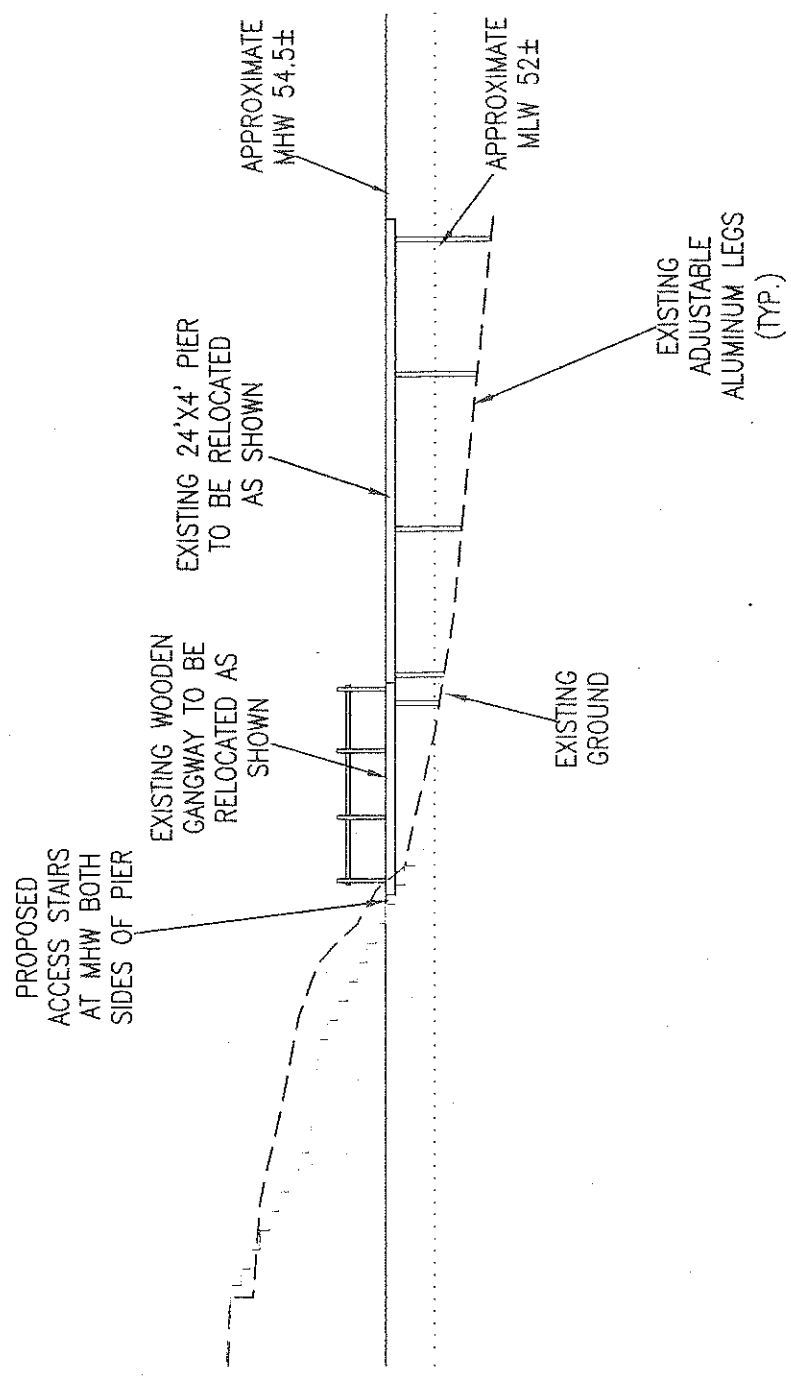
LONG PONG

PLAN ACCOMPANYING PETITION OF:
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PROFILE

