



Received & posted: April Berry, ATC
Town Clerk
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LAKEVILLE TOWN CLERK

2020 NOV 17 PM 3:04

REMOTE MEETING NOTICE/ AGENDA

Posted in accordance with the provisions of MGL Chapter 30A, §. 18-25

Name of Board, Committee or Commission:	Planning Board
Date & Time of Meeting:	Thursday, November 19, 2020 at 6:30 p.m.
Location of Meeting:	REMOTE MEETING
Clerk/Board Member posting notice	Cathy Murray

AGENDA

1. In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G.L. c.30A, §20, relating to the 2020 novel Coronavirus outbreak emergency, the November 19, 2020, public meeting of the **Planning Board** shall be physically closed to the public to avoid group congregation. **However, to view this meeting in progress, please go to facebook.com/lakecam (you do not need a Facebook account to view the meeting). This meeting will be recorded and available to be viewed at a later date at <http://www.lakecam.tv/>**
2. **Site Plan Review – 149 Bedford Street, continued** – Meet with Nyles Zager from Zenith Consulting Engineers, LLC (ZCE)
3. **Site Plan Review – 202 Main Street, continued** – Meet with River Hawk Environmental
4. **Old Business**
5. **New Business**
6. **Any other business that may properly come before the Planning Board.**
7. **Adjourn**

Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the Planning Board arise after the posting of this agenda, they may be addressed at this meeting.

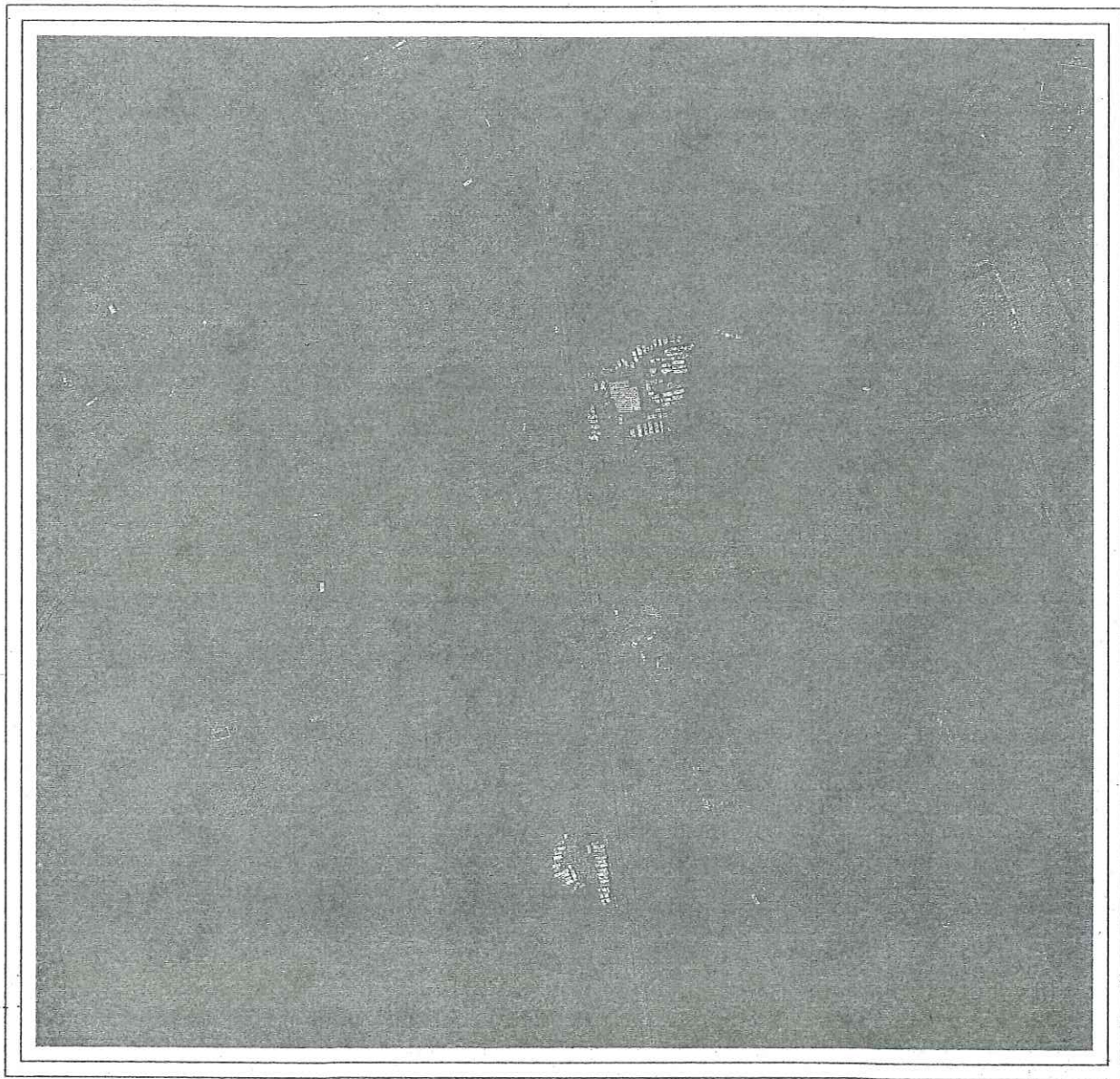
SITE NOTES:

- THE SITE IS SHOWN ON THE TOWN OF LAKEVILLE ASSESSORS MAP AS MAP 025 BLOCK 004 LOT 002.
- PROPERTY LINE INFORMATION WAS TAKEN FROM:
 - FOR TITLE REFERENCE TO THE SUBJECT PROPERTY REFER TO BOOK 46008, PAGE 42 IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.
 - PLAN REFERENCES: PLAN BOOK 12 PAGE 860
PLAN BOOK 30 PAGE 924
PLAN BOOK 44 PAGE 532
- SEE STATE HIGHWAY DRAINAGE EASEMENT AS SHOWN ON PLAN #620 OF 1971, RECORDED IN DEED BOOK 3689 PAGE 395.
- A PROPERTY LINE AND TOPOGRAPHY INFORMATION TAKEN FROM A FIELD SURVEY BY MADDIGAN LAND SURVEYING LLC, IN OCTOBER OF 2016 AND JULY OF 2020.
- THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AS SCALED FROM THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF PLYMOUTH COUNTY, MAP NUMBER 25023C0427K, EFFECTIVE DATE JULY 16, 2015.
- THE SUBJECT PROPERTY IS NOT LOCATED IN A ZONE II OR WPA (WELL HEAD PROTECTION AREA).
- THE SYSTEM IS NOT LOCATED WITHIN A ZONE A OF A SURFACE WATER SUPPLY.
- THE PROPERTY IS NOT LOCATED IN A PRIORITY HABITAT OR ESTIMATED HABITAT AS SHOWN ON THE MASSACHUSETTS NATURAL HERITAGE ATLAS 14TH EDITION EFFECTIVE DATE AUGUST 1, 2017.
- THE PROJECT IS NOT LOCATED WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC).
- THE SITE IS LOCATED IN AN OUTSTANDING RESOURCE WATER AREA (ORW).
- ALL UNDERGROUND UTILITIES ARE TO BE CONSIDERED APPROXIMATE. LOCATIONS WERE TAKEN FROM PLANS OF RECORD WITH THE MUNICIPALITY, DIG SAFE LOCATIONS OR FIELD EVIDENCE. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT DIG SAFE (1-888-DIG SAFE) AND ALL UTILITY COMPANIES TO CONFIRM LOCATIONS AND ELEVATIONS PRIOR TO THE START OF WORK.

CONSTRUCTION NOTES:

- A NPDES FILING MUST BE SUBMITTED FOR THIS PROJECT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY BENCHMARKS FOR CONSISTENCY PRIOR TO CONSTRUCTION AND SHALL NOTIFY ZENITH CONSULTING ENGINEERS, LLC, OF ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY WATER TABLE ELEVATIONS AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES FROM THE PLAN.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT DIG SAFE (1-888-DIG SAFE) PRIOR TO THE COMMENCEMENT OF WORK AND ALL UNDERGROUND UTILITY COMPANIES TO CONFIRM LOCATIONS AND ELEVATIONS.
- SITE IS TO BE SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER.
- ALL PAVEMENT MARKING AND SIGNAGE SHALL CONFORM TO MUTCD STANDARDS.
- PROPOSED UTILITIES AND CONSTRUCTION METHODS UNDER AREAS SUBJECT TO TRAFFIC LOADING SHALL BE INSTALLED TO WITHSTAND H-20 LOADING TRAFFIC STANDARDS. CONTRACTOR SHALL VERIFY THAT ALL STRUCTURES COMPLY TO THIS STANDARD.
- WHERE ALL CONCRETE STRUCTURES INTERCEPT THE SEASONAL HIGH GROUNDWATER TABLE, THE CONTRACTOR SHALL SEAL THE ENTIRE STRUCTURE WITH WATERPROOF SEALER.
- IF APPLICABLE, ANY RETAINING WALLS SHALL BE DESIGNED BY A MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.
- ALL WORK SHALL CONFORM TO THE CITY OF TAUNTON RULES AND REGULATIONS AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY AND BRIDGES, MOST CURRENT VERSION OF PLAN SET.

