

TOWN OF LAKEVILLE MEETING POSTING & AGENDA

Town Clerk's Time Stamp
received & posted:

LAKEVILLE TOWN CLERK
RCUD 2022 NOV 23 PM3:34

48-hr notice effective
when time stamped

Notice of every meeting of a local public body must be filed and time-stamped with the Town Clerk's Office at least 48 hours prior to such meeting (excluding Saturdays, Sundays and legal holidays) and posted thereafter in accordance with the provisions of the Open Meeting Law, MGL 30A §18-22 (Ch. 28-2009). Such notice shall contain a listing of topics the Chair reasonably anticipates will be discussed at the meeting.

Name of Board or Committee:	Planning Board
Date & Time of Meeting:	Thursday, December 8, 2022 at 7:00 p.m.
Location of Meeting:	Lakeville Public Library 4 Precinct Street, Lakeville, MA 02347
Clerk/Board Member posting notice:	Cathy Murray

Cancelled/Postponed to: _____ (circle one)

Clerk/Board Member Cancelling/Postponing: _____

A G E N D A

1. **Preliminary plan - 43 Main Street** – Lakeville Owner LLC – applicant
2. **Public Hearing (7:00) 44 Clear Pond Road** – upon the application for Approval of a Definitive Plan submitted by Derek & Madelyn Maksy and Webster Realty Trust for a two (2) lot subdivision.
3. **Public Hearing (7:00) Site Plan Review – 156 Rhode Island Road, continued** - T. Sikorski Realty, LLC -applicant
4. **Public Hearing (7:00) Site Plan Review – 348 Bedford Street Road** – Red Hand Brewing Company, Inc. -applicant
5. **Public Hearing (7:00) Site Plan Review – 415 Millennium Circle Road** - D F C of Lakeville 415 LLC - applicant
6. Approve the October 13, 2022, and October 27, 2022, Meeting Minutes
7. Review correspondence
8. Review draft meeting dates for 2023
9. Next meeting date is to be determined.
10. Any other business that may properly come before the Planning Board.
11. Adjourn

Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the **Planning Board** arise after the posting of this agenda, they may be addressed at this meeting

Town of Lakeville Planning Board

FORM B

APPLICATION FOR APPROVAL OF PRELIMINARY PLAN

File on completed form with the Planning Board and one copy with the
City (or Town) Clerk in accordance with the requirements of Section III-A

No: _____ November 8, 2022 200

To the Planning Board:

The undersigned, believed that the accompanying Preliminary Plan of property located in the Town of Lakeville for approval as a subdivision as allowed under the Subdivision Control Law and the Rules and Regulations Governing the Subdivision of Land of the Planning Board in the Town of Lakeville.

1. Name of Subdivider LAKEVILLE OWNER LLC
Address 3953 MAPLE AVENUE, SUITE 300, DALLAS, TEXAS, 75219
2. Name of Engineer or Surveyor VHB
Address 120 FRONT STREET, SUITE 500, WORCESTER, MA 01608
3. Deed of property recorded in PLYMOUTH COUNTY Registry,
Book 54734 Page 209
4. Location and Description of Property:
PROPERTY ADDRESSED 43 MAIN STREET, LAKEVILLE, MA KNOWN AS THE
FORMER LAKEVILLE STATE HOSPITAL AND GENERALLY ENCOMPASSING
49.4 ACRES OF LAND INCLUDING ASSESSOR PARCEL NUMBERS
060-007-001G, 060-007-001I, 060-007-001J, AND 060-007-001D.

Signature of owner 

Ron J. Hoyl, Vice President
Address 3953 Maple Avenue, Suite 300
Dallas, TX 75219

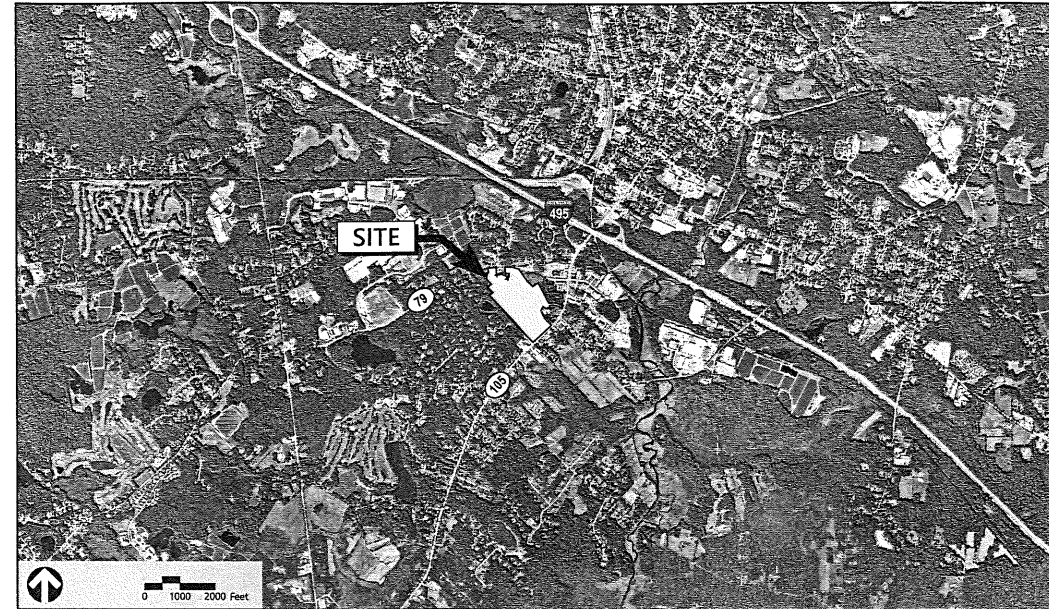
**A list of the names and addresses of the abutters of this subdivision is attached.
Verification will be made by the Planning Board**

Site Plans

Issued for	Preliminary Plan
Date Issued	November 10, 2022
Latest Issue	November 10, 2022

New Subdivision Roadway - Preliminary Plan

43 Main Street
Lakeville, Massachusetts



Owner/Applicant

Lakeville Owner LLC
3953 Maple Avenue, Suite 300
Dallas, TX 75219

Assessor's Map: 060

Lots: 007-001, 007-001D, 007-001G,
007-001I, 007-001J, 007-001L,
007-001P

Sheet Index		
No.	Drawing Title	Latest Issue
C1.00	Locus Plan	11/10/2022
C2.00	Overall Plan	11/10/2022
C2.01-2.03	Preliminary Plan	11/10/2022
C3.00	Overall Grading Plan	11/10/2022
C3.01-3.03	Grading, Drainage and Utility Plan	11/10/2022
C4.00	Roadway Profile Plan	11/10/2022

Reference Drawings		
No.	Drawing Title	Latest Issue
Sv-1 - Sv-4	Existing Conditions Plan of Land	5/5/2021



Record Owner & Sudivider
Lakeville Owner LLC
3953 Maple Avenue, Suite 300
Dallas, TX 75219

Engineer & Surveyor
VHB
120 Front Street, Suite 500
Worcester, MA 01608



Notes

1. **PLAN INTENT:** THE EXISTING 49.4± ACRE PROPERTY ENTIRELY OWNED BY LAKEVILLE OWNER LLC REPRESENTS A COMPILED OF SEVEN (7) DISTINCT PARCELS. THE INTENT OF THIS PRELIMINARY SUBDIVISION IS TO RECREATE THE VARIOUS PARCELS INTO SEVEN (7) NEW PARCELS AND ONE NEW ROADWAY CALLED CHRIS ROAD.
2. WETLANDS FLAGGED UNDER THE "W2" AND "W3" SERIES ARE ISOLATED WETLANDS AND ARE NON-JURISDICTIONAL UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT.

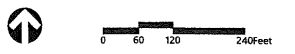
Legend

- PROPOSED PARCEL
- EXISTING PARCEL
- BUFFER LINE

Notes

1. PROPERTY BOUNDARIES (IMPORTED FROM MASSGIS DATABASE).
2. PROPERTY INFORMATION FROM TOWN OF LAKEVILLE ONLINE ASSESSOR'S DATABASE.
3. HORIZONTAL DATUM IS BASED ON MASS. GRIS SYSTEM, NAD 1983. ELEVATIONS ON THESE PLANS REFER TO NAVD OF 1998.

ASSESSOR'S PARCEL:
060-007-001
060-007-001D
060-007-001G
060-007-001I
060-007-001J
060-007-001L
060-007-001P



**New Subdivision
Roadway -
Preliminary Plan**

43 Main Street
Lakeville, Massachusetts

No.	Description	Date	Author

Prepared by: DGA
Checked by: BMG
Date: November 10, 2022

Preliminary Plan

Not Approved for Construction




Record Owner & Subdivider
Lakeville Owner LLC
3953 Maple Avenue, Suite 300
Dallas, TX 75219

Engineer & Surveyor
VHB
120 Front Street, Suite 500
Worcester, MA 01608

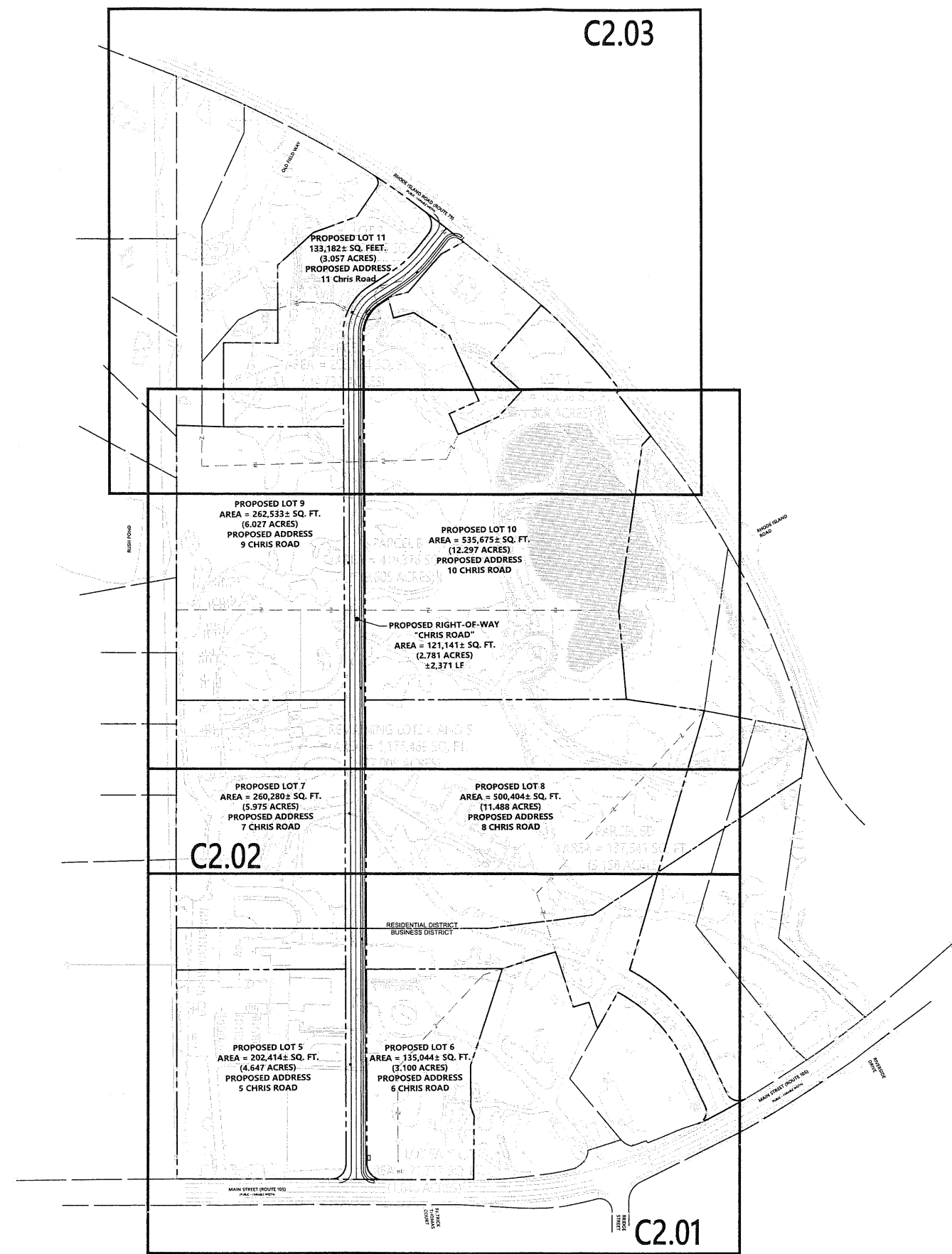
C1.00

Sheet 1 of 10
Project Number: 14849.00

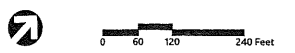


ABUTTERS WITHIN 500 FEET:

- 060-007-001A 13 MAIN STREET MAIN STREET REAL ESTATE HOLDINGS LLC
- 060-007-001B 15 MAIN STREET COMMUNITY SQUARE STORAGE LLC
- 060-007-001C 17 MAIN STREET RUSSELL DAVID F JR & ANNE MARIE LAKEVILLE FUNERAL HOME REALTY TRUST
- 060-007-001M 19 MAIN STREET DANKSEWICZ ALFRED R JR & CYNTHIA D
- 060-007-001P 21 MAIN STREET LAKEVILLE OWNER LLC DELAWARE LIMITED LIABILITY CO
- 060-007-001E 20 RHODE ISLAND ROAD LAKEVILLE TOWN OF
- 060-007-001-G 38 RHODE ISLAND ROAD LAKEVILLE OWNER LLC DELAWARE LIMITED LIABILITY CO
- 060-007-001H 40 RHODE ISLAND ROAD HILL ANTHONY D & MONICA P
- 060-007-001I 42 RHODE ISLAND ROAD LAKEVILLE OWNER LLC DELAWARE LIMITED LIABILITY CO
- 060-007-001J REAR RHODE ISLAND ROAD LAKEVILLE OWNER LLC DELAWARE LIMITED LIABILITY CO
- 060-007-001K-OR REAR RHODE ISLAND ROAD PAUL E TURNER CORP
- 060-007-001K-OR 44 RHODE ISLAND ROAD DEFEO MARCA & CABRAL FAITH M
- 060-007-001K-OR 44 RHODE ISLAND ROAD DEFEO MARCA & CABRAL FAITH M
- 060-007-001K-OR 44 RHODE ISLAND ROAD DEFEO MARCA & CABRAL FAITH M
- 060-007-001M 48 RHODE ISLAND ROAD MARI KAITLYN
- 060-007-002 30 RHODE ISLAND ROAD BENNETT THOMAS J & KATARZYANA
- 060-007-005 6 RUSH POND ROAD BENTON EDWIN J & JENNIFER A
- 060-007-006 8 RUSH POND ROAD EATON RYAN & STEFANIE
- 060-007-007 10 RUSH POND ROAD AYERS KARA L & VIROSTEK ANDREW M
- 060-007-008 12 RUSH POND ROAD REBOLO TAMANIQUE & YOUNG DEREK
- 060-007-009 RUSH POND ROAD LAKEVILLE TOWN OF
- 060-007-010 14 RUSH POND ROAD MENCIA MARIANA E
- 060-007-011 16 RUSH POND ROAD ANDREAS SUSAN K
- 060-007-012 18 RUSH POND ROAD CURLEY JAMES A & CORR-CURLEY PAMELA J
- 060-007-013 20 RUSH POND ROAD AUSTRIKALINS SUSAN M
- 060-007-014 22 RUSH POND ROAD SMITH BRIAN & KASTAD KATRINE
- 060-007-015 24 RUSH POND ROAD O'SHEA ROGER M & MARILYN T
- 060-007-016 26 RUSH POND ROAD AYESO JOHN W JR & FRANCES E
- 060-007-018 28 RUSH POND ROAD MULCAHEY JAMES A & GLORIA M
- 060-007-019 27 RUSH POND ROAD CAROLI ANTONIO & MARTINEZ CATALINA
- 060-007-020 15 RUSH POND ROAD NICKERSON ALECHIA & WOODHEAD FRANCINE E
- 060-007-021 19 RUSH POND ROAD HODWELL MARK R & HEATHER
- 060-007-022 21 RUSH POND ROAD COHEN SCOTT J & STACEY A
- 060-007-023 9 RUSH POND ROAD SCOTT RICHARD D & JANET L TRS SCOTT FAMILY LIVING TRUST
- 060-007-024 7 RUSH POND ROAD TEECELE ELIZABETH M TRUSTEE HUTCHINSON FAMILY REVOCABLE TRUST
- 060-007-025 53 MAIN STREET LEBLANC JOHN M TRUSTEE S3 MAIN STREET REALTY TRUSTEES
- 060-007-026 45 MAIN STREET GAMAACH BROS LTD PARTNERSHIP C/O ELEANOR GRAMUSCHE
- 060-008-014 49 RHODE ISLAND ROAD MACLE CHARLES J & SUEANNE I
- 060-008-014D 55 RHODE ISLAND ROAD JOHNSON DOUGLAS & PAULA J
- 060-008-015 43 RHODE ISLAND ROAD METEYER RICHARD
- 060-008-016 39 RHODE ISLAND ROAD DENNIS HENRY M & SHARON M
- 060-008-016B 37 RHODE ISLAND ROAD PRATT SEAN W & JESSICA D PAMELA J
- 060-009-001 20 RUSH POND ROAD TWYN COACH ESTATES HOMEOWNERS ASSOCIATION INC
- 060-009-007 35 RHODE ISLAND ROAD MANTEY ESTHER P & GRACE
- 060-009-008 25 RHODE ISLAND ROAD SFERRAZZA JOHN J & JUDITH A
- 060-009-009 21 RHODE ISLAND ROAD MCCANN STEPHEN M & VIRGINIA E HOWLAND
- 060-009-010 17 RHODE ISLAND ROAD SAWIKI HELEN & PAULA JOHNSON TRS-HELEN & PAULA REALTY TR
- 060-009-011 30 MAIN STREET BENNER DANIEL J
- 060-009-012 4 BRIDGE STREET VICKERY MICHAEL
- 060-009-013 7 MAIN STREET SEVEN MAIN LLC
- 060-009-014 11 MAIN STREET STATION STREET DEVELOPMENT LLC C/O CV# 85407-D/O CC EXP DEPT
- 060-009-015 5 MAIN STREET RAKEE REALTY LLC
- 060-009-016 16 RHODE ISLAND ROAD BRITT THOMAS M & DELOREY ALEXANDER J
- 060-009-017 56 MAIN STREET RFC MFC 56 MAIN STREET LLC
- 060-009-018 34 MAIN STREET EYES NORTH LAKEVILLE LLC C/O WALGREEN CO
- 060-009-019 24 MAIN STREET HIGGINS ANNE M
- 060-009-020 28 MAIN STREET SILVER CORPORATE PARK LLC & C/O WALGREENS CORP AT
- 060-009-021 3 RUSH POND ROAD MORGAN JOHN M
- 060-009-022 12 MAIN STREET MASTRANGELO FAMILY LLC
- 060-009-023 38 MAIN STREET MASTRANGELO FAMILY LLC
- 060-009-024 20 MAIN STREET THOMAS KIMBERLEY A
- 060-009-025 22 MAIN STREET BLACK JANET W
- 060-009-026 26 MAIN STREET KILBURN STACEY L TRUSTEE
- 060-009-027 24 MAIN STREET WALGREEN CO
- 060-009-028 14 OLD FIELD WAY FASEL APRIL
- 060-009-029 14 OLD FIELD WAY BROWN-CARROLL NANCY R
- 060-009-030 3 RUSH POND ROAD SCOTT JOHN W & JANET L TRS SCOTT FAMILY LIVING TRUST
- 060-009-031 11 RIVERSIDE DRIVE K & E LAKEVILLE REALTY LLC
- 060-009-032 36 MAIN STREET JASPER & ZOE LLC C/O PET RECESS INC
- 060-009-033 1 PATRICK THOMAS CT FERREIRA DANIEL
- 060-009-034 26 MAIN STREET KILBURN STACEY L TRUSTEE
- 060-009-035 24 MAIN STREET WALGREEN CO
- 060-009-036 32 MAIN STREET SILVER CORPORATE PARK LLC & C/O WALGREENS CORP AT
- 060-009-037 30 MAIN STREET SEVEN MAIN LLC
- 060-009-038 20 OLD FIELD WAY JUNG JENNIFER
- 060-009-039 20 OLD FIELD WAY NEWELL JAMES M & SANDRA M
- 060-009-040 20 OLD FIELD WAY OLSEN KIMBERLY A
- 060-009-041 7 OLD FIELD WAY SHIRKETT AARON & KAITLYN
- 060-009-042 3 OLD FIELD WAY STEEN JAMMI
- 060-009-043 3 OLD FIELD WAY POST CHRISTOPHER
- 060-009-044 2 OLD FIELD WAY STEELE JENNIFER
- 060-009-045 4 OLD FIELD WAY DOS SANTOS JOSE R & VANESSA C C
- 060-009-046 6 OLD FIELD WAY HODDY SHAMKA A
- 060-009-047 5 OLD FIELD WAY DELAWARE LIMITED LIABILITY CO