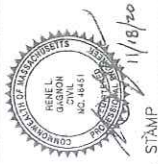
SITE PLAN FOR 149 BEDFORD STREET (ASSESSORS MAP 025 BLOCK 004 LOT 002) LAKEVILLE, MASSACHUSETTS



**LOCUS PLAN
SCALE: 1"=200'**

LAKEVILLE PLANNING BOARD

APPROVED: _____
 ENDORSED: _____

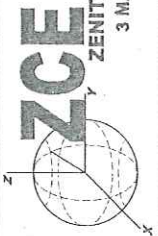


P.E. STAMP

OWNER
CEDAR BERRY HOLDING, LLC.
 44 CLEAR POND ROAD
 LAKEVILLE, MASSACHUSETTS

APPLICANT
EXPOSURE MARKETING GROUP LLC
 139 STAPLES SHORE ROAD
 LAKEVILLE, MASSACHUSETTS

ZCE
ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208



SCHEDULE OF DRAWINGS

DRAWING NUMBER	PLAN TITLE	LATEST PLAN DATE
C1	COVER SHEET	11/18/2020
E1	EXISTING CONDITIONS PLAN	11/18/2020
L1	SITE LAYOUT PLAN	11/18/2020
G1	GRADING AND DRAINAGE PLAN	11/18/2020
V1	LANDSCAPING PLAN	11/18/2020
EC1	EROSION CONTROL PLAN 1	11/18/2020
D1	DETAIL SHEET 1	11/18/2020
D2	DETAIL SHEET 2	11/18/2020

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
98	CONTOURS	72
x69.4	SPOT GRADE	+98.5
c	BOUND	
TP 7	TEST PIT	
---	DRAIN LINE	
⊙	DRAIN MANHOLE	⊙
⊗	CATCH BASIN	⊗
---	RETAINING WALL	
OHW --- OHW	OVERHEAD WIRES	
⊕	LIGHT POLE	⊕
---	STONEWALL	
S	SEWER MAIN	S S
FSM	SEWER FORCE MAIN	FSM FSM
+	SIGN	
---	CHAIN LINK FENCE	
---	HYDRANT	---
---	GAS LINE	---

DATE	REV. DATE	DESCRIPTION	BY	APP.
10/02/2020	11/11/20	ADD EMERGENCY EXIT	RLG	JLB
PROJECT NUMBER: 0234-01-01	2. 11/18/20	REVISIONS PER REVIEW COMMENTS	RLG	JLB
DRAWING SCALE: VARIES				
DRAWING SCALE: VARIES				
SHEET ID: C				

SURVEY COMPANY OF RECORD:

MADDIGAN
 LAND SURVEYING,
 LLC.

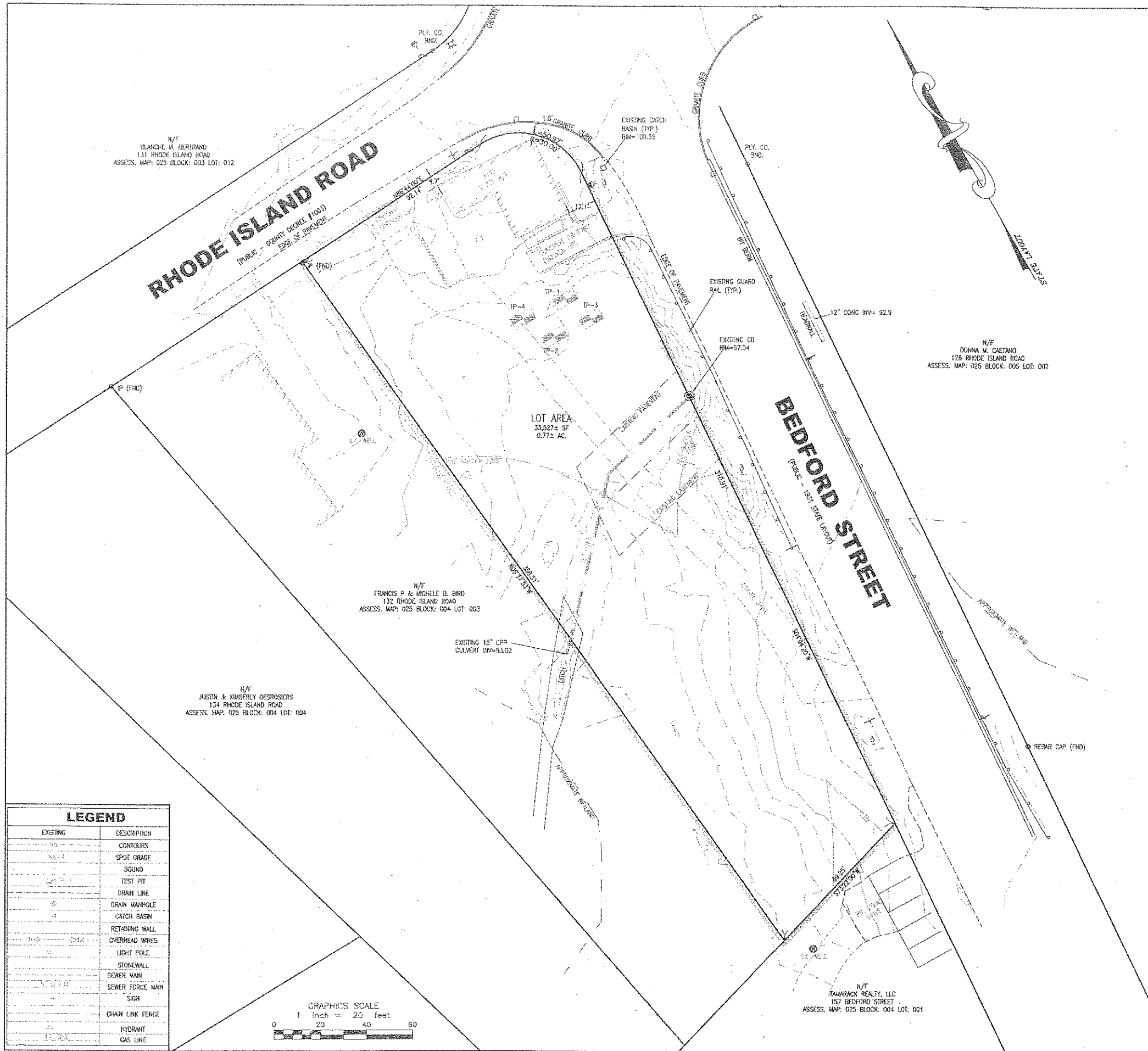
88 EAST GROVE STREET
 MIDDLEBORO, MA 02346
 T: 774-213-5196
 DMADDIGAN@COMCAST.NET

REVISED

OCTOBER 2, 2020

SHEET NAME: COVER SHEET
 PROJECT SITE: 149 BEDFORD STREET LAKEVILLE, MASSACHUSETTS
 CLIENT INFO: EXPOSURE MARKETING GROUP LLC 139 STAPLES SHORE ROAD LAKEVILLE, MASSACHUSETTS

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N/F
BLANCHE M. BERRAND
131 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 003 LOT: 012

N/F
DONNA V. CAETANO
126 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 006 LOT: 002

N/F
FRANCIS P & MICHELE B. BIRD
132 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 004 LOT: 003

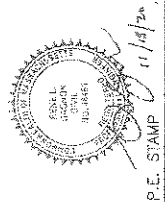
N/F
JUSTIN & KIMBERLY DESROSIERS
134 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 004 LOT: 004

N/F
TAMARACK REALTY, LLC
157 BEDFORD STREET
ASSESS. MAP: 025 BLOCK: 004 LOT: 001

LAKEVILLE PLANNING BOARD

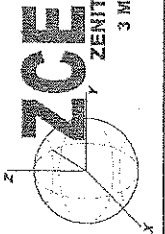
APPROVED: _____

ENDORSED: _____



ZCF ZENTH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

- SITE INFORMATION:**
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EXISTING	DESCRIPTION
---	CONTOURS
---	SPOT GRADE
---	BOUND
---	TEST PIT
---	DRAIN LINE
---	DRAIN MANHOLE
---	CATCH BASIN
---	RETAINING WALL
---	OVERHEAD WIRES
---	LIGHT POLE
---	STONEWALL
---	SEWER MAIN
---	SEWER FORCE MAIN
---	SIGN
---	CHAIN LINK FENCE
---	HYDRANT
---	GAS LINE



SURVEY COMPANY OF RECORD:

MADDIGAN
LAND SURVEYING,
LLC.