- Notes**
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**New Subdivision
Roadway -
Preliminary Plan**
43 Main Street
Lakeville, Massachusetts

No.	Revision	Date	Appr'd.

Prepared by: DGA Checked by: BMG
 Date: 6/11/2022
 November 10, 2022



C2.00

Sheet 2 of 10

Project Number: 14849.00

Seal: BRITANNY DESHNER, CIVIL ENGINEER, No. 52889, State of Massachusetts

Record Owner & Sudivider
 Lakeville Owner LLC
 3953 Maple Avenue, Suite 300
 Dallas, TX 75219

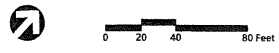
Engineer & Surveyor
 VHB
 120 Front Street, Suite 500
 Worcester, MA 01608

Notes

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Legend

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- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
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- GUY WIRE
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- FLOOD LIGHT
- WELL
- MARSH
- F.F.E. = 45.27
- FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
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- DW DASHED WHITE LINE
- SYL SINGLE YELLOW LINE
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- E.P. EDGE OF PAVEMENT
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- BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
- 100' BUFFER ZONE
- 100'-FT RIVER FRONT AREA
- 200'-FT RIVER FRONT AREA
- LIMIT MEAN ANNUAL HIGH WATER
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY



New Subdivision Roadway - Preliminary Plan
 43 Main Street
 Lakeville, Massachusetts


No.	Revision	Date	By

Designed by: DGA
 Checked by: BMG
 November 10, 2022

Preliminary Plan
 Not Approved for Construction

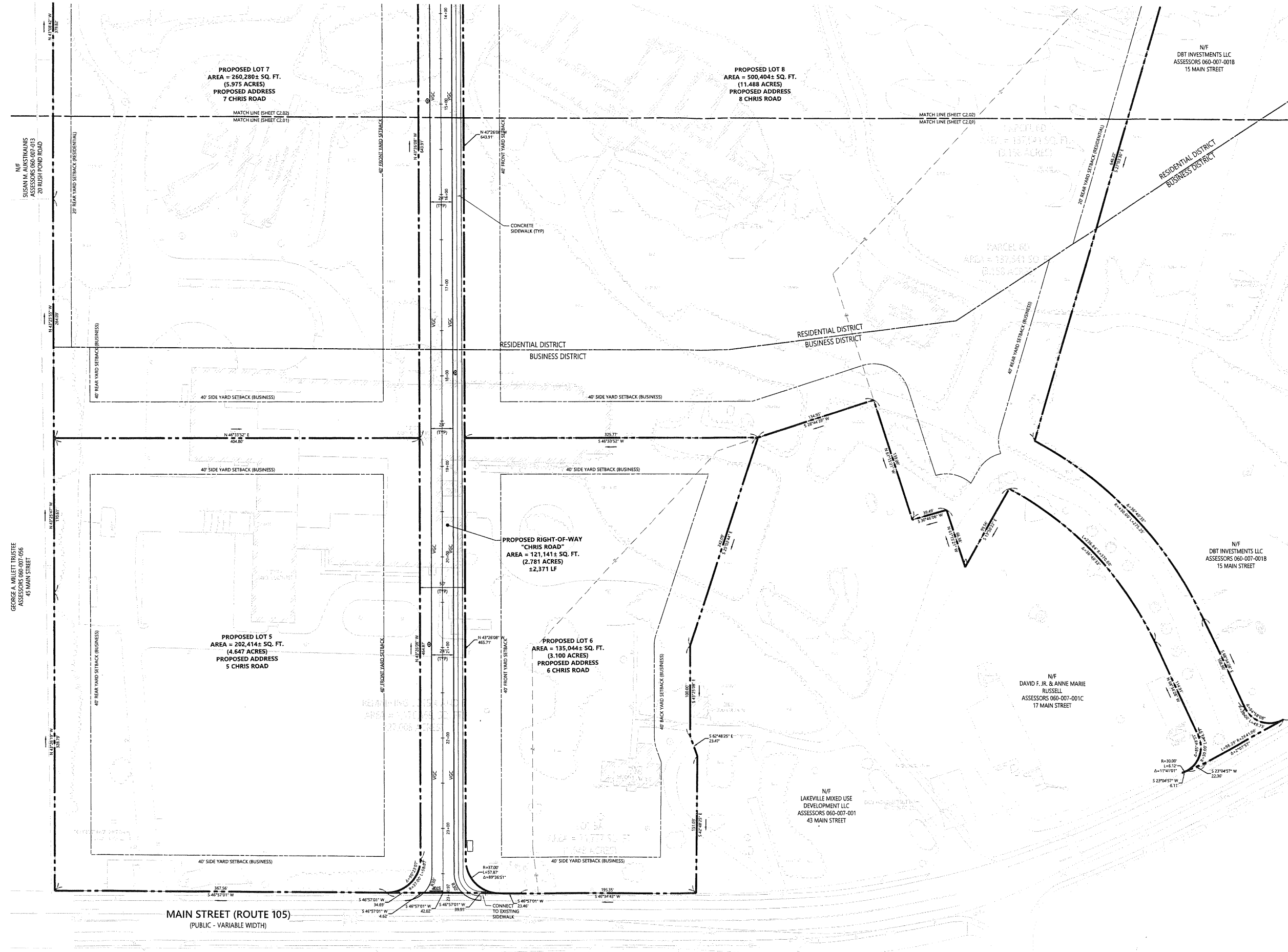
Preliminary Plan

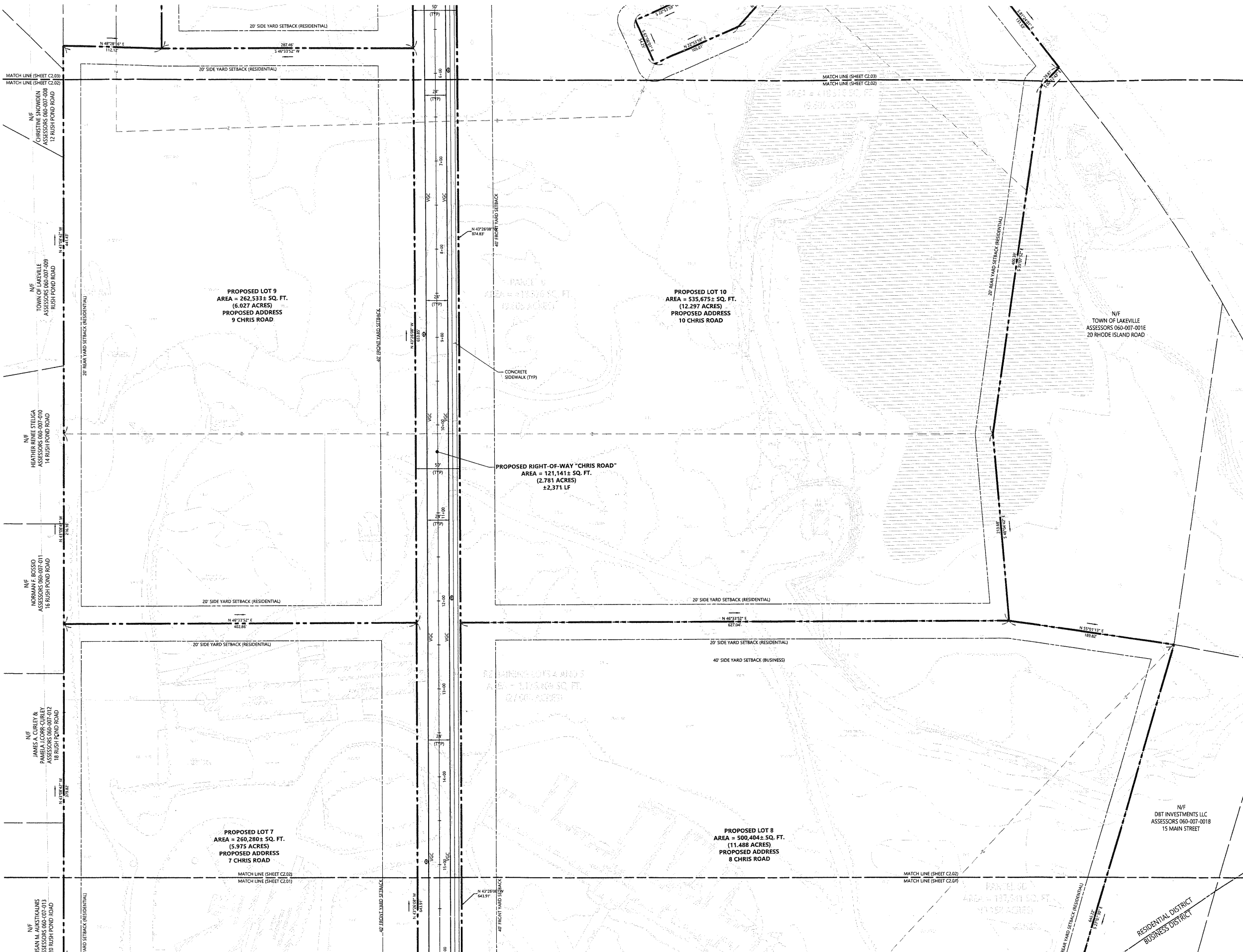
Drawing Number: **C2.01**
 Sheet 3 of 10
 Project Number: 14849.00



Record Owner & Subdivider
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 3953 Maple Avenue, Suite 300
 Dallas, TX 75219

Engineer & Surveyor
 VHB
 120 Front Street, Suite 500
 Worcester, MA 01608





vhb
 120 Front Street
 Suite 500
 Worcester, MA 01608
 508.752.1001
 vhb.com

- Notes**
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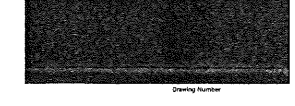
- Legend**
- DRAIN MANHOLE
 - CATCH BASIN
 - SEWER MANHOLE
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 - LIMIT MEAN ANNUAL HIGH WATER
 - LIMIT OF BANK
 - VEGETATED WETLAND BOUNDARY

New Subdivision Roadway - Preliminary Plan
 43 Main Street
 Lakeville, Massachusetts

No.	Description	Date	Appr'd.

Prepared by: DGA
 Checked by: BMG
 Date: November 10, 2022

Preliminary Plan
 Not Approved for Construction



C2.02
 4 of 10
 14849.00

Record Owner & Sudivider
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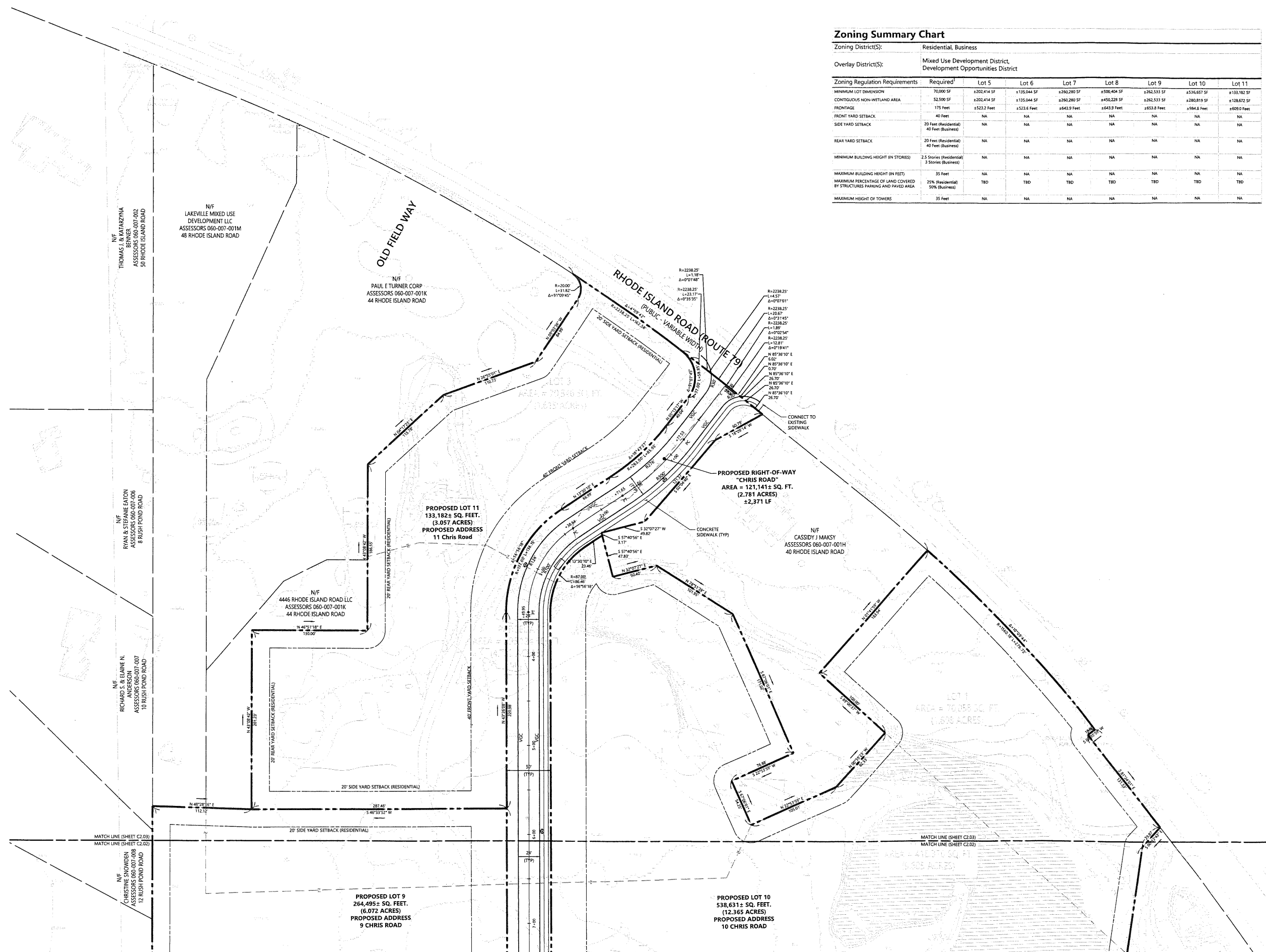
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Suite 500
Worcester, MA 01608
508.752.1001