88 EAST GROVE STREET
MIDDLEBORO, MA 02345
T: 774-213-5198
DMADDIGAN@COMCAST.NET



PROFESSIONAL LAND SURVEYOR, PLS

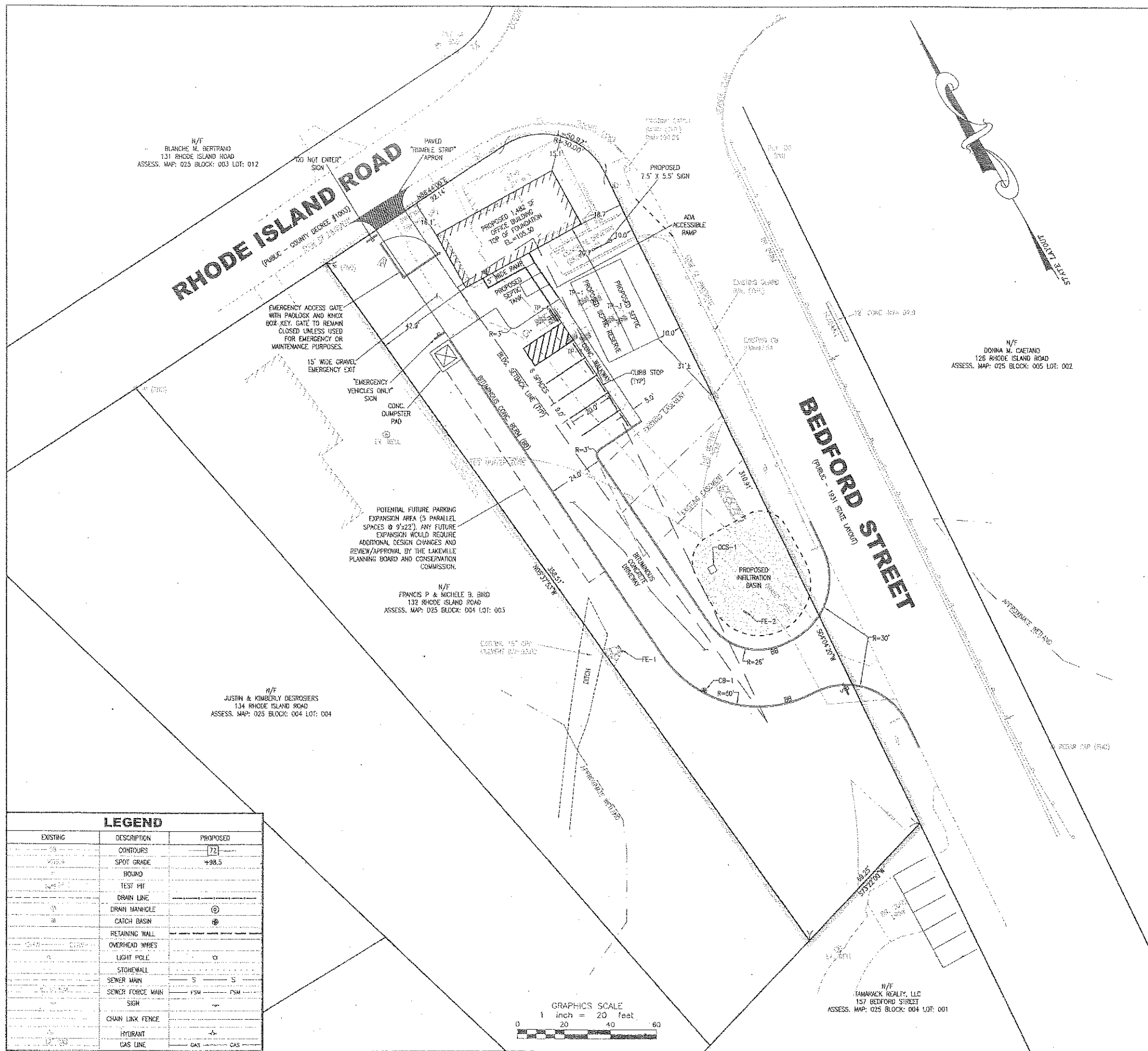
DATE: 11-18-2020

EXISTING CONDITIONS PLAN

PROJECT SITE: 149 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS

CLIENT INFO: EXPOSURE MARKETING GROUP LLC
139 STAPLES SHORE ROAD
LAKEVILLE, MASSACHUSETTS

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N/F
BLANCHE M. BERTRAND
131 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 003 LOT: 012

N/F
FRANCIS P. & MICHELE B. BRID
132 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 004 LOT: 003

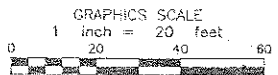
N/F
JUSTIN & KIMBERLY DESROSIERS
134 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 004 LOT: 004

N/F
DONNA M. CAETANO
126 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 005 LOT: 002

N/F
TAMARACK REALTY, LLC
157 BEDFORD STREET
ASSESS. MAP: 025 BLOCK: 004 LOT: 001

LEGEND

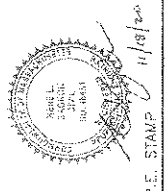
EXISTING	DESCRIPTION	PROPOSED
---	CONTOURS	72
---	SPOT GRADE	+88.5
---	BOUND	
---	TEST PIT	
---	DRAIN LINE	
---	DRAIN MANHOLE	⊙
---	CATCH BASIN	⊕
---	RETAINING WALL	
---	OVERHEAD WIRES	
---	LIGHT POLE	⊙
---	STONEWALL	
---	SEWER MAIN	S
---	SEWER FORCE MAIN	FSM
---	SEWER FORCE MAIN SIGN	
---	CHAIN LINK FENCE	
---	HYDRANT	⊙
---	GAS LINE	CAS



LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



ZCF
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

ZONING DISTRICT: BUSINESS

	REQUIRED	PROVIDED
LOT AREA	70,000 SF	33,527 SF
LOT FRONTAGE	175 FT.	454 FT.
FRONT YARD SETBACK	40 FT.	15.1 FT. (1.6' EXISTING)
SIDE YARD SETBACK	40 FT.	40+ FT.
REAR YARD SETBACK	40 FT.	40+ FT.
MAXIMUM HEIGHT	35 FT.	<35 FT.
MAXIMUM IMPERVIOUS AREA	50%	33.0%

IMPERVIOUS COVER
(PER LAKEVILLE ZONING SECTION 5.2.2.1.)

TOTAL LOT AREA	33,527 SF
WETLAND AREA	0 SF
PROPOSED DRAINAGE BASIN & BEHM	4,831 SF
ADJUSTED AREA FOR IMPERVIOUS CALCULATION:	28,696 SF
PROPOSED ROOF AND PAVEMENT AREA	9,468 SF
IMPERVIOUS AREA = 9,468 SF	
ADJUSTED AREA = 28,696 SF	33.0%

PARKING SUMMARY
OFFICE:
ZONING REGULATION 6.5.3.3 - 1 SPACE / 300 SF
MINIMUM REQUIRED: 1,492 SF / 300 SF = 5 SPACES

TOTAL SPACES REQUIRED: 5 SPACES
PROVIDED: 6 SPACES

HANDICAPPED PARKING
ADA STANDARDS FOR ACCESSIBLE DESIGN 28 CFR PART 36
MINIMUM REQUIRED: 1 FOR PARKING LOT BETWEEN 1 AND 25 SPACES
PROVIDED: 1 HC SPACE (VAN ACCESSIBLE)

SITE LAYOUT NOTES:

1. ALL PAVEMENT MARKING AND SIGNAGE SHALL CONFORM TO MUTCD STANDARDS.

SIGN LEGEND

	PROPOSED
STOP	⊕
ONE WAY	→
HANDICAP	♿
RIGHT TURN ONLY	↘
LEFT TURN ONLY	↙
DO NOT ENTER	⊘
DO NOT BLOCK INTERSECTION	⊕
DELIVERY VEHICLES ONLY	⊕

SURVEY COMPANY OF RECORD:

MADDIGAN
LAND SURVEYING,
LLC.

88 EAST GROVE STREET
MIDDLEBORO, MA 02346
T: 774-213-5186
DMADDIGAN@COMCAST.NET



PROFESSIONAL LAND SURVEYOR, PLS
DATE: 11-18-2020

DATE	REV.	DESCRIPTION	BY	APP.
10/02/2020	1	17/11/20 ADD EMERGENCY EXIT	RLG	JLB
11/17/20	2	17/18/20 REVISIONS PER REVIEW COMMENTS	RLG	JLB

DATE	DATE	DATE	DATE
10/02/2020	10/02/2020	10/02/2020	10/02/2020

DATE	DATE	DATE	DATE
10/02/2020	10/02/2020	10/02/2020	10/02/2020

SITE LAYOUT PLAN
149 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS
EXPOSURE MARKETING GROUP LLC
139 STAPLES SHORE ROAD
LAKEVILLE, MASSACHUSETTS

WATER NOTES:

- BACKFLOW PROTECTION IS REQUIRED ON ALL WATER LINES.
- A FIRE FLOW TEST IS REQUIRED PRIOR TO THE INSTALLATION OF ANY FIRE SUPPRESSION LINES.
- RADIO WATER METERS, SUPPLIED BY THE THOMPSON WATER DIVISION, SHALL BE INSTALLED ON ALL DOMESTIC WATER LINES.