Zoning Summary Chart

Zoning District(S):	Residential, Business							
Overlay District(S):	Mixed Use Development District, Development Opportunities District							
Zoning Regulation Requirements	Required	Lot 5	Lot 6	Lot 7	Lot 8	Lot 9	Lot 10	Lot 11
MINIMUM LOT DIMENSION	70,000 SF	±202,414 SF	±135,044 SF	±260,280 SF	±500,454 SF	±262,533 SF	±536,657 SF	±133,182 SF
CONTIGUOUS NON-WETLAND AREA	52,500 SF	±202,414 SF	±135,044 SF	±260,280 SF	±500,454 SF	±262,533 SF	±536,657 SF	±133,182 SF
FRONTAGE	175 Feet	±523.2 Feet	±523.6 Feet	±643.9 Feet	±643.9 Feet	±653.8 Feet	±984.8 Feet	±609.9 Feet
FRONT YARD SETBACK	40 Feet	NA	NA	NA	NA	NA	NA	NA
SIDE YARD SETBACK	20 Feet (Residential) 40 Feet (Business)	NA	NA	NA	NA	NA	NA	NA
REAR YARD SETBACK	20 Feet (Residential) 40 Feet (Business)	NA	NA	NA	NA	NA	NA	NA
MINIMUM BUILDING HEIGHT (IN STORES)	2.5 Stories (Residential) 3 Stories (Business)	NA	NA	NA	NA	NA	NA	NA
MAXIMUM BUILDING HEIGHT (IN FEET)	35 Feet	NA	NA	NA	NA	NA	NA	NA
MAXIMUM PERCENTAGE OF LAND COVERED BY STRUCTURES PARKING AND PAVED AREA	25% (Residential) 50% (Business)	TBD	TBD	TBD	TBD	TBD	TBD	TBD
MAXIMUM HEIGHT OF TOWERS	35 Feet	NA	NA	NA	NA	NA	NA	NA

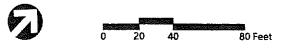


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- WATER LINE
- TREE LINE
- 100' BUFFER ZONE
- 100'-FT RIVER FRONT AREA
- 200'-FT RIVER FRONT AREA
- LIMIT NEAR ANNUAL HIGH WATER
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY



New Subdivision Roadway - Preliminary Plan
 43 Main Street
 Lakeville, Massachusetts

No.	Revision	Date	Appr.

Designed by: DGA
 Checked by: BMG
 Date: November 10, 2022

Preliminary Plan
 Not Approved for Construction



Project Number: 14849.00
 Drawing Number: **C2.03**
 Sheet 5 of 10

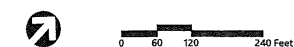
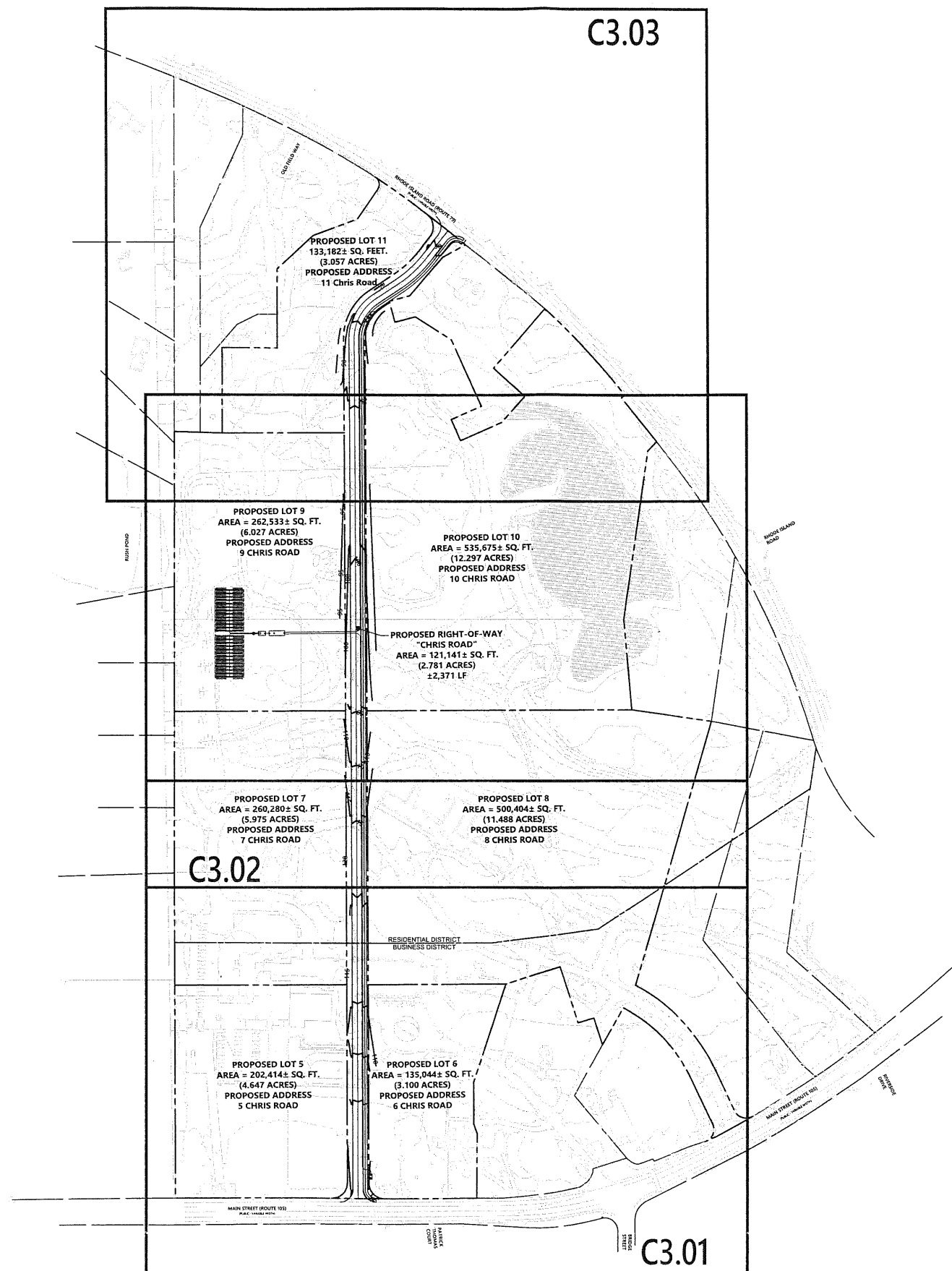
Record Owner & Subdivider
 Lakeville Owner LLC
 3953 Maple Avenue, Suite 300
 Dallas, TX 75219

Engineer & Surveyor
 VHB
 120 Front Street, Suite 500
 Worcester, MA 01608



Notes

1. **PLAN INTENT:** THE EXISTING 49.4± ACRE PROPERTY ENTIRELY OWNED BY LAKEVILLE OWNER LLC REPRESENTS A COMBINATION OF SEVEN (7) DISTINCT PARCELS. THE INTENT OF THIS PRELIMINARY SUBDIVISION IS TO RECREATE THE VARIOUS PARCELS INTO SEVEN (7) NEW PARCELS AND ONE NEW ROADWAY CALLED CHRIS ROAD.
2. WETLANDS FLAGGED UNDER THE "W2" AND "W3" SERIES ARE ISOLATED WETLANDS AND ARE NON-JURISDICTIONAL UNDER THE MASSACHUSETTS WETLANDS PROTECTION ACT.



**New Subdivision
 Roadway -
 Preliminary Plan**

43 Main Street
 Lakeville, Massachusetts

No. Revision Date Appr.

Prepared by: DGA Checked by: BMG

Date: _____

November 10, 2022

Not Approved for Construction

Overall Grading Plan



Drawing Number

C3.00

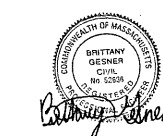
Sheet 6 of 10

Project Number

14849.00

Record Owner & Subdivider
 Lakeville Owner LLC
 3953 Maple Avenue, Suite 300
 Dallas, TX 75219

Engineer & Surveyor
 VHB
 120 Front Street, Suite 500
 Worcester, MA 01608





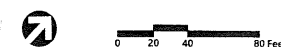
120 Front Street
Suite 500
Worcester, MA 01608
508.752.1001

Notes

1. PLAN INTENT: THE EXISTING 49.4± ACRE PROPERTY ENTIRELY OWNED BY LAKEVILLE OWNER LLC REPRESENTS A COMPILED OF SEVEN (7) DISTINCT PARCELS. THE INTENT OF THIS PRELIMINARY SUBDIVISION IS TO RECREATE THE VARIOUS PARCELS INTO SEVEN (7) NEW PARCELS AND ONE NEW ROADWAY CALLED CHRIS ROAD.
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Legend

- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- HAND HOLE
- WATER GATE
- FIRE HYDRANT
- GAS GATE
- SOLAR/LIGHT
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- MARSH
- ▽ F.F.E. = 45.27' FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
- DM DASHED WHITE LINE
- SYL SINGLE YELLOW LINE
- LSA LANDSCAPED AREA
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
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- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
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- 200-FT RIVER FRONT AREA
- LIMIT MEAN ANNUAL HIGH WATER
- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY



**New Subdivision
Roadway -
Preliminary Plan**

43 Main Street
Lakeville, Massachusetts

No. Revision Date Appr.

Designed by DGA Checked by BMG
Drawn by Date
November 10, 2022

Preliminary Plan

Not Approved for Construction
Grading, Drainage
and Utility Plan



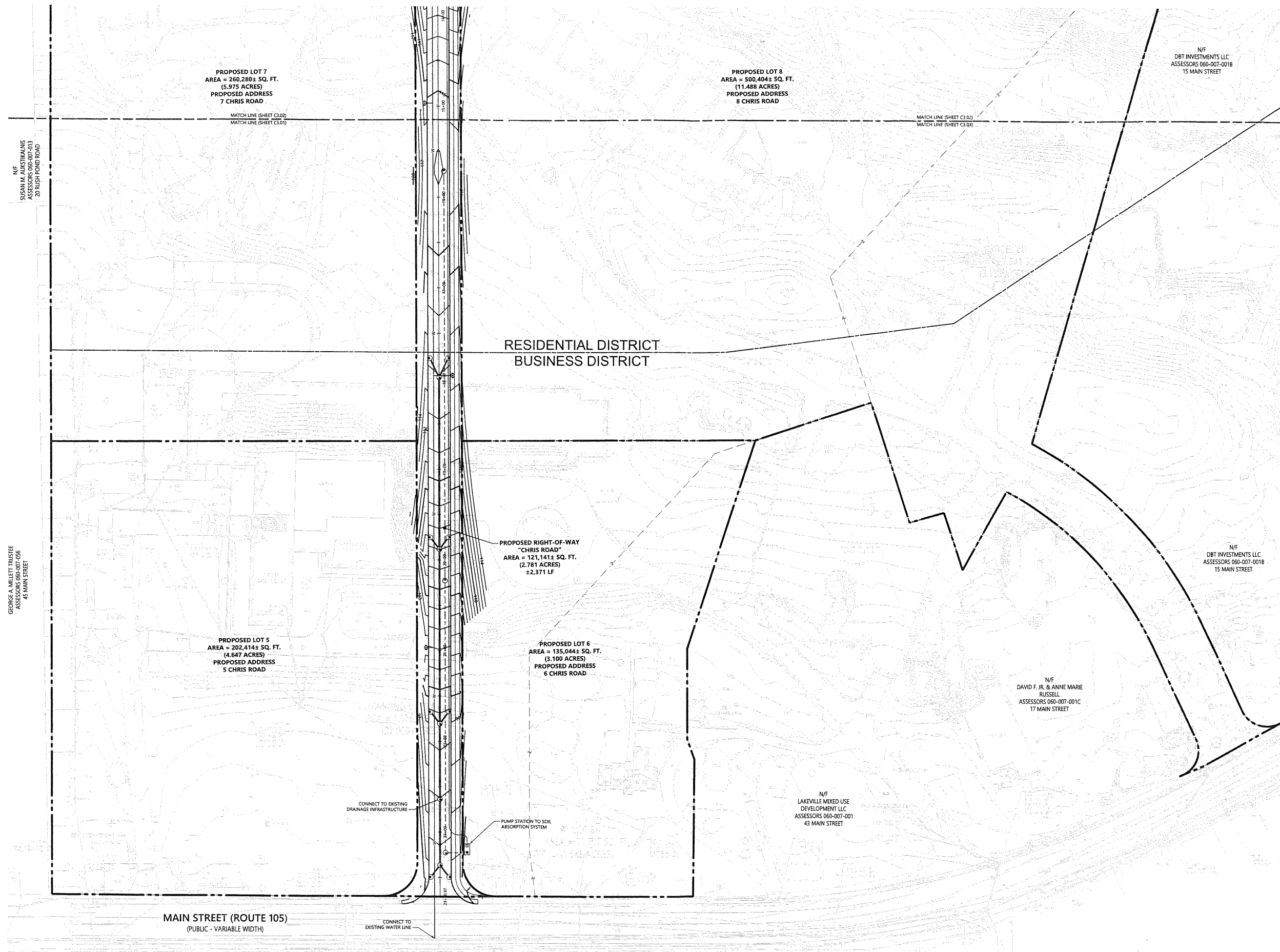
C3.01

Sheet 7 of 10

Project Number
14849.00

Record Owner & Sudivider
Lakeville Owner LLC
3953 Maple Avenue, Suite 300
Dallas, TX 75219

Engineer & Surveyor
VHB
120 Front Street, Suite 500
Worcester, MA 01608



RESIDENTIAL DISTRICT
BUSINESS DISTRICT

N/F
SUSAN M. HUSTON
ASSESSORS 060-007-0003
20 BUSH POND ROAD

GEORGE A. MILLETT TRUSTEE
ASSESSORS 060-007-0006
45 MAIN STREET

N/F
DBT INVESTMENTS LLC
ASSESSORS 060-007-0018
15 MAIN STREET

N/F
DAVID F. R. & ANNE MARIE
RUSSELL
ASSESSORS 060-007-001C
17 MAIN STREET

N/F
LAKEVILLE MIXED USE
DEVELOPMENT LLC
ASSESSORS 060-007-001
43 MAIN STREET

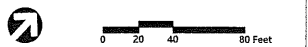
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Notes

- PLAN INTENT:** THE EXISTING 49.4± ACRE PROPERTY ENTIRELY OWNED BY LAKEVILLE OWNER LLC REPRESENTS A COMPLETION OF SEVEN (7) DISTINCT PARCELS. THE INTENT OF THIS PRELIMINARY SUBDIVISION IS TO RECREATE THE VARIOUS PARCELS INTO SEVEN (7) NEW PARCELS AND ONE NEW ROADWAY CALLED CHRIS ROAD.
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- ☉ TELEPHONE MANHOLE
- ☉ MANHOLE
- HCH HAND HOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- BILLBOARD LIGHT
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
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- ⊙ MARSH
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- LIMIT OF BANK
- VEGETATED WETLAND BOUNDARY



**New Subdivision
Roadway -
Preliminary Plan**
43 Main Street
Lakeville, Massachusetts

No.	Revision	Date	Appr'd

Designed by: DGA
Checked by: BMG
Date: 11/10/2023

Preliminary Plan November 10, 2023

Not Approved for Construction
**Grading, Drainage
and Utility Plan**

C3.02

Sheet 8 of 10
Project Number: 14849.00

Record Owner & Sudivider
Lakeville Owner LLC
3953 Maple Avenue, Suite 300
Dallas, TX 75219

Engineer & Surveyor
VHB
120 Front Street, Suite 500
Worcester, MA 01608



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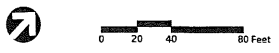
120 Front Street
Suite 500
Worcester, MA 01608
508.752.1001

Notes

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- FLOOD LIGHT
- WELL
- MARSH
- FF E = 45.27' FINISHED FLOOR ELEVATION
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- EP Pavement
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New Subdivision Roadway - Preliminary Plan
43 Main Street
Lakeville, Massachusetts

No.	Revised	Date	App'd

Prepared by: DGA
Checked by: BMG
Date: November 10, 2022

Preliminary Plan November 10, 2022

Not Approved for Construction
Grading, Drainage and Utility Plan

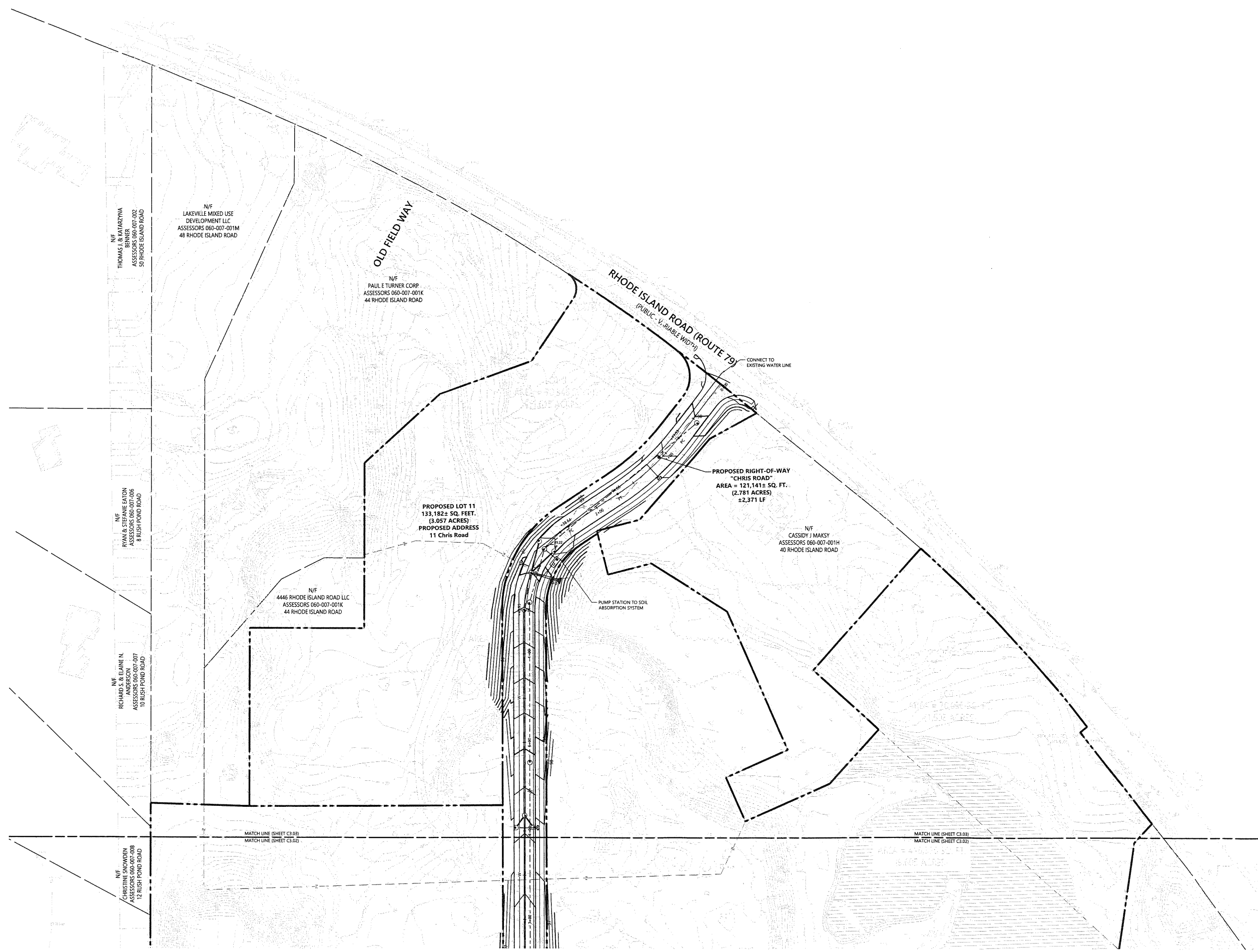
Drawing Number

C3.03
Sheet 9 of 10
Project Number 14849.00

Record Owner & Subdivider
Lakeville Owner LLC
3953 Maple Avenue, Suite 300
Dallas, TX 75219

Engineer & Surveyor
VHB
120 Front Street, Suite 500
Worcester, MA 01608

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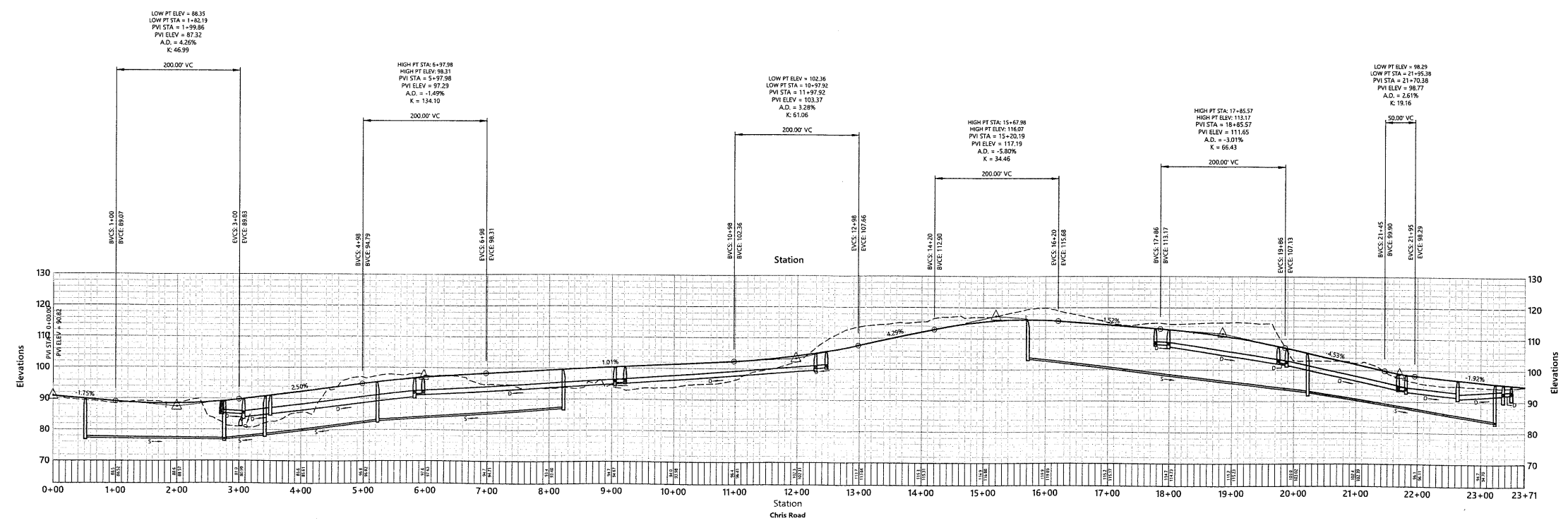
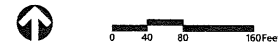
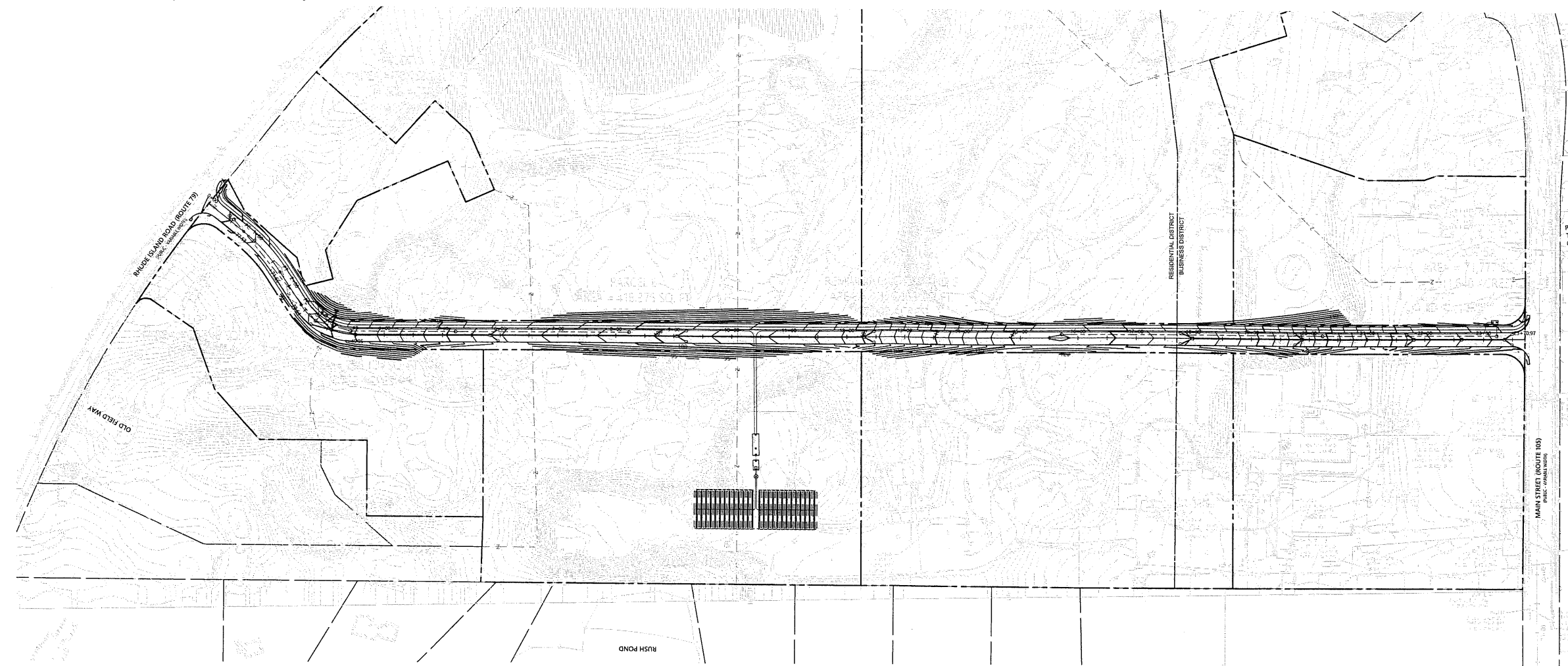
120 Front Street
Suite 500
Worcester, MA 01608
508.752.1001

Notes

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New Subdivision Roadway - Preliminary Plan

43 Main Street
Lakeville, Massachusetts

Drawn by	DGA	Checked by	BMG
Date		Date	
Preliminary Plan November 10, 2022			

Not Approved for Construction
Roadway Profile Plan

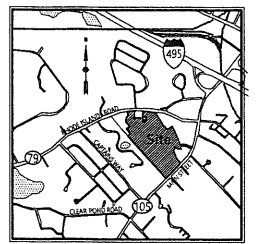
Sheet **C4.00** of 10
Project Number 14849.00

Record Owner & Sudivider
Lakeville Owner LLC
3953 Maple Avenue, Suite 300
Dallas, TX 75219

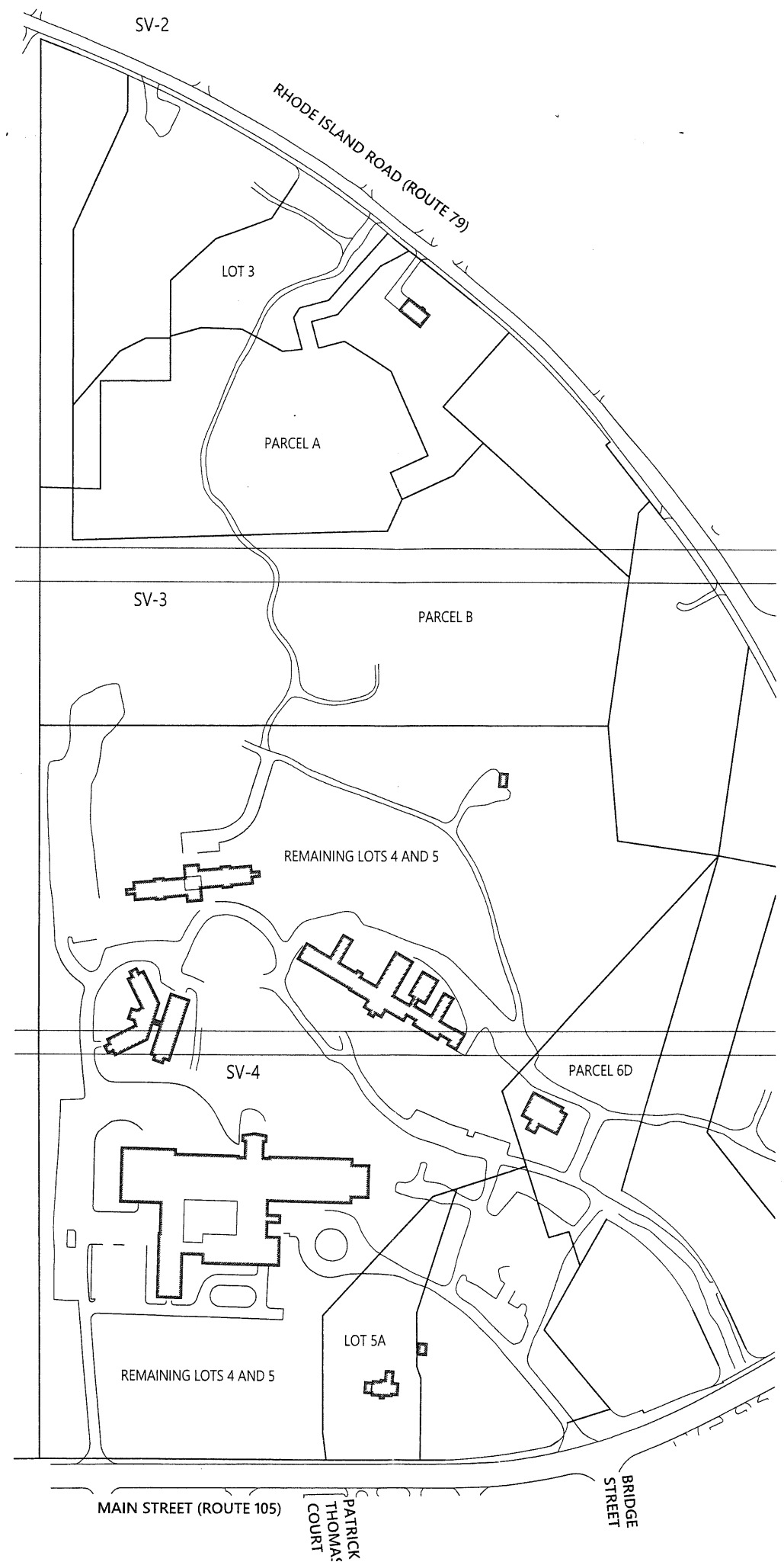
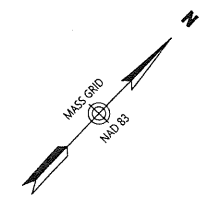
Engineer & Surveyor
VHB
120 Front Street, Suite 500
Worcester, MA 01608



Saved Thursday, November 10, 2022 11:42:06 AM D:\DATA\GIS\Plotted Thursday, November 10, 2022 11:50:57 AM Dean Asakala



Locus
(NOT TO SCALE)



Record Owners

LOT 1
 LAKEVILLE OWNER LLC
 36 RHODE ISLAND ROAD
 LAKEVILLE, MASS.
 ASSESSORS PARCEL 060-007-001G
 BK. 54734, PAGE 209

LOT 3
 LAKEVILLE OWNER LLC
 42 RHODE ISLAND ROAD
 LAKEVILLE, MASS.
 ASSESSORS PARCEL 060-007-001I
 BK. 54734, PAGE 209

PARCEL A
 LAKEVILLE OWNER LLC
 REAR RHODE ISLAND ROAD
 LAKEVILLE, MASS.
 ASSESSORS PARCEL 060-007-001J
 BK. 54734, PAGE 209

PARCEL B
 LAKEVILLE OWNER LLC
 REAR RHODE ISLAND ROAD
 LAKEVILLE, MASS.
 ASSESSORS PARCEL 060-007-001D
 BK. 54734, PAGE 209

REMAINING LOTS 4 & 5, LOT 5A & PARCEL 6D
 LAKEVILLE OWNER LLC
 REAR RHODE ISLAND ROAD
 LAKEVILLE, MASS.
 ASSESSORS PARCEL 060-007-001J
 BK. 54734, PAGE 209

Plan References

REGISTRY OF DEEDS
 PLAN BOOK 4 PLAN 106
 PLAN BOOK 17 PLAN 675
 PLAN BOOK 47 PLAN 48
 PLAN BOOK 53 PLAN 728
 PLAN BOOK 55 PLAN 135
 PLAN BOOK 60 PLAN 739
 PLAN BOOK 61 PLAN 518
 PLAN BOOK 61 PLAN 570
 PLAN BOOK 62 PLAN 232
 PLAN BOOK 63 PLAN 1016
 PLAN BOOK 64 PLAN 52
 PLAN BOOK 64 PLAN 550

STATE HIGHWAY LAYOUT
 PLAN BOOK 110 PLANS 247-249
 PLAN BOOK 15 PLAN 45
 PLAN BOOK 15 PLANS 61-65

COUNTY LAYOUT
 PLAN BOOK K PAGES 6-10

General Notes

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN AUGUST, 2020 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN WERE DEVELOPED FROM A COMBINED EFFORT OF AERIAL PHOTOGRAMMETRIC MAPPING BY EASTERN TOPOGRAPHICS, INC., BASED ON AERIAL PHOTOGRAPHS TAKEN ON APRIL 17, 2020, AND AUGMENTED BY AN ON-THE-GROUND SURVEY PERFORMED BY VHB DURING AUGUST, 2020.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED. NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- THE LOT LIES ENTIRELY WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR PLYMOUTH COUNTY, MASSACHUSETTS, MAP NUMBERS 25023CD431K & 25023CD318K, EFFECTIVE DATE JULY 16, 2015.
- THE LOT LIES WITHIN THE RESIDENTIAL DISTRICT AND BUSINESS DISTRICT WITH A MIXED USE DEVELOPMENT DISTRICT AS SHOWN ON THE ONLINE "TOWN OF LAKEVILLE ZONING MAP", DATED 2018. DIMENSIONAL REQUIREMENTS FOR A RESIDENTIAL AND BUSINESS DISTRICT AT THE TIME OF THIS SURVEY ARE:

	RESIDENTIAL	BUSINESS
MINIMUM LOT AREA	77,000 S.F.	77,000 S.F.
MINIMUM FRONTAGE	175 FEET	175 FEET
MINIMUM FRONT YARD SETBACK	40 FEET	40 FEET
MINIMUM SIDE YARD SETBACK	20 FEET	40 FEET
MINIMUM REAR YARD SETBACK	20 FEET	40 FEET
MAXIMUM BUILDING HEIGHT	35 FEET	35 FEET
MAXIMUM BUILDING STORIES	2.5 STORIES	3 STORIES
MAXIMUM % OF LAND COVERED	25%	50%
MAXIMUM HEIGHT OF TOWERS	35 FEET	35 FEET

 SEE SECTION 7.5 OF ZONING CODE FOR MIXED USE DEVELOPMENT DISTRICT REGULATIONS.
- THE WETLANDS SHOWN ON THIS PLAN WERE FLAGGED BY VHB ENVIRONMENTAL DEPARTMENT AND FIELD SURVEYED BY VHB BETWEEN APRIL & DECEMBER, 2020.
- THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.