N/F
BLANCHE M. BERTRAND
131 BRIDGE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 003 LOT: 012

N/F
FRANCIS P. & MICHELE B. BIRD
132 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 004 LOT: 003

N/F
JUSTIN & KIMBERLY DESROSIERS
134 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 004 LOT: 004

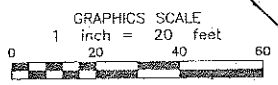
N/F
DONNA M. CAETANO
126 RHODE ISLAND ROAD
ASSESS. MAP: 025 BLOCK: 005 LOT: 002

N/F
FAMAPACK REALTY, LLC
157 BEDFORD STREET
ASSESS. MAP: 025 BLOCK: 004 LOT: 001

RHODE ISLAND ROAD
(Public - COUNTY DECREE #1003)
CROSSING

BEDFORD STREET
(Public - 191 STATE LAWS)

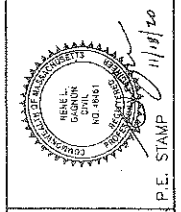
LEGEND		
EXISTING	DESCRIPTION	PROPOSED
98	CONTOURS	72
x69.4	SPOT GRADE	+98.5
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PP 7	TEST PIT	
—	DRAIN LINE	
⊙	DRAIN MANHOLE	⊙
#	CATCH BASIN	⊙
—	RETAINING WALL	
OHW	OVERHEAD WIRES	
12	LIGHT POLE	☆
—	STONEWALL	
S	SEWER MAIN	S
FSM	SEWER FORCE MAIN	FSM
—	SIGN	
—	CHAIN LINK FENCE	
12" GAS	HYDRANT	—
—	GAS LINE	GAS



LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



ZCF
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

GENERAL NOTES:

- ALL ELEVATIONS REFER TO AN NAVD-88 DATUM. CONTRACTOR TO VERIFY BENCHMARKS FOR CONSISTENCY PRIOR TO CONSTRUCTION.
- EXISTING UTILITIES LOCATIONS WERE TAKEN FROM AS-BUILT PLANS, DIG SAFE MARKINGS OR LOCATED IN THE FIELD. THEY ARE TO BE CONSIDERED APPROXIMATE AND MUST BE CONFIRMED BY THE SITE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT DIG SAFE (1-888-DIG SAFE) PRIOR TO THE COMMENCEMENT OF WORK AND ALL UNDERGROUND UTILITY COMPANIES TO CONFIRM LOCATIONS AND ELEVATIONS.
- ALL BONDS, CAPS AND TEES ON WATER PIPES SHALL BE INSTALLED WITH THRUST BLOCKS AND MEGA-LUG RESTRAINTS.
- THE SITE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE PROPOSED WATER MAINS AND SERVICE LINES HAVE PROPER FROST PROTECTION AT TIME OF INSTALLATION.
- SITE IS TO BE SERVICED BY MUNICIPAL WATER, AN ON-SITE SANITARY DISPOSAL SYSTEM, AND UNDERGROUND ELECTRIC/CABLE.
- ALL DRAINAGE PIPE IS TO BE ADS H-12 STYLE PIPE OR APPROVED EQUAL.
- ELECTRIC, TELEPHONE AND CABLE LINE LOCATIONS TO BE DESIGNED BY MIDDLEBOROUGH GAS AND ELECTRIC OR OTHERS.
- PROPOSED UTILITIES AND CONSTRUCTION METHODS UNDER AREAS SUBJECT TO TRAFFIC LOADING SHALL BE INSTALLED TO WITHSTAND H-20 LOADING TRAFFIC STANDARDS. CONTRACTOR SHALL VERIFY THAT ALL STRUCTURES COMPLY TO THIS STANDARD.
- WHERE ALL CONCRETE STRUCTURES INTERCEPT THE SEASONAL HIGH GROUNDWATER TABLE, THE CONTRACTOR SHALL SEAL THE ENTIRE STRUCTURE WITH WATERPROOF SEALER.
- CONTRACTOR SHALL VERIFY WATER TABLE ELEVATIONS AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES FROM THE PLAN.
- IF APPLICABLE, ANY RETAINING WALLS SHALL BE DESIGNED BY A MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.
- ANY SOILS EXCAVATED FROM THE ROADWAY AREA TO BE REPLACED WITH GRAVEL BORROW MEETING THE SPECIFICATION OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION.
- ALL WATER AND SEWER LINE CROSSINGS SHALL CONFORM WITH 310 CAR 15.00 (TITLE 5).

DATE	DESCRIPTION	BY	APP.
10/02/2020	ADD EMERGENCY EXIT	JLB	JLB
11/11/20	REVISIONS PER REVIEW COMMENTS	JLB	JLB
11/19/20	REVISIONS PER REVIEW COMMENTS	JLB	JLB

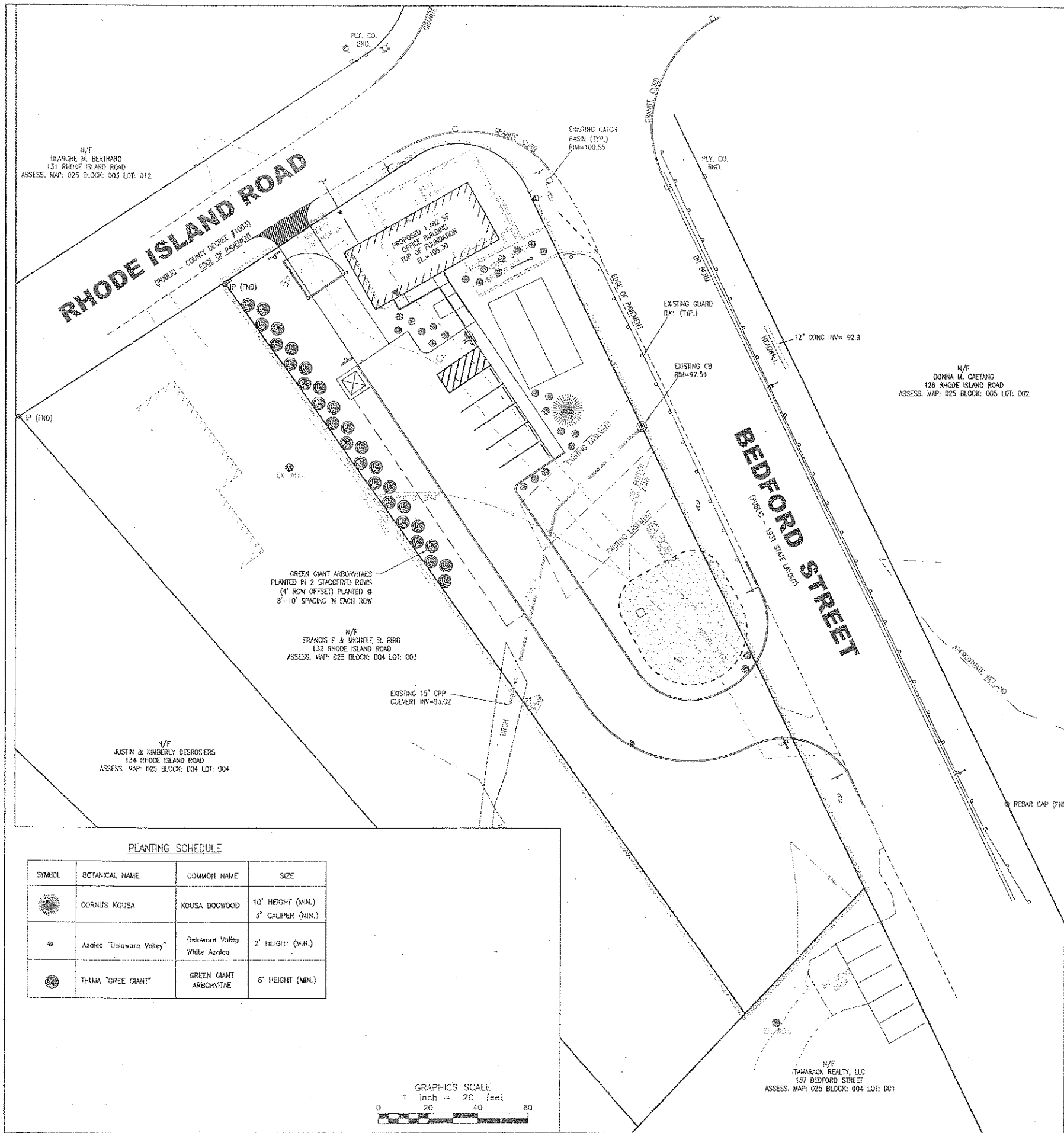
GRADING AND DRAINAGE PLAN

149 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS

EXPOSURE MARKETING GROUP LLC
139 STAPLES SHORE ROAD
LAKEVILLE, MASSACHUSETTS

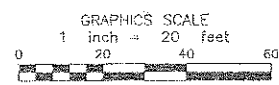
PROJECT SITE:
CLIENT INFO:

S:\Civil Engineering Projects\Lakeville\Bedford Street\149 Bedford Street\Site Plan Base.dwg



PLANTING SCHEDULE

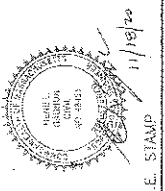
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	CORNUS KOUSA	KOUSA DOGWOOD	10" HEIGHT (MIN.) 3" CALIPER (MIN.)
	Azalea "Delaware Valley"	Delaware Valley White Azalea	2' HEIGHT (MIN.)
	THUJA "GREE GIANT"	GREEN GIANT ARBORVITAE	6' HEIGHT (MIN.)