Lakeville Hospital
 43 Main Street
 Lakeville, Massachusetts

No.	Revision	Date	Appr'd
1	WETLANDS UPDATE	12/17/20	CEK
2	OWNERSHIP UPDATE	5/5/21	CEK

Designed by: _____ Checked by: _____
 Issued for: _____ Date: August 25, 2020

**Existing Conditions
 Plan of Land
 (KEY SHEET)**

Survey Number: Sv-1
 Sheet 1 of 4
 Russell J. Russell, P.E.
 5-5-2021
 14849.00

Legend

- BENCH MARK
- CATCH BASIN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- HAND HOLE
- WATER GATE
- FRIE HOVANT
- GAS GATE
- ROLLABY W/ LIGHT
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY WIRE
- MONITORING WELL
- WELL
- MASH
- F.E. - 45.27'
- FINISHED FLOOR ELEVATION
- C.M.D. CLOUD NOT OPEN
- H.M.P. HOLE
- D.M.L. DOUBLE YELLOW LINE
- S.M.L. SINGLE YELLOW LINE
- L.S.A. LANDSCAPED AREA
- E.D.G. EDGE OF PAVEMENT
- C.C. CONCRETE CURB
- V.C. VERTICAL CURVATURE CURVE
- S.E. SLOPED GRANITE EDGE
- B.S. BRUNNANOUS BEAM
- B.C. BRUNNANOUS CURB
- G.B. GRADED BANK
- C.L.F. CHAIN LINK FENCE
- D.L. DRAINAGE LINE
- O.W. OVERHEAD WIRE
- U.E. UNDERGROUND ELECTRIC
- F.L. FIBER OPTIC LINE
- G.L. GAS LINE
- W.L. WATER LINE
- S.W. STONE WALL
- T.L. TREE LINE
- 100 FT BUFFER FRONT AREA
- 200 FT BUFFER FRONT AREA
- 300 FT BUFFER FRONT AREA
- 400 FT BUFFER FRONT AREA
- L.M. LIMIT OF MAIN
- V.M. VEGETATED WETLAND BOUNDARY

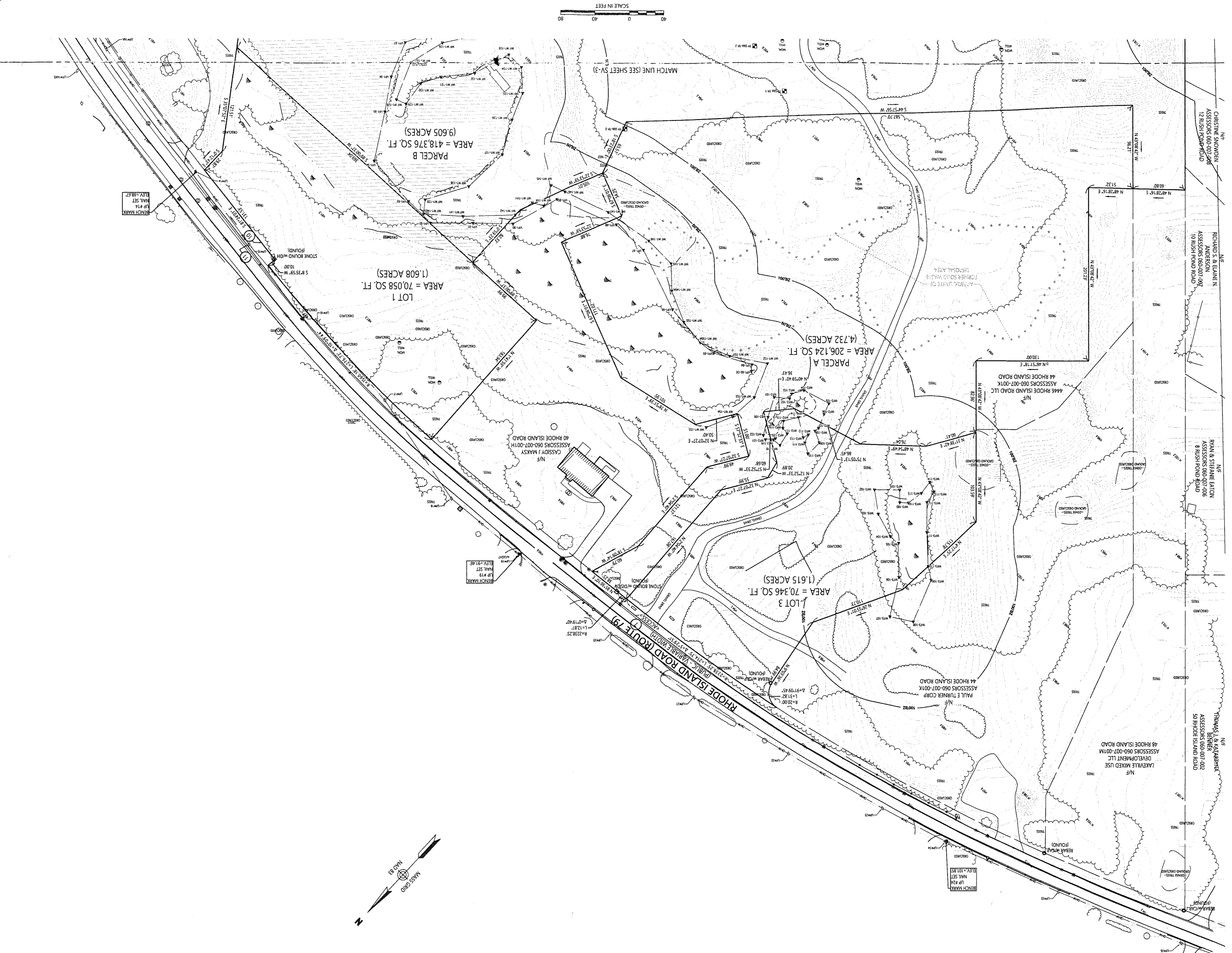
Lakeville Hospital
 43 Main Street
 Lakeville, Massachusetts

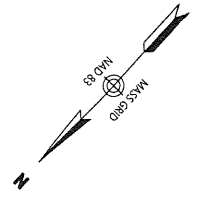
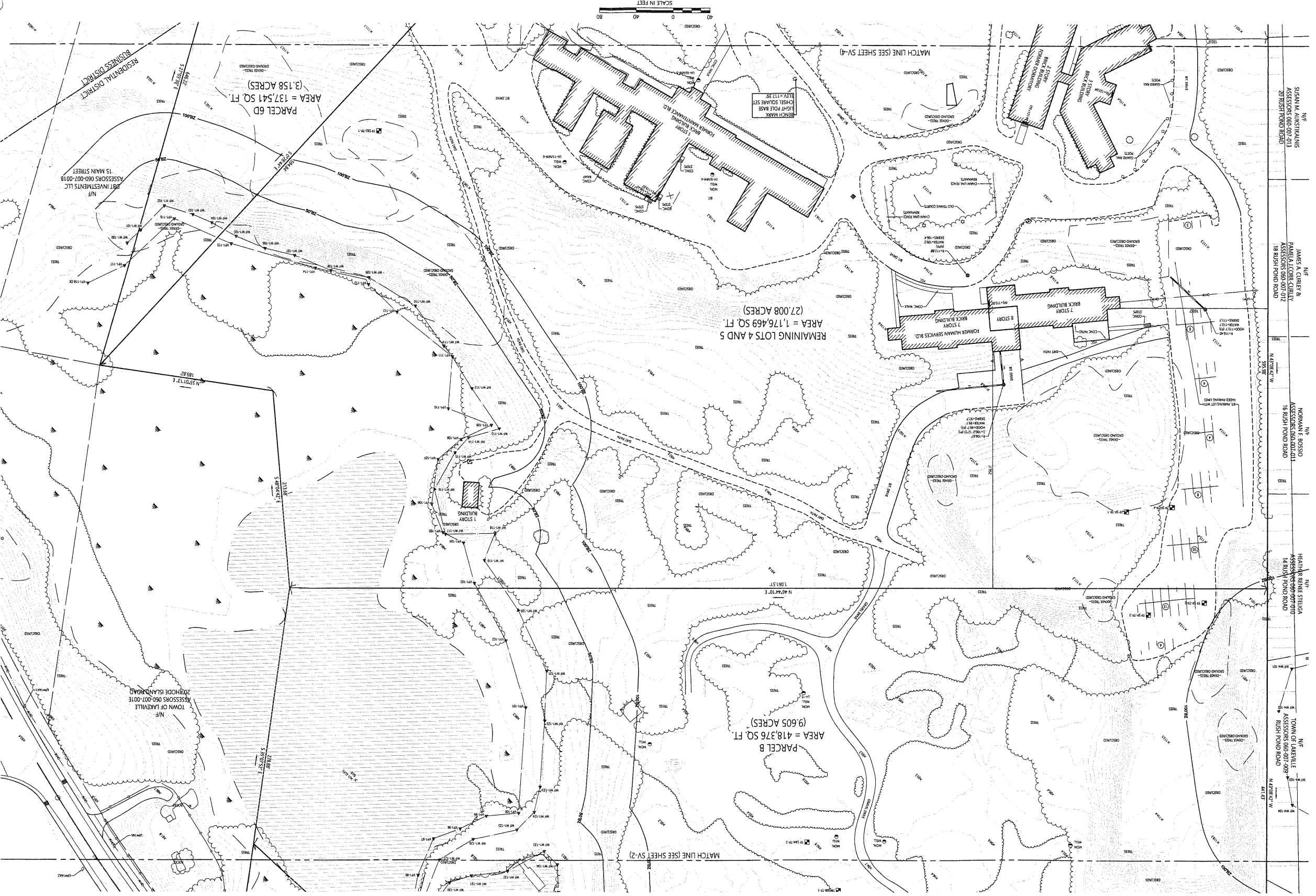
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DATE	08/25/20	REVISION	2
DATE		REVISION	3
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DATE		REVISION	5
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DATE		REVISION	98
DATE		REVISION	99
DATE		REVISION	100

Existing Conditions
 Plan of Land

SV-2

5-5-2021
 1849 00





101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

vh6.com

Legend

- ① DRAIN MANHOLE
- ② CATCH BASIN
- ③ SEWER MANHOLE
- ④ ELECTRIC MANHOLE
- ⑤ TELEPHONE MANHOLE
- ⑥ MANHOLE
- ⑦ TELEPHONE
- ⑧ FREE HYDRANT
- ⑨ WATER GATE
- ⑩ FRESH WATER
- ⑪ GAS LANT
- ⑫ STREET SIGN
- ⑬ LIGHT POLE
- ⑭ LIGHT POLE
- ⑮ GUY WIRE
- ⑯ MONITORING WELL
- ⑰ FLOOD LIGHT
- ⑱ WELL
- ⑲ FEE 45.27
- ⑳ FINISHED FLOOR ELEVATION
- ⑳ NO PILES VISIBLE
- ㉑ DOUBLE YELLOW LINE
- ㉒ DASHED WHITE LINE
- ㉓ SINGLED YELLOW LINE
- ㉔ LANDSCAPED AREA
- ㉕ EDGE OF PAVEMENT
- ㉖ CONCRETE CURB
- ㉗ VERTICAL GRANITE CURB
- ㉘ BRUNNICKS CURB
- ㉙ BRUNNICKS BEAR
- ㉚ BRUNNICKS CURB
- ㉛ CHAIN LINK FENCE
- ㉜ GRANITE CURB
- ㉝ DRIVEWAY LINE
- ㉞ SEWER LINE
- ㉟ OVERHEAD WIRE
- Ⓛ UNDERGROUND ELECTRIC
- Ⓜ TELEPHONE LINE
- Ⓨ GAS LINE
- Ⓩ TREE LINE
- Ⓩ STONE WALL
- Ⓩ 100 FT BUFFER ZONE
- Ⓩ 200 FT BUFFER FROM AREA
- Ⓩ 100 FT BUFFER FROM AREA
- Ⓩ LIMIT MEAN ANNUAL HIGH WATER
- Ⓩ VEGETATED WETLAND BOUNDARY

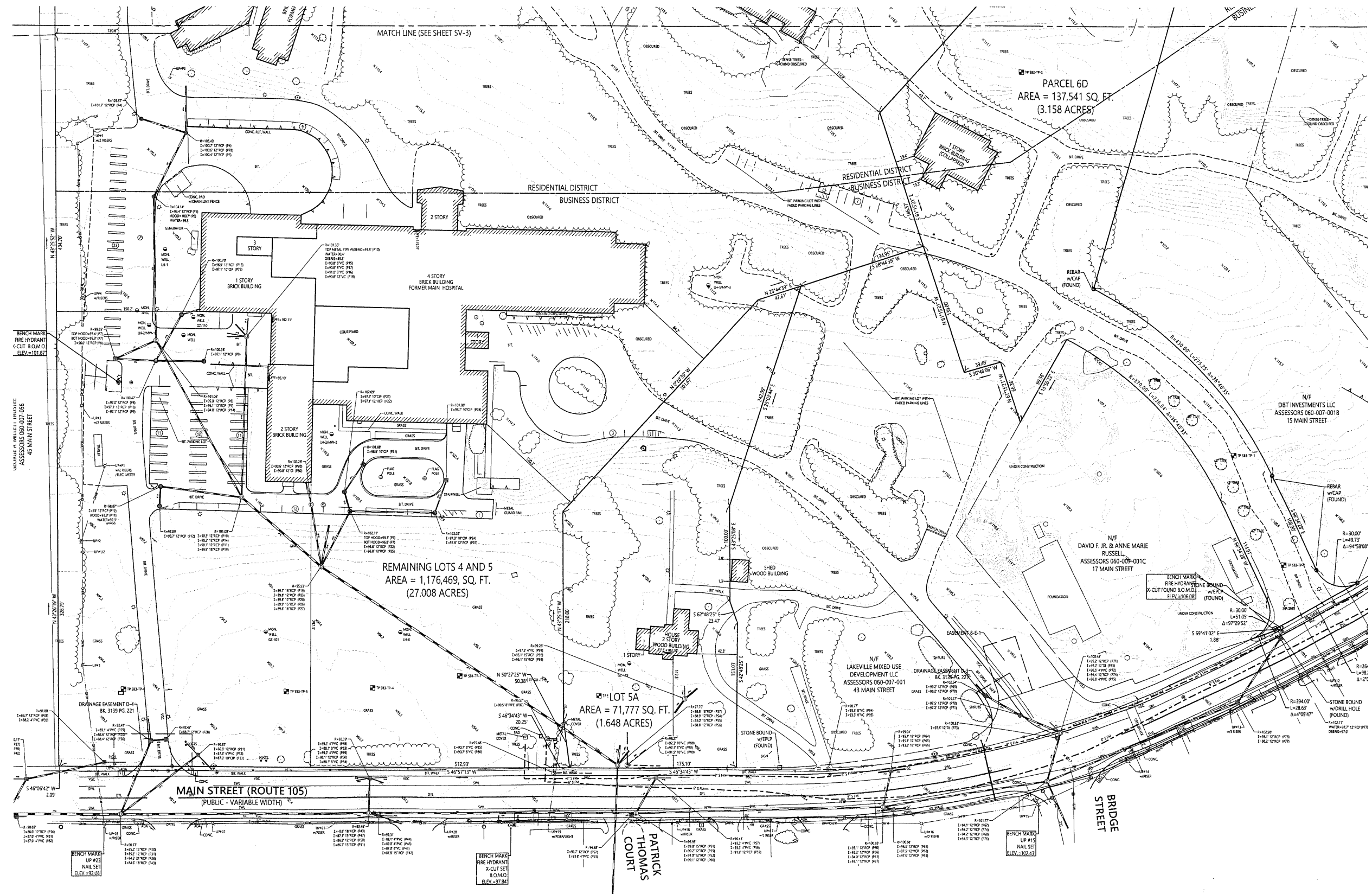
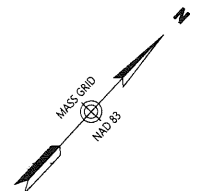
Lakeville Hospital