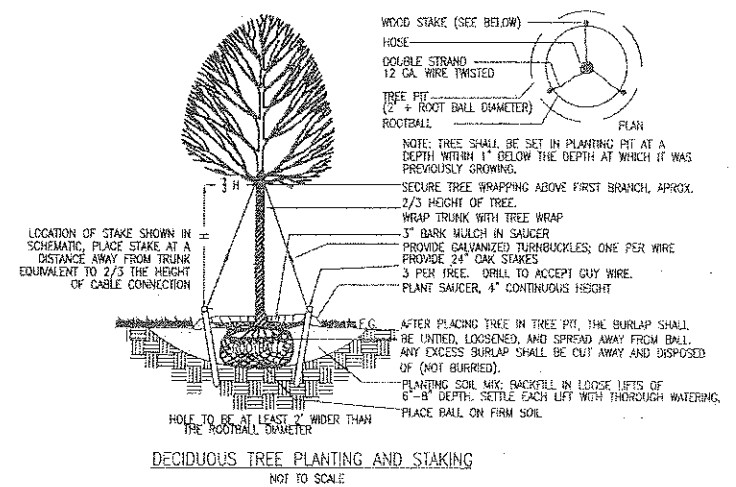
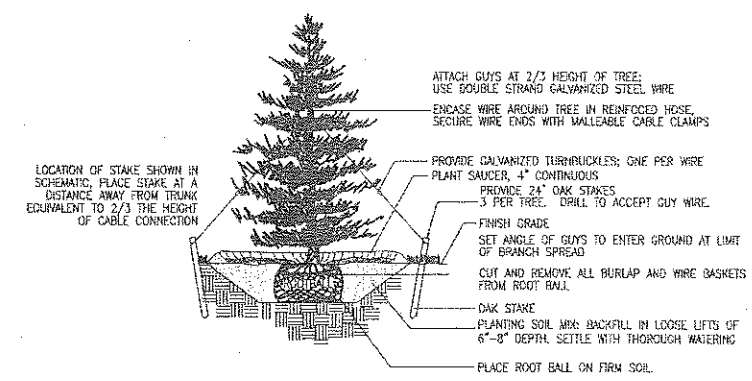
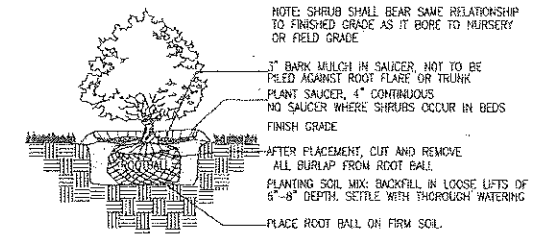
LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



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PHONE: (508) 947-4208



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DATE	10/02/2020
PROJECT NUMBER	0234-01-01
DRAWING SCALE	1"=20'
SHEET ID	Y

DRAWN BY	JLB/DAE
DESIGNED BY	JLB/DAE
CHECKED BY	JLB
APPROVED BY	JLB

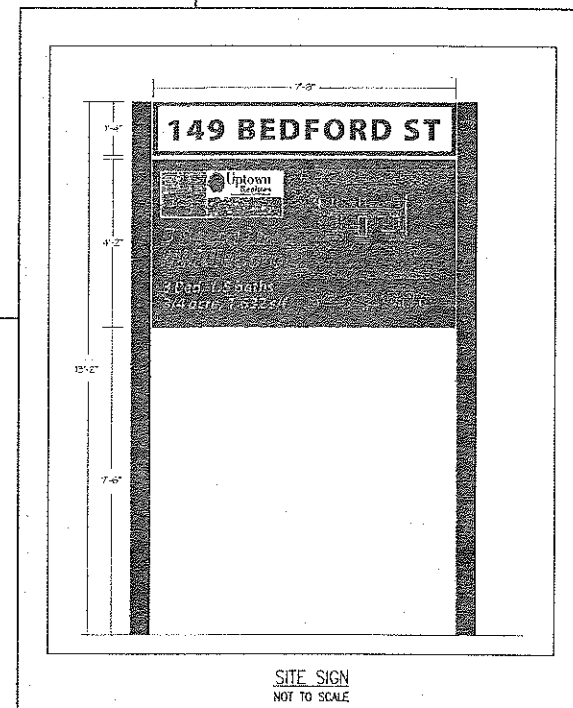
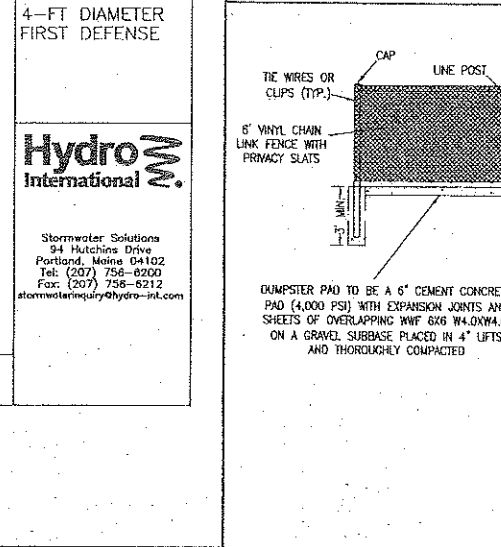
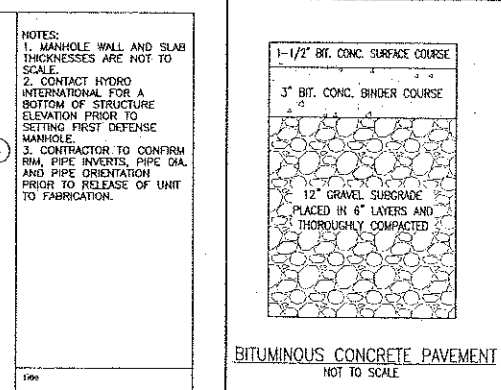
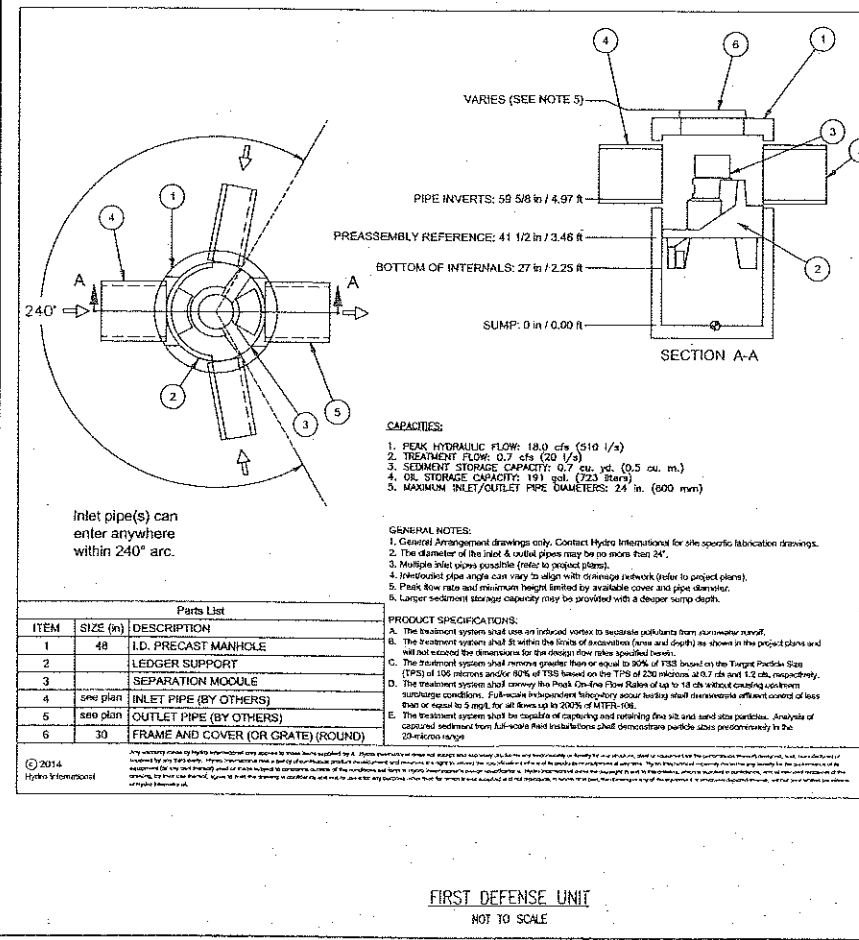
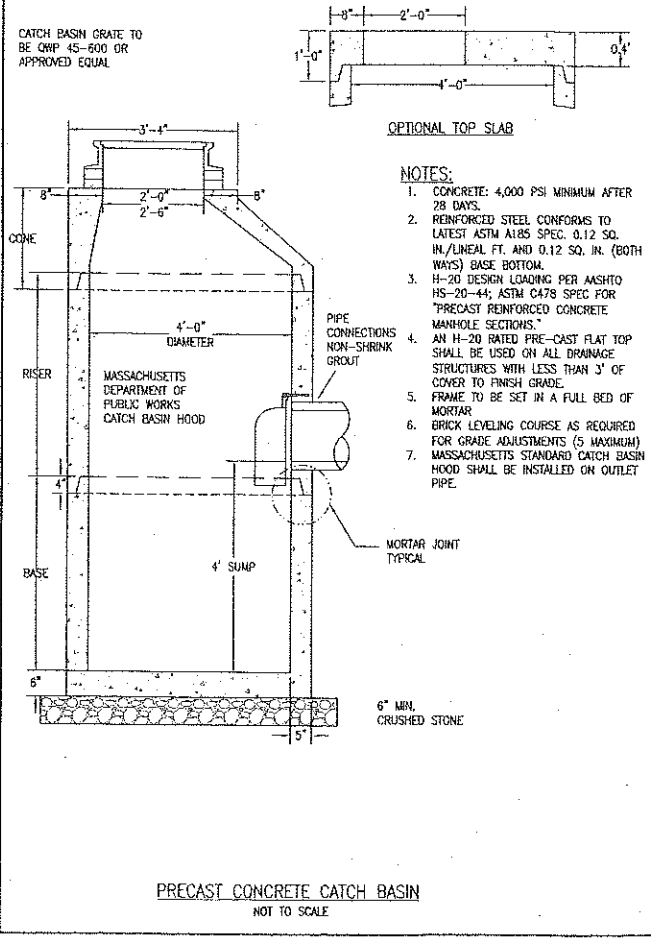
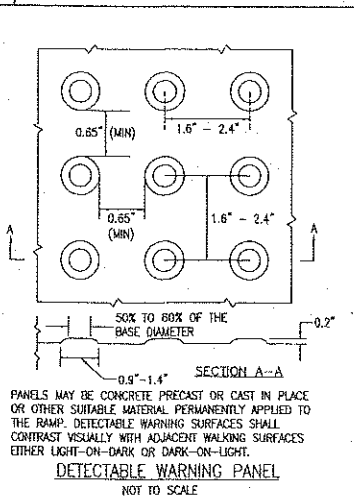
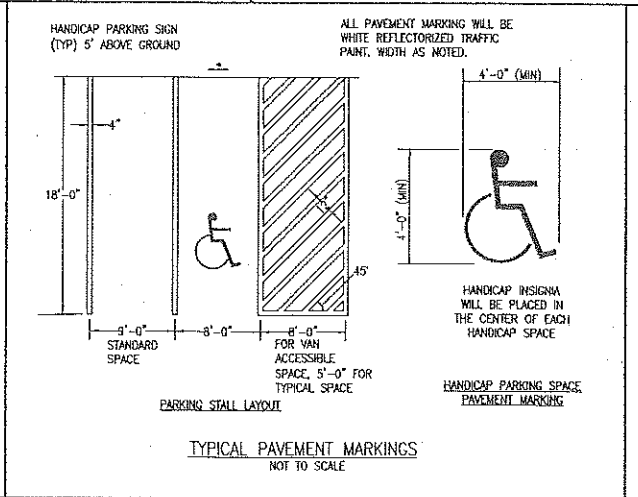
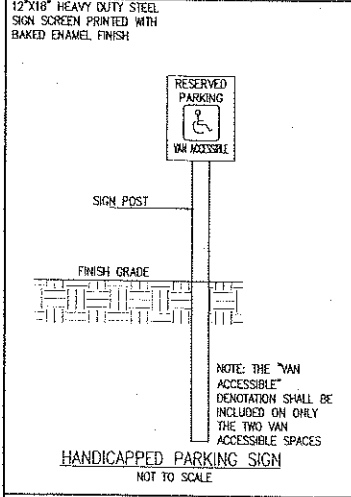
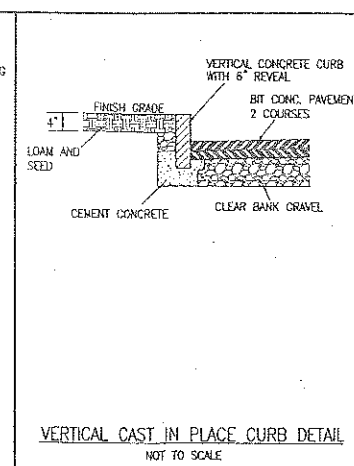
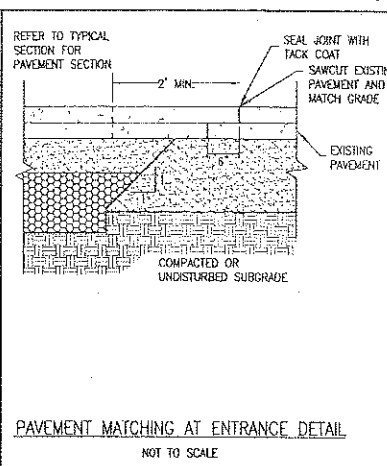
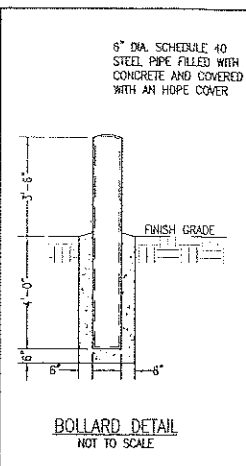
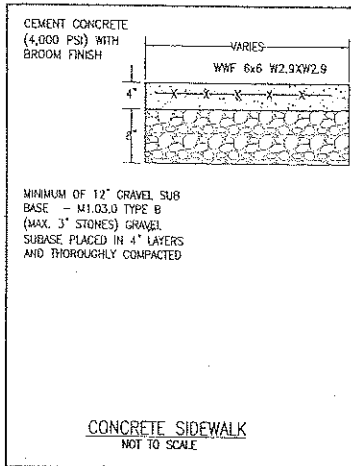
LANDSCAPING PLAN