43 Main Street
Lakeville, Massachusetts

Author	MA
Checker	MA
Reviewer	MA
Approved By	MA
Created By	MA
Checked By	MA
August 25, 2020	

Existing Conditions

SV-3



- Legend**
- DRAIN MANHOLE
 - CATCH BASIN
 - SEWER MANHOLE
 - ELECTRIC MANHOLE
 - TELEPHONE MANHOLE
 - MANHOLE
 - HAND HOLE
 - WATER GATE
 - FIRE HYDRANT
 - GAS GATE
 - BOLLARD w/LIGHT
 - STREET SIGN
 - LIGHT POLE
 - UTILITY POLE
 - GUY POLE
 - GUY WIRE
 - MONITORING WELL
 - FLOOD LIGHT
 - WELL
 - MARCH
 - F.F.E.#4327
 - FINISHED FLOOR ELEVATION
 - C/O NO PRESS VISIBLE
 - DYL DOUBLE YELLOW LINE
 - DWL DASHED WHITE LINE
 - SYL SINGLE YELLOW LINE
 - LSA LANDSCAPED AREA
 - E.P. EDGE OF PAVEMENT
 - C.C. CONCRETE CURB
 - V.G.C. VERTICAL GRANITE CURB
 - S.G.E. SLOPED GRANITE EDGE
 - B.B.M. BITUMINOUS BERM
 - B.C.L. BITUMINOUS CURB
 - G.R. GUARD RAIL
 - C.L.F. CHAIN LINK FENCE
 - D.L. DRAINAGE LINE
 - S.L. SEWER LINE
 - O.W. OVERHEAD WIRE
 - U.E. UNDERGROUND ELECTRIC
 - T.L. TELEPHONE LINE
 - G.L. GAS LINE
 - W.L. WATER LINE
 - S.W. STONE WALL
 - T.L. TREE LINE
 - 100.F. 100-FT BUFFER ZONE
 - 100.F.R. 100-FT RIVER FRONT AREA
 - 200.F.R. 200-FT RIVER FRONT AREA
 - L.M.A. LIMIT MEAN ANNUAL HIGH WATER
 - L.B. LIMIT OF BANK
 - V.W.B. VEGETATED WETLAND BOUNDARY

Lakeville Hospital
43 Main Street
Lakeville, Massachusetts

No.	Revision	Date	Apprv.
1	WETLANDS UPDATE	12/7/20	CDK
2	OWNERSHIP UPDATE	5/5/21	CDK

Designed by: _____ Checked by: _____
Scale: _____ Date: August 25, 2020

**Existing Conditions
Plan of Land**

Drawing Number

Sv-4

4 of 4

Project Number
14849.00



Town of Lakeville

PLANNING BOARD

346 Bedford Street

Lakeville, MA 02347

774-776-4350



NOTICE OF PUBLIC HEARING

The LAKEVILLE PLANNING BOARD will conduct a public hearing pursuant to MASS GENERAL LAWS CHAPTER 41, SECTION 81T on **THURSDAY, December 8, 2022**, at 7:00 P.M. in the **LAKEVILLE PUBLIC LIBRARY, 4 PRECINCT STREET**, to consider the application of **Derek A. & Madelyn J. Maksy and Webster Realty Trust** for approval of a definitive subdivision plan entitled: **Definitive Subdivision Plan, Country Club Way, A Subdivision in Lakeville, MA** submitted by **Hancock Associates** for a **two (2) lot subdivision** located at **44 Clear Pond Road, Assessors Map 059, Block 001, Lot 050**. The land is owned by **Derek A. & Madelyn J. Maksy, Trustees Webster Realty Trust**.

Plans are available for electronic viewing on the Town's website on the Planning Department page or may be viewed in person, by appointment only, by contacting the Planning Department at 774-776-4350.

Lakeville Planning Board,
Mark Knox, Chairman

November 24, 2022, & December 1, 2022



Date Submitted: 11-17-22

Town of Lakeville
PLANNING BOARD
346 Bedford Street
Lakeville, MA 02347
508-946-8803

RECEIVED

NOV 17 2022

LAKEVILLE TOWN CLERK

FORM C

APPLICATION FOR APPROVAL OF DEFINITIVE PLAN

File one completed Form C with the Planning Board and one copy with the Town Clerk in accordance with the requirements of Section III-B

To the Planning Board:

The undersigned herewith submits the accompanying Definitive Plan of property located in the Town of Lakeville for approval as a subdivision as allowed under the Subdivision Control Law, and the Rules & Regulations governing the subdivision of land of the Planning Board of the Town of Lakeville.

1. Name of Sub Divider: Derek A. & Madelyn J. Maksy and Webster Realty Trust
Address: 44 Clear Pond Rd. Lakeville, MA 02347
2. Name of Engineer or Surveyor: Joseph D. Peznola, PE & Jason A. Ellis, PLS
Hancock Survey Associates, Inc.
Address: 315 Elm Street Marlborough, MA 01752
3. Deed of property recorded in Plymouth County Registry,
Book See attached list Page
4. Location and Description of Property: The property at 44 Clear Pond Rd in Lakeville is currently known as Lakeville Country Club, an 18-hole golf course restaurant, associated infrastructure and parking. The proposal is a two lot subdivision; one lot being the golf course and the second the solar field area.

A Preliminary Subdivision was filed April 19, 2022.

Derek A. Maksy, Madelyn J. Maksy
SIGNATURE OF OWNER: Derek A. Maksy, Madelyn J. Maksy

ADDRESS: 44 Clear Pond Road

Lakeville MA 01843

A list of the names and addresses of the abutters of this subdivision is attached.
Verification will be made by the Planning Board.

DEFINITIVE SUBDIVISION PLAN

COUNTRY CLUB WAY

A SUBDIVISION IN LAKEVILLE, MA

44 Clear Pond Road
Lakeville, Massachusetts 02347

Prepared for
Derek A. Maksy

SHEET INDEX

SHEET 1..... TITLE SHEET
 SHEET 2..... EXISTING CONDITIONS PLAN (KEY PLAN)
 SHEET 3..... EXISTING CONDITIONS PLAN (2)
 SHEET 4..... EXISTING CONDITIONS PLAN (3)
 SHEET 5..... EXISTING CONDITIONS PLAN (4)
 SHEET 6..... EXISTING CONDITIONS PLAN (5)
 SHEET 7..... EXISTING CONDITIONS PLAN (6)
 SHEET 8..... LOTTING PLAN (KEY MAP)
 SHEET 9..... LOTTING PLAN (2)
 SHEET 10..... LOTTING PLAN (3)
 SHEET 11..... LOTTING PLAN (4)
 SHEET 12..... LOTTING PLAN (5)
 SHEET 13..... LOTTING PLAN (6)
 SHEET 14..... PLAN AND PROFILE
 SHEET 15..... EROSION CONTROL PLAN
 SHEET 16..... DETAILS SHEET

WAIVERS REQUESTED

- THE FOLLOWING WAIVERS ARE REQUESTED FROM THE TOWN OF LAKEVILLE RULES AND REGULATIONS OF THE PLANNING BOARD GOVERNING THE SUBDIVISION OF LAND:
- SECTION III C.2. F - SEPTIC AND WELL ON ABUTTING LOTS HAVE BEEN TO THE EXTENT AVAILABLE.
 - SECTION IV B.2.D - PROPERTY LINES FOR CURB RADIUS - 30' PAVEMENT RADIUS IS PROVIDED.
 - SECTION IV B.6.G - ROADWAY CONSTRUCTION - COUNTRY DRAINAGE WITH SUPERELEVATED ROAD
 - SECTION IV B.7 - CURBS AND BERMS - CURB ON ONE SIDE ONLY TO SUPPORT DRAINAGE
 - SECTION IV I - STREET LIGHTS - NO LIGHTS PROPOSED
 - SECTION IV K - TREES - IN CONSIDERATION OF EXISTING MATURE TREES BEING RETAINED.

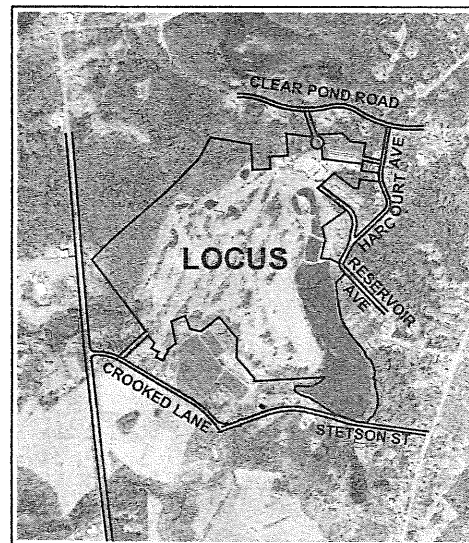
PROJECT TEAM

CIVIL ENGINEERS:

HANCOCK ASSOCIATES
315 ELM STREET
MARLBOROUGH, MASSACHUSETTS 01752

LAND SURVEYORS:

HANCOCK ASSOCIATES
315 ELM STREET
MARLBOROUGH, MASSACHUSETTS 01752



VICINITY MAP
SCALE: 1"=1000'

OWNER:

DEREK A. MAKSY & MADELYN MAKSY, WEBSTER REALTY TRUST
44 CLEAR POND ROAD
LAKEVILLE, MASSACHUSETTS 02347

APPLICANT:

DEREK A. MAKSY & MADELYN MAKSY, WEBSTER REALTY TRUST
44 CLEAR POND ROAD
LAKEVILLE, MASSACHUSETTS 02347

LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____
ENDORSED: _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
- SAFETY MEASURES, CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- ALL SITE CONSTRUCTION SHALL COMPLY WITH THE LAKEVILLE DEPARTMENT OF PUBLIC WORKS STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND / OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
- ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING HORIZONTAL AND VERTICAL MEASUREMENTS FOR ALL SUBSURFACE STRUCTURES. THIS INFORMATION SHALL BE REPORTED TO THE ENGINEER.
- ELEVATIONS REFER TO NAVD88 DATUM.

REGULATORY NOTES

- CONTRACTOR SHALL CONTACT "DIG-SAFE" FOR AN UNDERGROUND UTILITY MARKING AT 811 AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- ALL WORK OUTSIDE OF THE BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF THE BUILDING FOUNDATION SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.
- CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).

COUNTRY CLUB WAY
(A DEFINITIVE SUBDIVISION IN LAKEVILLE, MA)

44 Clear Pond Road
Lakeville, Massachusetts 02347

MAP	BLOCK	LOT
59	1	50

DEREK A. MAKSY
44 Clear Pond Road
Lakeville, Massachusetts 02347

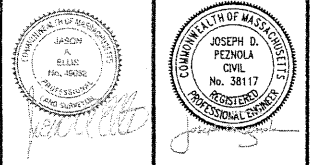
HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 11/15/2022 DRAWN BY: JML
SCALE: AS SHOWN CHECK BY: JAE

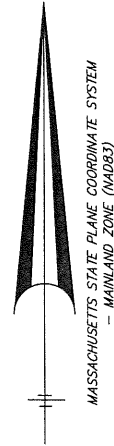
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PATH: G:\04 20 Projects\26623 - Hwy - Lakeville\DWG\DWG

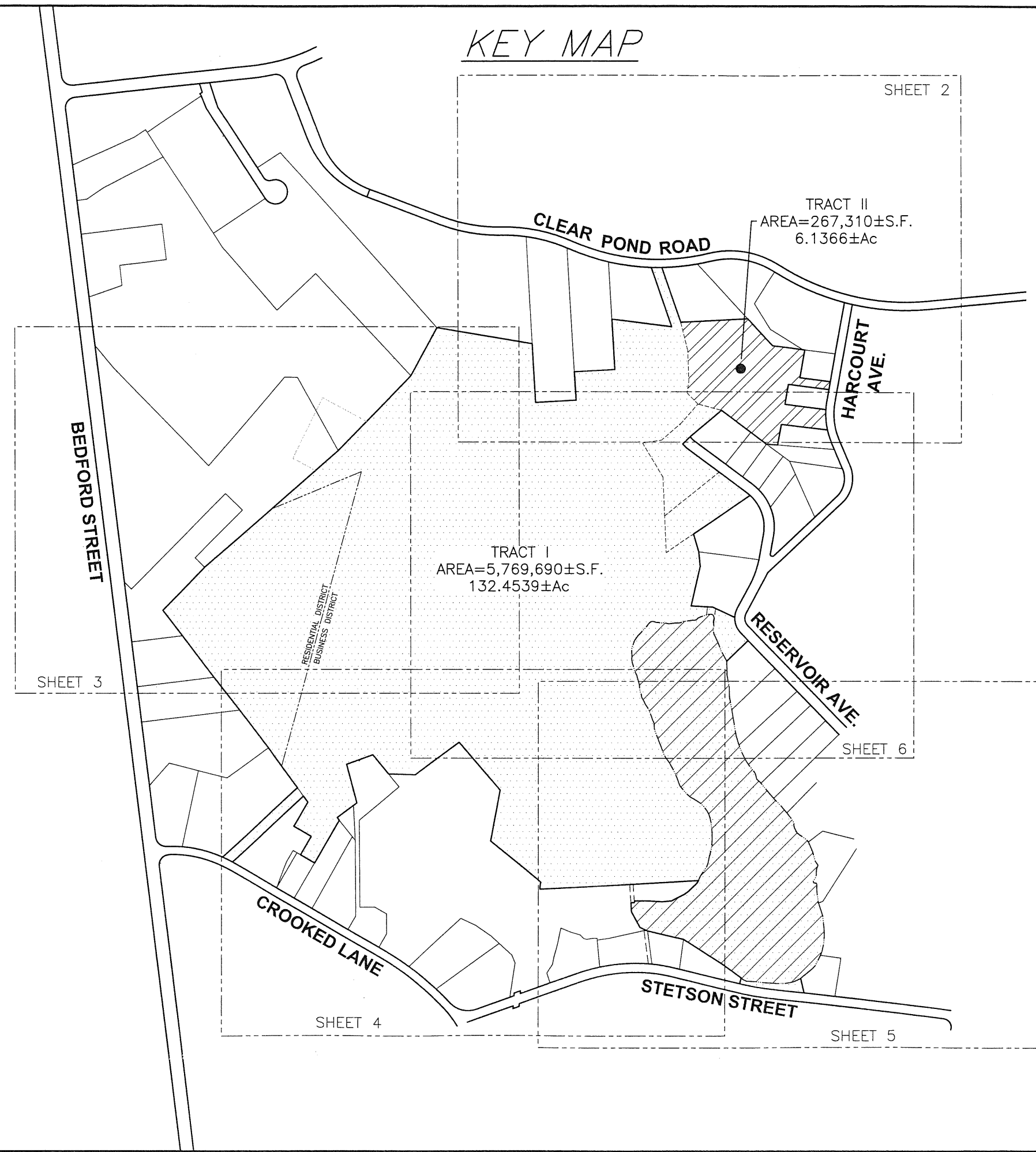
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LAYOUT: T51	
SHEET: 1 OF 16	

PROJECT NO.: 26623

RECEIVED
NOV 17 2022
LAKEVILLE TOWN CLERK



KEY MAP



ASSESSORS:

TRACT I
44 CLEAR POND ROAD
MAP 59, BLOCK 1, LOT 50
31 RESERVOIR AVENUE
MAP 59, BLOCK 1, LOT 50-2
33 RESERVOIR AVENUE
MAP 59, BLOCK 1, LOT 50-3

TRACT II
59 HARCOURT AVENUE
MAP 59, BLOCK 1, LOT 50-1

REFERENCES:

DEED BOOK 40414, PAGE 215 (TRACT I)
DEED BOOK 48309, PAGE 345 (TRACT II)
PLAN IN BOOK 6, PAGE 211
PLAN IN BOOK 29, PAGE 374
PLAN IN BOOK 40, PAGE 1008
PLAN IN BOOK 40, PAGE 1105
PLAN IN BOOK 53, PAGE 324
PLAN IN BOOK 53, PAGE 345
PLAN IN BOOK 56, PAGE 775
PLAN IN BOOK 63, PAGE 489

RECORD OWNER:

TRACT I: WEBSTER REALTY TRUST
DEREK A. MAKSY, TRUSTEE

TRACT II: DEREK A. MAKSY
44 CLEAR POND ROAD
LAKEVILLE, MA 02347

ZONING: (FROM TOWN OF LAKEVILLE ZONING MAP, DATED OCTOBER 11, 2018)
BUSINESS RESIDENTIAL

- NOTES:**
- 1) THE HORIZONTAL DATUM FOR THIS SURVEY IS THE MASSACHUSETTS COORDINATE SYSTEM, NAD 1983, MAINLAND ZONE. THE VERTICAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). SAID DATUMS WERE ESTABLISHED VIA GPS OBSERVATIONS UTILIZING NAD83 (NA2011) EPOCH 2010.00 (MYCS2) AND GEOID 18.
 - 2) THE TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED AND PROVIDED BY EASTERN TOPOGRAPHICS OF WOLFEBORO, NEW HAMPSHIRE. THIS MAPPING WAS COLLECTED FROM AERIAL PHOTOGRAPHY AND BARE GROUND LIDAR ACQUISITION USING DIGITAL TERRAIN MODELING (DTM) METHODS WITH KLT ATLAS SOFTWARE.
 - 3) WETLANDS SHOWN HEREON WERE DELINEATED BY OTHERS AND LOCATED VIA FIELD SURVEY BY HANCOCK ASSOCIATES IN APRIL THROUGH AUGUST, 2022.
 - 4) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE CITY ENGINEERING OFFICES, CITY D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
 - 5) LOCATION OF ABUTTING LAND OF JOHN E. BEECH SHOWN HEREON WAS COMPILED FROM TOWN OF LAKEVILLE GIS MAPPING SYSTEM. THE LOT COULD NOT BE ACCURATELY PLACED DUE TO POOR DEED DESCRIPTIONS AND LACK OF RECORD PLANS.

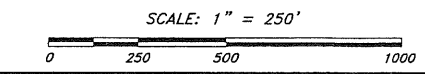
LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____

ENDORSED: _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLFRK, LAKEVILLE, MA DATE _____



#44
CLEAR
POND ROAD

Lakeville, Massachusetts 02347

PREPARED FOR:

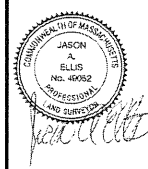
**DEREK
A.
MAKSY**

44 Clear Pond Road
Lakeville, Massachusetts 02347

**HANCOCK
ASSOCIATES**

Civil Engineers
Land Surveyors
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

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SCALE: 1"=250' CHECK BY: JAE

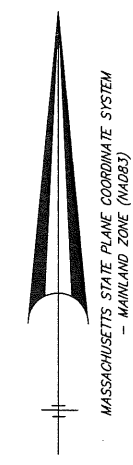
**EXISTING CONDITIONS
PLAN OF LAND
IN
LAKEVILLE, MA**

PLT DATE: Nov 15, 2022 6:10 pm
PATH: C:\G04_20 Projects\26623 - Maksy - Lakeville\Surv\DWG\
DWG: 26623sv.dwg
LAYOUT: EC
SHEET: 2 OF 16
PROJECT NO.: 26623



- LEGEND**
- 102 SURFACE CONTOUR
 - STONE WALL
 - METAL GUARDRAIL
 - EDGE OF PAVEMENT
 - CHAIN LINK FENCE
 - WIRE FENCE
 - WOOD FENCE
 - 86.75 CURB WITH TOP AND BOTTOM CURB ELEVATION
 - 86.25
 - EDGE OF WOODED AREA
 - SEWERLINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION
 - 12" RCP
 - DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, MANHOLE & ROUND CATCHBASIN
 - WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
 - 10" DI
 - GAS MAIN WITH SIZE & GATE VALVE
 - #81 OHW EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
 - E ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES
 - T TELEPHONE MANHOLE & UNDERGROUND TELEPHONE LINES
 - RETAINING WALL
 - STONE RETAINING WALL
 - HEDGE LINE
 - 79.3 LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER AND ELEVATION
 - WFA2
 - EDGE OF GRAVEL ROAD

- x 100.7 SPOT ELEVATION
- 93.7 PROMINENT DECIDUOUS TREE WITH ELEVATION, SIZE AND SPECIES
- 12" M
- 96.2 PROMINENT CONIFEROUS TREE WITH ELEVATION, SIZE AND SPECIES
- 18" P
- LIGHT POLE
- TYPICAL SHRUB
- 104.1 MONITORING WELL WITH TOP METAL CASING EL.
- RCP REINFORCED CONCRETE PIPE
- DHCB DRILL HOLE IN CONCRETE BOUND
- DHSB DRILL HOLE IN STONE BOUND
- I.P.I.P.E IRON PIPE
- I.ROD IRON ROD
- MHB MASS HIGHWAY BOUND



#44
CLEAR
POND ROAD

Lakeville, Massachusetts 02347

PREPARED FOR:

DEREK
A.
MAKSY

44 Clear Pond Road
Lakeville, Massachusetts 02347

LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____

ENDORSED: _____

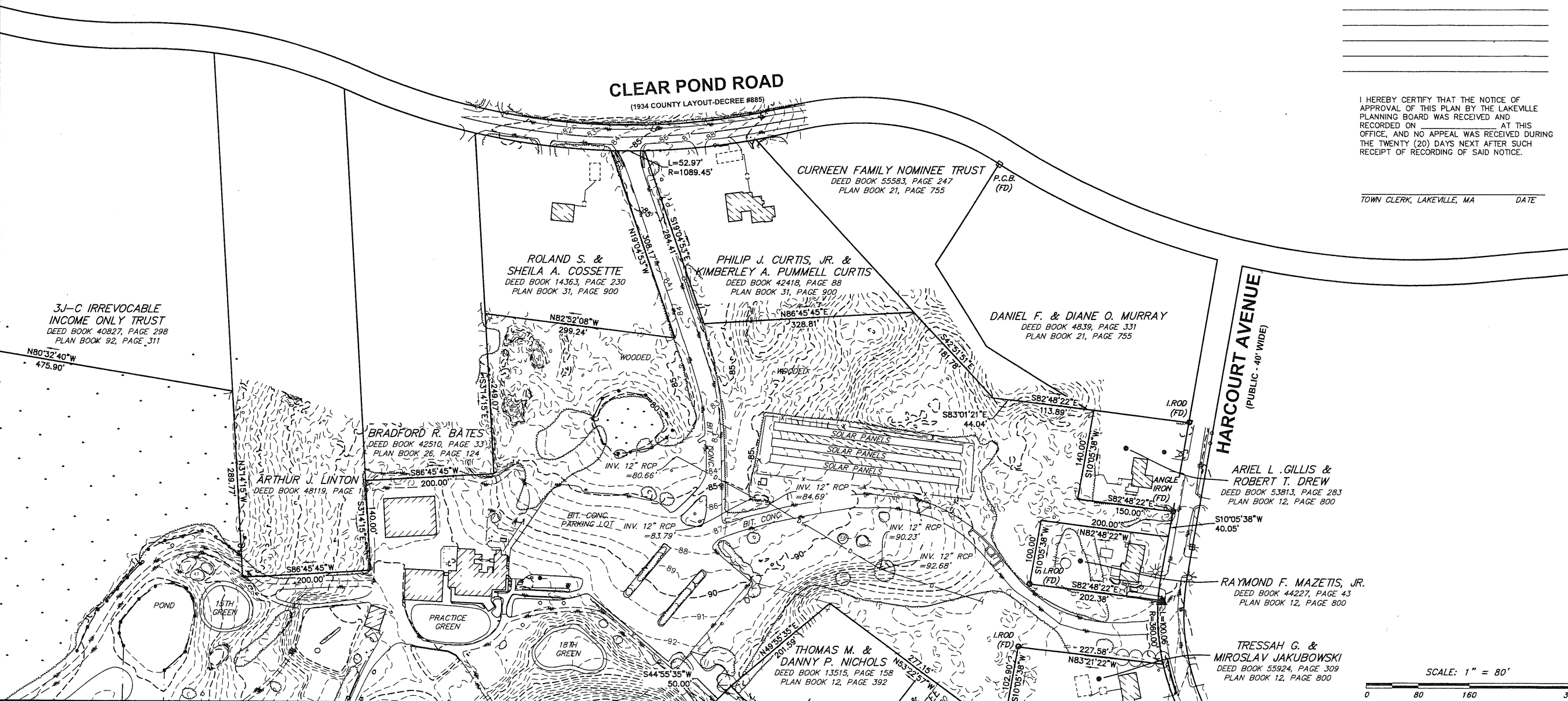
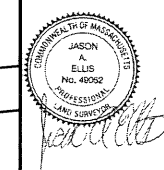
I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

**HANCOCK
ASSOCIATES**

Civil Engineers
Land Surveyors
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

**EXISTING CONDITIONS
PLAN OF LAND
IN
LAKEVILLE, MA**

PLOT DATE: Nov 15, 2022 4:10 pm
PATH: G:\CH 30 Projects\28623 - Maksy - Lakeville\28623.dwg
DWG: 26623sv.dwg
LAYOUT: EC (2)
SHEET: 3 OF 16
PROJECT NO.: 26623

EC-2

#44
CLEAR
POND ROAD

Lakeville, Massachusetts 02347

PREPARED FOR:

DEREK
A.
MAKSY

44 Clear Pond Road
Lakeville, Massachusetts 02347

HANCOCK
ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



Jason A. Ellis

NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

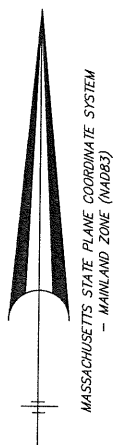
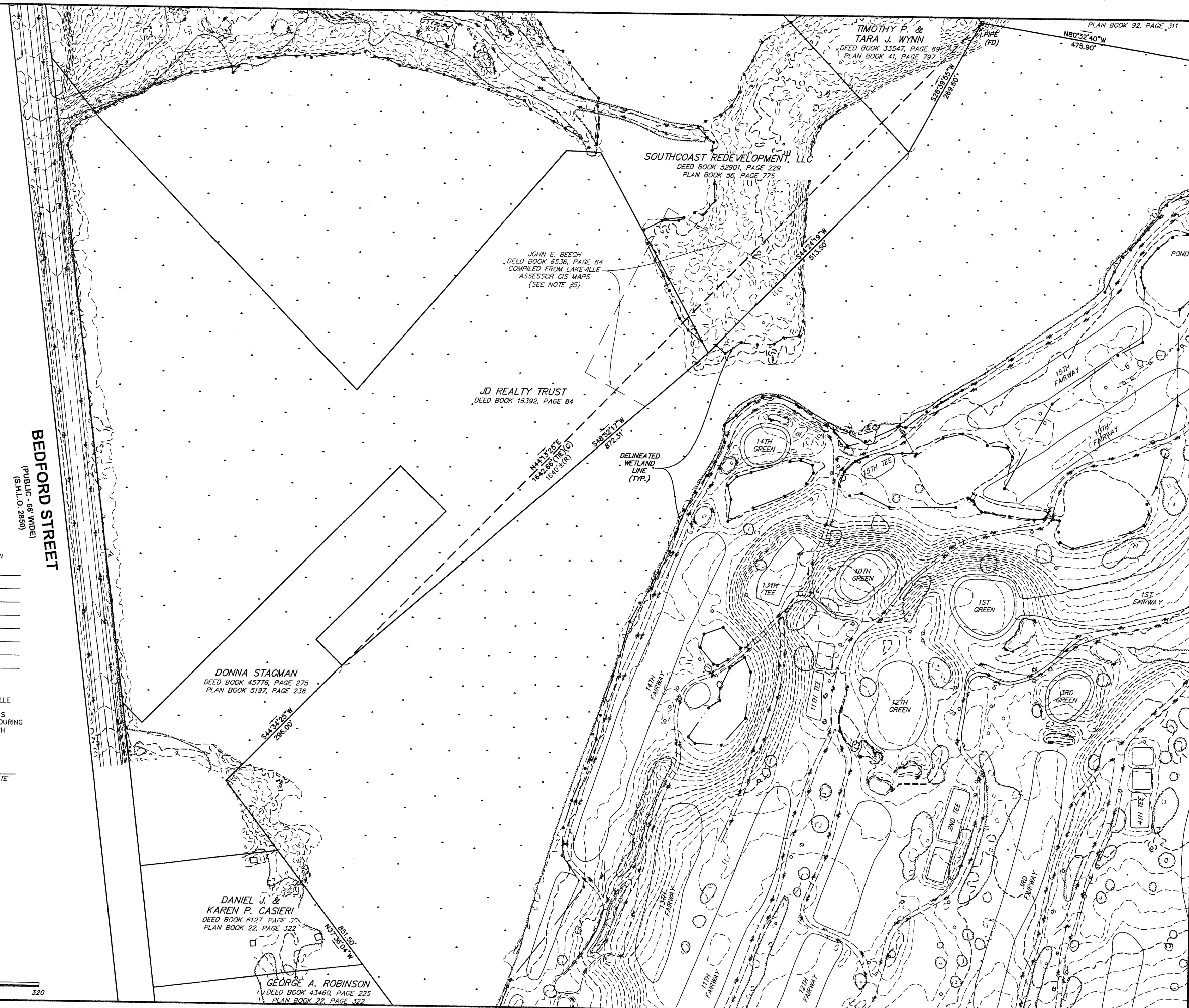
DATE: 11/15/2022 DRAWN BY: JML
SCALE: 1"=80' CHECK BY: JAE

EXISTING CONDITIONS
PLAN OF LAND
IN
LAKEVILLE, MA

PLOT DATE: Nov 15, 2022, 4:10 pm
P&S: G:\DWG 3D Project\26623 - Maksy - Lakeville\DWG\

DWG: 26623sv.dwg
LAYOUT: EC (3)
SHEET: 4 OF 16
PROJECT NO.: 26623

EC-3



MASSACHUSETTS STATE PLANE COORDINATE SYSTEM
- MAINLAND ZONE (MAD83)

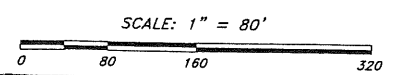
BEDFORD STREET
(PUBLIC - 66' WIDE)
(S.H.L.O. 2850)

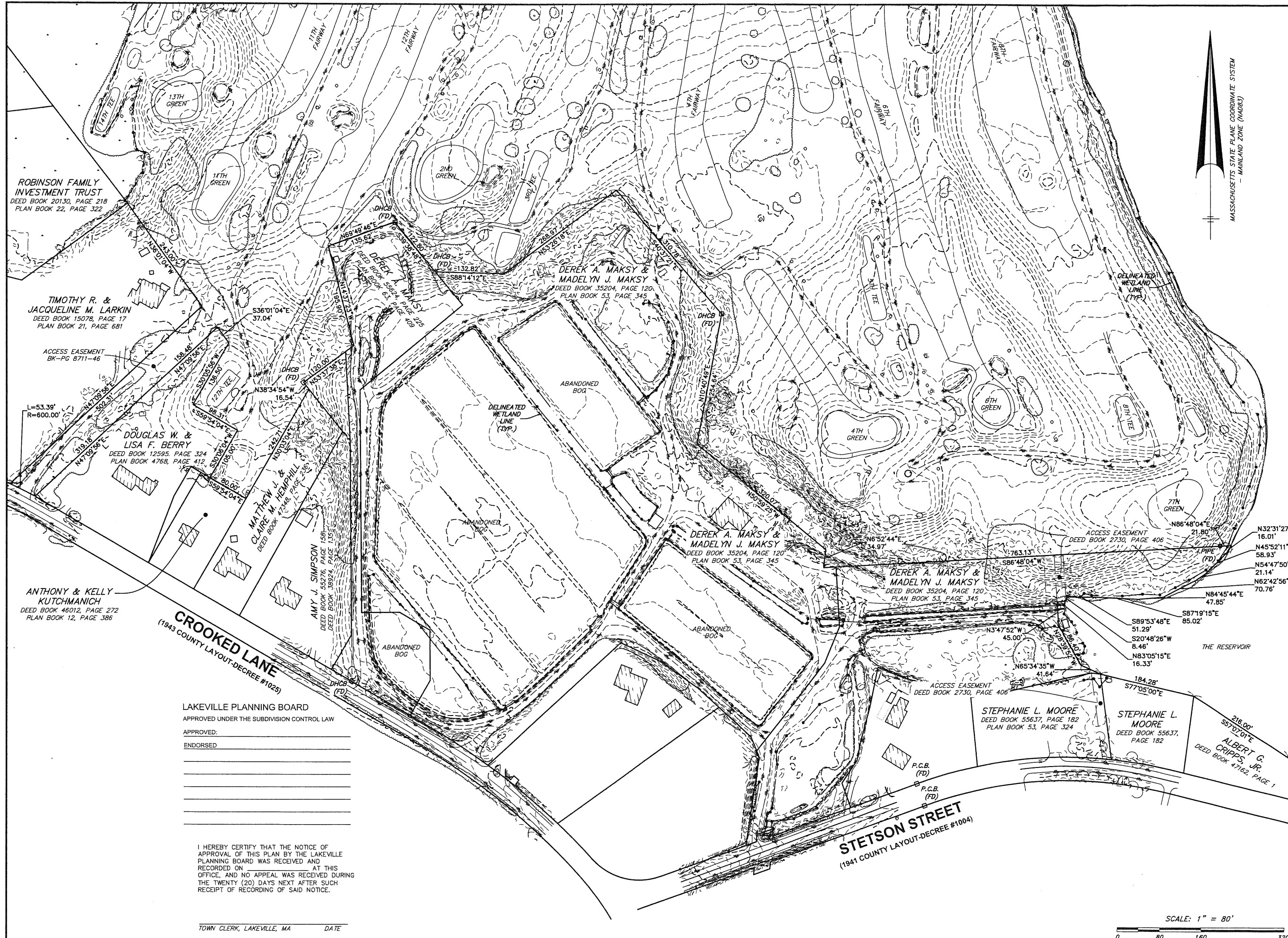
LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____
ENDORSED: _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____