149 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS

EXPOSURE MARKETING GROUP LLC
139 STAPLES SHORE ROAD
LAKEVILLE, MASSACHUSETTS

SHEET NAME:

S:\City Engineering Projects\Lakeville\Bedford Street\149 Bedford Street\0405\Site Plan Base.dwg



LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____

11/18/12

P.E. STAMP

ZCE ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

REV.	DATE	DESCRIPTION	BY	APP.
1	10/02/2020	EMERGENCY EXIT	JLB/RWF	JLB
2	11/11/2020	ADDITIONAL REVISIONS PER REVIEW COMMENTS	JLB/RWF	JLB
3	11/18/2020	REVISIONS PER REVIEW COMMENTS	JLB/RWF	JLB

PROJECT NUMBER: 0234-01-01

DRAWING SCALE: AS NOTED

SHEET ID: D1

DETAIL SHEET 1

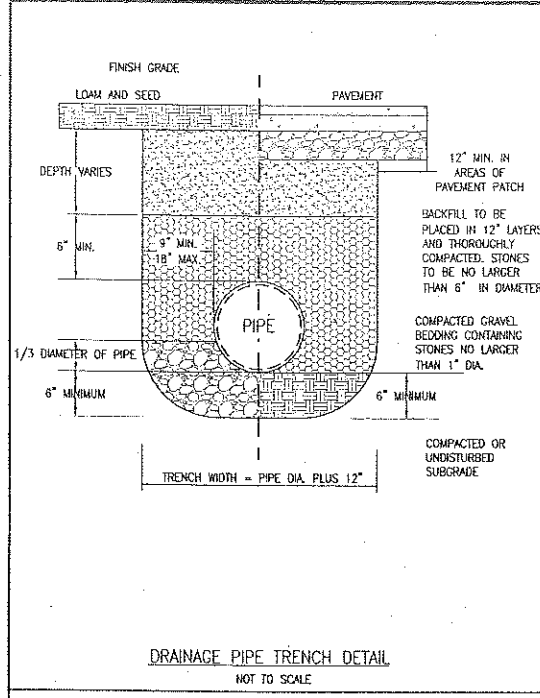
149 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS
EXPOSURE MARKETING GROUP LLC
149 STAPLES SHORE ROAD
LAKEVILLE, MASSACHUSETTS

PROJECT SITE:

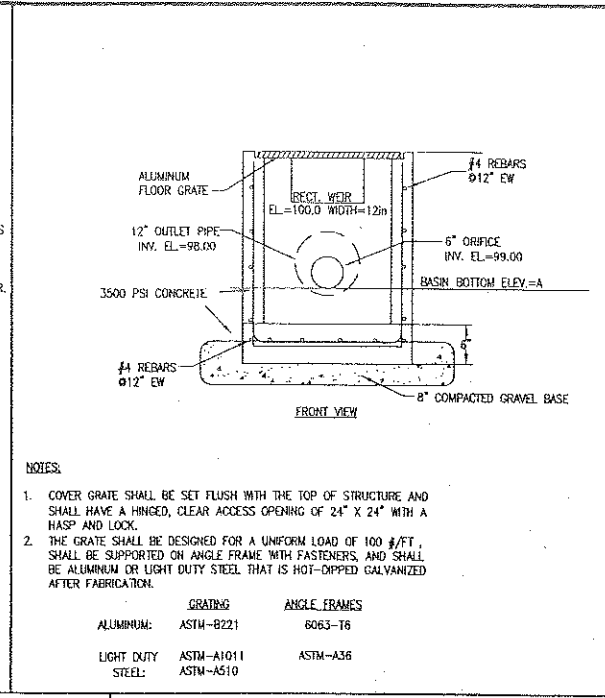
CLIENT:

© 2014 Hydro International

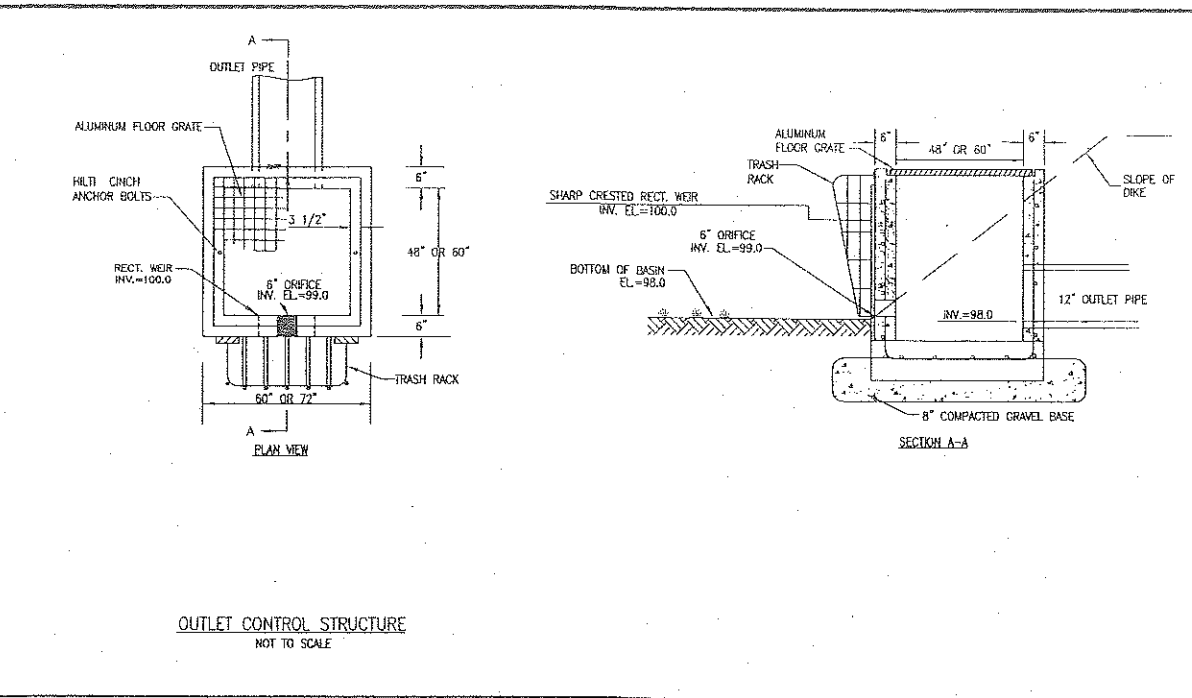
Hydro International



DRAINAGE PIPE TRENCH DETAIL
NOT TO SCALE



OUTLET CONTROL STRUCTURE
NOT TO SCALE



LAKEVILLE PLANNING BOARD

APPROVED: _____

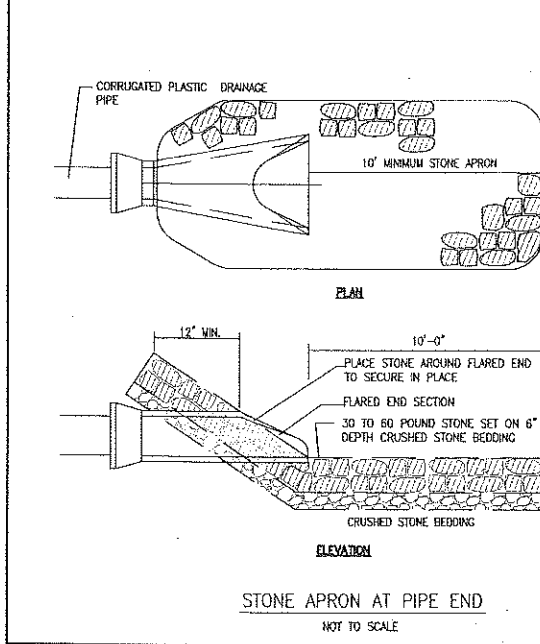
ENDORSED: _____

11/19/20

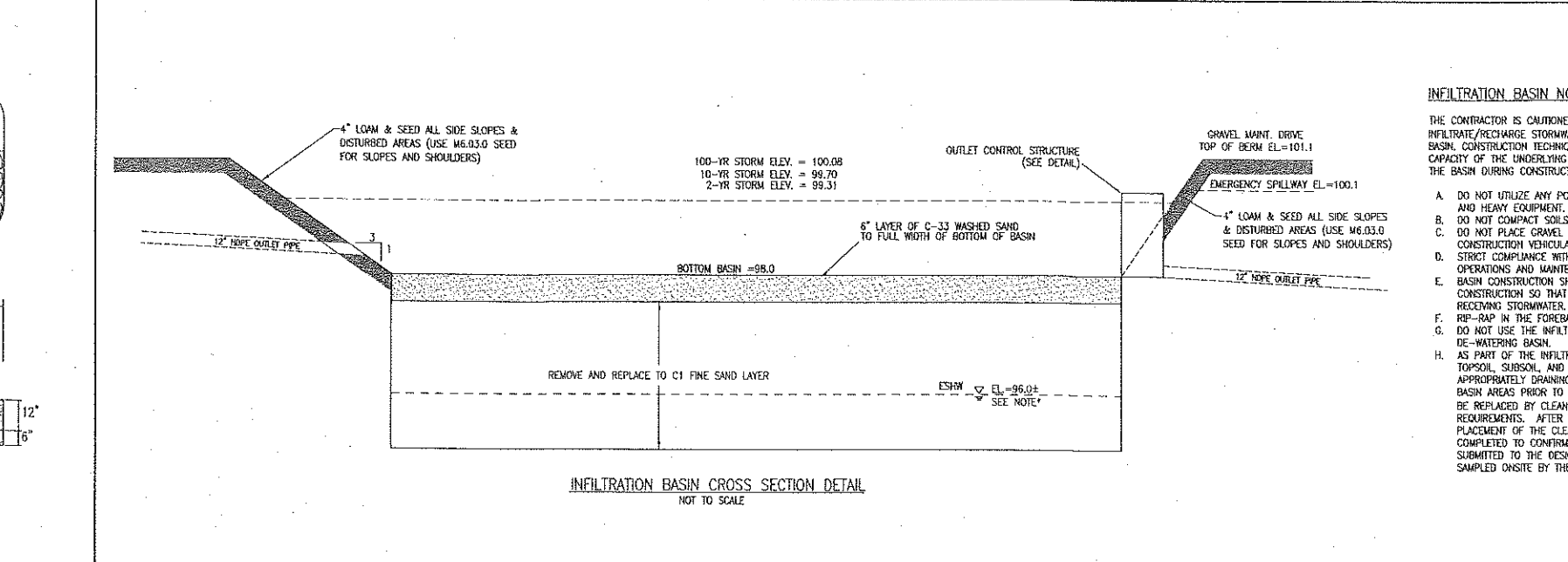
P.E. STAMP

ZCF ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

- NOTES:
- COVER GRATE SHALL BE SET FLUSH WITH THE TOP OF STRUCTURE AND SHALL HAVE A HINGED, CLEAR ACCESS OPENING OF 24" X 24" WITH A HASP AND LOCK.
 - THE GRATE SHALL BE DESIGNED FOR A UNIFORM LOAD OF 100 #/FT. SHALL BE SUPPORTED ON ANGLE FRAME WITH FASTENERS, AND SHALL BE ALUMINUM OR LIGHT DUTY STEEL THAT IS HOT-DIPPED GALVANIZED AFTER FABRICATION.
- | | GRADING | ANGLE FRAMES |
|-------------------|-------------------------|--------------|
| ALUMINUM: | ASTM-B221 | 6063-T6 |
| LIGHT DUTY STEEL: | ASTM-A1011
ASTM-A510 | ASTM-A36 |

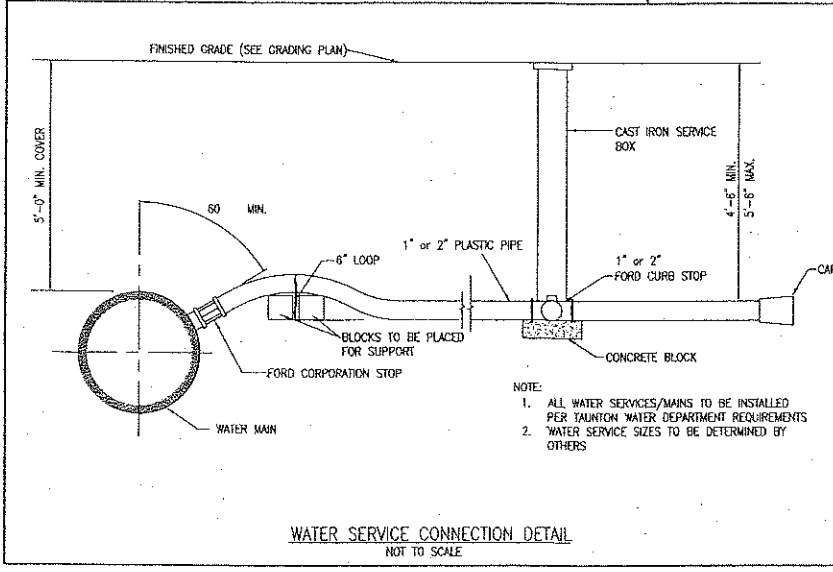


STONE APRON AT PIPE END
NOT TO SCALE

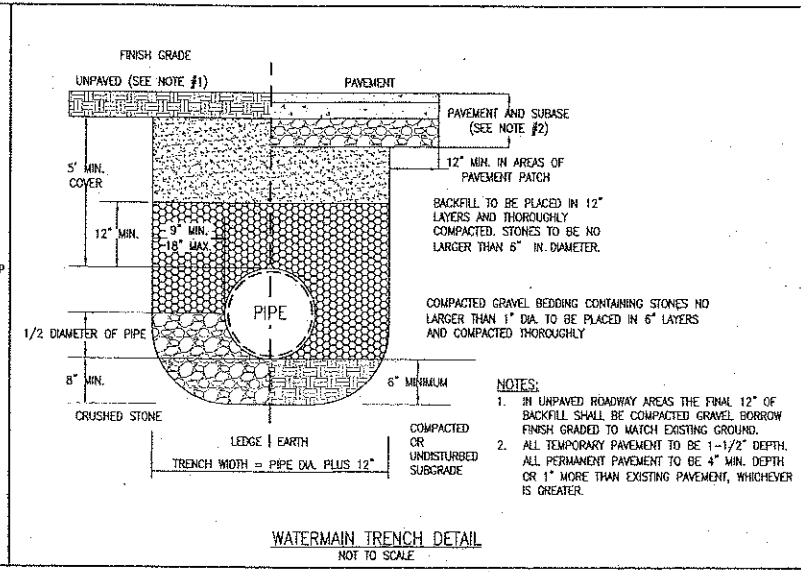


INFILTRATION BASIN CROSS SECTION DETAIL
NOT TO SCALE

- INFILTRATION BASIN NOTES:
- THE CONTRACTOR IS CAUTIONED THAT THE DETENTION BASIN IS DESIGNED TO INFILTRATE/RECHARGE STORMWATER PRIMARILY THROUGH THE BOTTOM AND SIDES OF THE BASIN. CONSTRUCTION TECHNIQUES THAT WOULD POTENTIALLY DIMINISH THE FILTRATION CAPACITY OF THE UNDERLYING SOILS ARE TO BE AVOIDED. COMPACTION AND SILTATION OF THE BASIN DURING CONSTRUCTION IS PROHIBITED.
- DO NOT UTILIZE ANY PORTION OF THE BASIN FLOOR AS A HAUL ROAD FOR MATERIAL AND HEAVY EQUIPMENT.
 - DO NOT COMPACT SOILS IN THE BASIN FLOOR.
 - DO NOT PLACE GRAVEL OR OTHER MATERIALS TO STABILIZE THE BASIN FLOOR FOR CONSTRUCTION VEHICULAR TRAVEL ACCESS.
 - STRICT COMPLIANCE WITH THE EROSION CONTROL PLAN AND THE STORMWATER OPERATIONS AND MAINTENANCE PLAN IS NECESSARY.
 - BASIN CONSTRUCTION SHALL OCCUR AT THE EARLY STAGES OF THE PROJECT CONSTRUCTION SO THAT THEY ARE FULLY VEGETATED AND STABILIZED PRIOR TO RECEIVING STORMWATER.
 - PIP-RAP IN THE FOREBAYS TO BE PLACED, NOT DUMPED. DO NOT COMPACT.
 - DO NOT USE THE INFILTRATION BASIN AS A TEMPORARY SEDIMENT BASIN OR DE-WATERING BASIN.
 - AS PART OF THE INFILTRATION BASIN CONSTRUCTION, THE CONTRACTOR SHALL REMOVE TOPSOIL, SUBSOIL, AND OTHER UNSUITABLE SOIL THAT MAY BE ENCOUNTERED DOWN TO APPROPRIATELY DRAINING SOILS. TEST PITS SHALL BE DUG WITHIN THE INFILTRATION BASIN AREAS PRIOR TO EARTH REMOVAL OPERATIONS. THE REMOVED MATERIAL SHALL BE REPLACED BY CLEAN SAND WHICH MEETS TITLE V (310 CMR 15.255) REQUIREMENTS. AFTER THE REMOVAL OF UNSUITABLE MATERIAL AND PRIOR TO THE PLACEMENT OF THE CLEAN SAND, AN INSPECTION BY THE DESIGN ENGINEER SHALL BE COMPLETED TO CONFIRM CONDITIONS. SIEVE ANALYSIS OF THE CLEAN SAND SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO PLACEMENT AND SAMPLED ONSITE BY THE DESIGN ENGINEER.



WATER SERVICE CONNECTION DETAIL
NOT TO SCALE



WATERMAIN TRENCH DETAIL
NOT TO SCALE

SOIL LOGS:

DATE: 5-28-15
PERFORMED BY: DARREN MICHAELS
WITNESSED BY: LAWRENCE PERRY, LAKEVILLE BOH

DEPTH (INCHES)	TP 1	TP 2	TP 3	TP 4
0	A SANDY LOAM 10YR 3/3	A SANDY LOAM 10YR 3/3	A SANDY LOAM 10YR 3/3	A SANDY LOAM 10YR 3/3
12	B SANDY LOAM 10YR 5/6	B SANDY LOAM 10YR 5/6	B SANDY LOAM 10YR 5/6	B SANDY LOAM 10YR 5/6
32	C1 MEDIUM SAND 2.5Y 6/3	C1 FINE SAND 2.5Y 6/3	C1 FINE SAND 2.5Y 6/3	C1 FINE SAND 2.5Y 6/3
84	C2 V.F. SAND 2.5Y 6/1	C2 SILT LOAM 2.5Y 6/1	C1 SILT LOAM 2.5Y 6/1	C1 SILT LOAM 2.5Y 6/1
120				

NOTING @ 36" WEPPING @ 48" STANDING @ 72" ESHW EL. = 94.7 PERC DEPTH: 32'-50" PERC RATE: 4 MPI

NOTING @ 36" WEPPING @ 48" STANDING @ 84" ESHW EL. = 95.2 PERC DEPTH: 24'-42" PERC RATE: 11 MPI

NOTING @ 36" WEPPING @ 54" STANDING @ 84" ESHW EL. = 94.5 PERC DEPTH: NONE PERC RATE: NONE

NOTING @ 36" WEPPING @ 42" STANDING @ 84" ESHW EL. = 95.4 PERC DEPTH: NONE PERC RATE: NONE

- NOTES:
- UNLESS OTHERWISE NOTED, ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS AND THE MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
 - WATER SUPPLY LINES SHALL HAVE A MINIMUM OF 5 FEET OF COVER AND SHALL CONFORM TO THE CITY OF TAUNTON DEPARTMENT OF PUBLIC WORKS RULES AND REGULATIONS.
 - THE BRAND, TYPE AND SPECIFICATIONS OF ALL WATER GATES, FITTINGS, PIPE MATERIALS AND WATER SYSTEM COMPONENTS SHALL BE APPROVED BY THE TAUNTON WATER DEPARTMENT AND THE TAUNTON FIRE CHIEF PRIOR TO INSTALLATION.
 - THE BRAND, TYPE AND SPECIFICATIONS OF ALL SEWER FITTINGS, PIPE MATERIALS, AND SEWER SYSTEM COMPONENTS SHALL BE APPROVED BY THE TAUNTON SEWER DEPARTMENT PRIOR TO INSTALLATION.
 - UNLESS OTHERWISE NOTED, ALL DRAINAGE PIPE IS TO BE ADS N-12 STYLE PIPE.

DATE: 10/02/2020

REV. DATE DESCRIPTION

REV.	DATE	DESCRIPTION	BY	APP.
1	11/11/20	ADD EMERGENCY EXIT	RLG	JLB
2	11/19/20	REVISIONS PER REVIEW COMMENTS	RLG	JLB

PROJECT NUMBER: 0234-01-01

DRAWING SCALE: AS NOTED

PROJECT NAME: 149 BEDFORD STREET LAKEVILLE, MASSACHUSETTS

CLIENT INFO: EXPOSURE MARKETING GROUP LLC 139 STAPLES SHORE ROAD LAKEVILLE, MASSACHUSETTS

DESIGNED BY: JLB/DMF
CHECKED BY: JLB
APPROVED BY: JLB

DETAIL SHEET 2

149 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS
EXPOSURE MARKETING GROUP LLC
139 STAPLES SHORE ROAD
LAKEVILLE, MASSACHUSETTS

S:\Civil Engineering Projects\Lakeville\Bedford Street\149 Bedford Street\DWG\Site Plan Base.dwg