#44
CLEAR
POND ROAD

Lakeville, Massachusetts 02347

PREPARED FOR
**DEREK
A.
MAKSY**

44 Clear Pond Road
Lakeville, Massachusetts 02347

**HANCOCK
ASSOCIATES**

Civil Engineers
Land Surveyors
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 11/15/2022 DRAWN BY: JML
SCALE: 1" = 80' CHECK BY: JAE

**EXISTING CONDITIONS
PLAN OF LAND
IN
LAKEVILLE, MA**

PLOT DATE: Nov 15, 2022 4:11 pm
PATH: G:\DM 3D Projects\26623 - Maksy - Lakeville\DWG\

DWG: 26623sv.dwg
LAYOUT: EC (4)

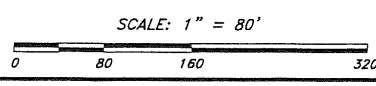
SHEET: 5 OF 16

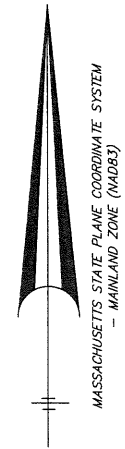
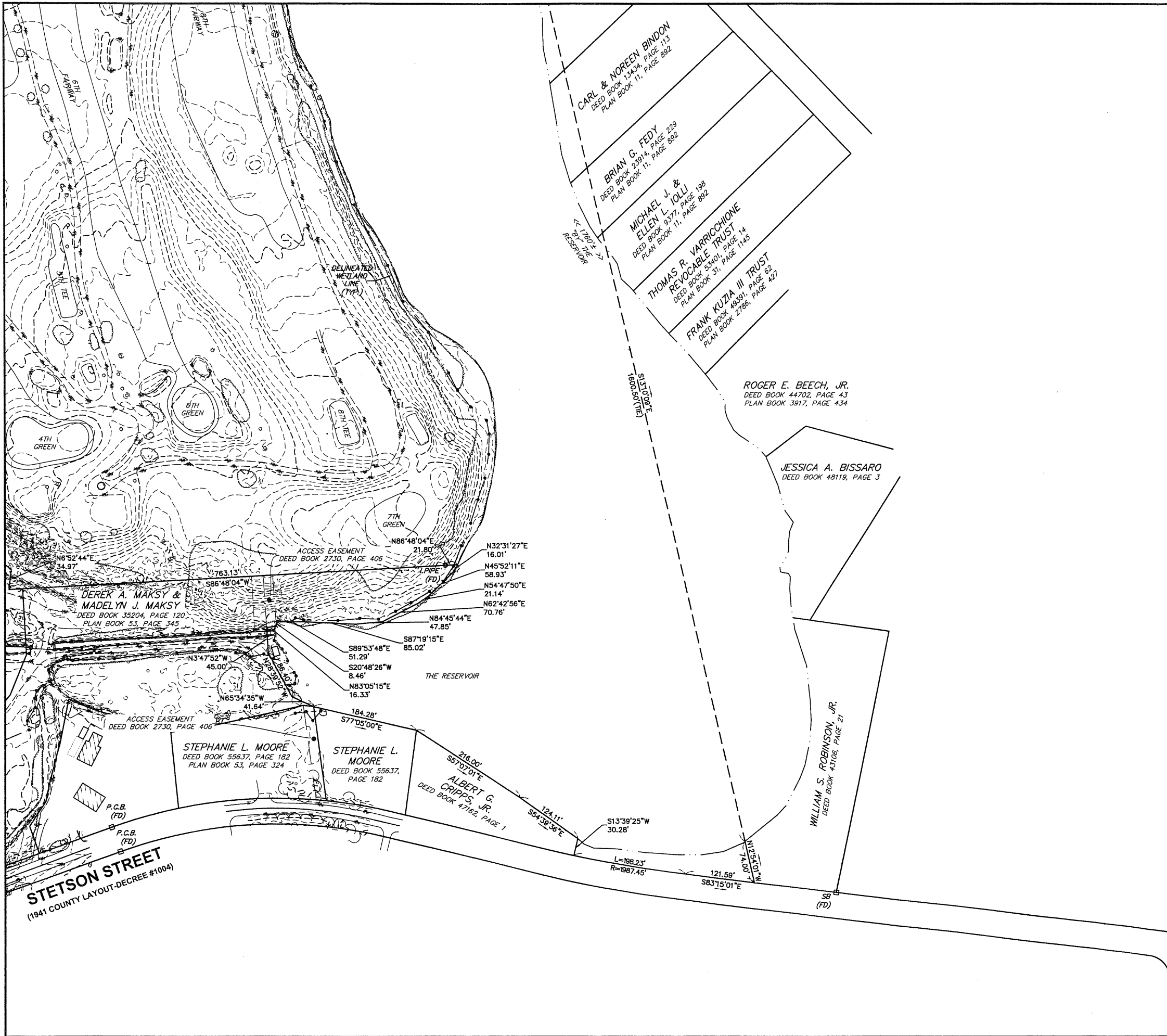
PROJECT NO.: 26623

LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW
APPROVED: _____
ENDORSED: _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____





LAKEVILLE PLANNING BOARD
 APPROVED UNDER THE SUBDIVISION CONTROL LAW
 APPROVED: _____
 ENDORSED _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA _____ DATE _____

#44 CLEAR POND ROAD

Lakeville, Massachusetts 02347

PREPARED FOR:

**DEREK
A.
MAKSY**

44 Clear Pond Road
 Lakeville, Massachusetts 02347

HANCOCK ASSOCIATES

Civil Engineers
 Land Surveyors
 Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
 VOICE (508) 460-1111, FAX (508) 460-1121
 WWW.HANCOCKASSOCIATES.COM



NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 11/15/2022 DRAWN BY: JML
 SCALE: 1"=80' CHECK BY: JAE

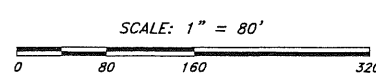
EXISTING CONDITIONS PLAN OF LAND IN LAKEVILLE, MA

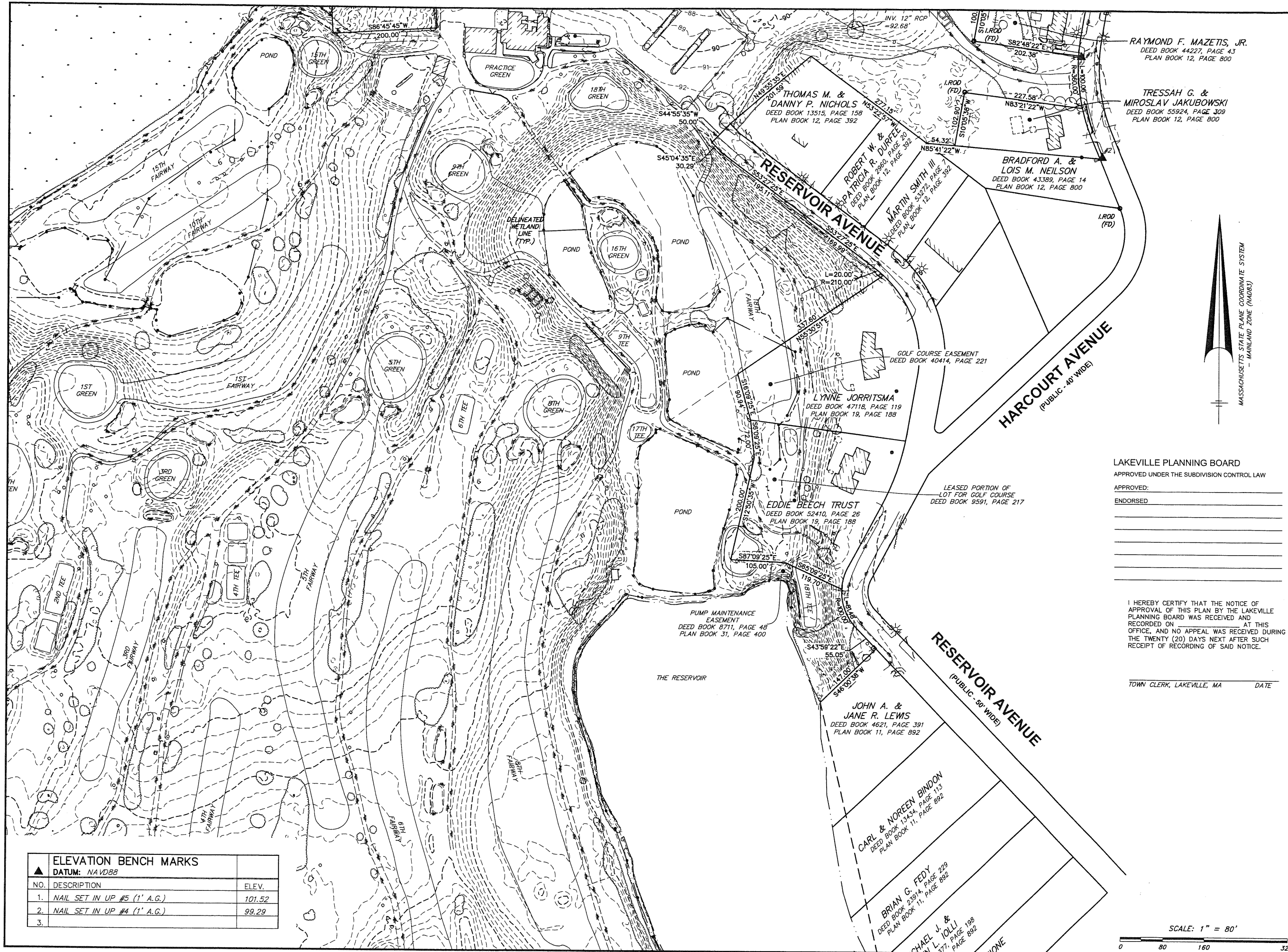
PLOT DATE: Nov 14, 2022 4:11 pm
 PATH: Q:\CN 30 Projects\26623 - Maksy - Lakeville\Surv\HWG\

DWG: 26623sv.dwg
 LAYOUT: EC (5)
 SHEET: 6 OF 16

EC-5

PROJECT NO.: 26623





#44
CLEAR
POND ROAD

Lakeville, Massachusetts 02347

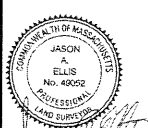
PREPARED FOR
**DEREK
A.
MAKSY**

44 Clear Pond Road
Lakeville, Massachusetts 02347

**HANCOCK
ASSOCIATES**

Civil Engineers
Land Surveyors
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW
APPROVED: _____
ENDORSED: _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

ELEVATION BENCH MARKS		
DATUM: NAVD88		
NO.	DESCRIPTION	ELEV.
1.	NAIL SET IN UP #5 (1' A.G.)	101.52
2.	NAIL SET IN UP #4 (1' A.G.)	99.29
3.		

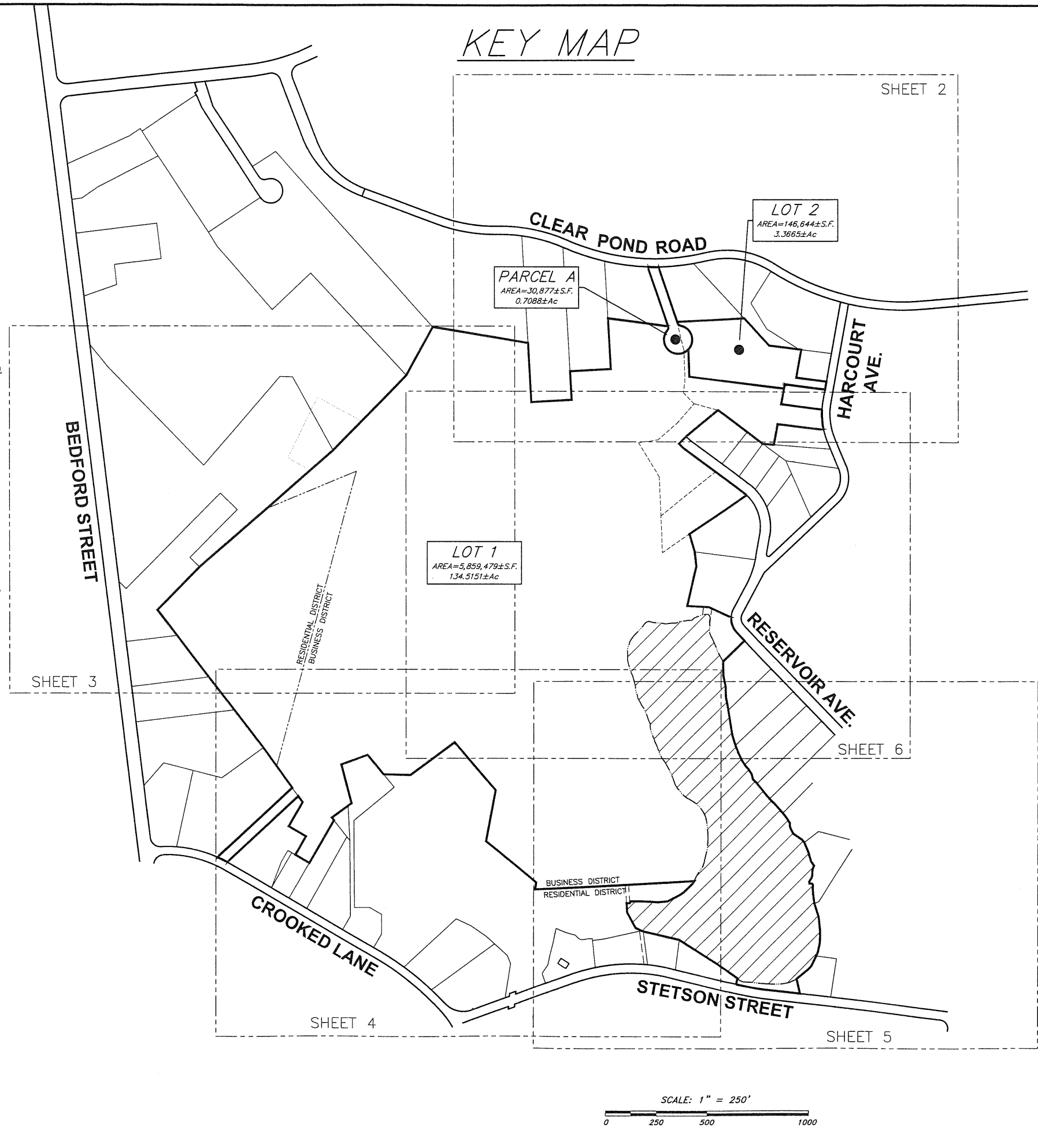
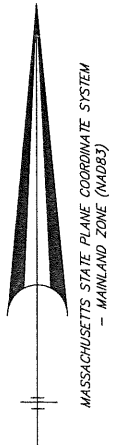
SCALE: 1" = 80'
0 80 160 320

**EXISTING CONDITIONS
PLAN OF LAND
IN
LAKEVILLE, MA**

PLUT DATE: Nov 15, 2022 8:11 pm
DATE: 11/15/2022 DRAWN BY: JML
SCALE: 1"=80' CHECK BY: JAE
DWG: 26623sv.dwg
LAYOUT: EC (6)
SHEET: 7 OF 16
PROJECT NO.: 26623

EC-6

KEY MAP

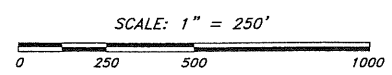


- NOTES:**
- 1) THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE 44 CLEAR POND ROAD (MAP 59, BLOCK 1, LOT 50), 31 RESERVOIR AVENUE (MAP 59, BLOCK 1, LOT 50-2), 33 RESERVOIR AVENUE (MAP 59, BLOCK 1, LOT 50-3) AND 59 HARCOURT AVENUE (MAP 59, BLOCK 1, LOT 50-1) INTO TWO (2) BUILDABLE LOTS AND COUNTRY CLUB WAY (PARCEL A).
 - 2) THE HORIZONTAL DATUM FOR THIS SURVEY IS THE MASSACHUSETTS COORDINATE SYSTEM, NAD 1983, MAINLAND ZONE. SAID DATUM WAS ESTABLISHED VIA GPS OBSERVATIONS UTILIZING NAD83 (NA2011) EPOCH 2010.00 (MYCS2) AND GEOID 18.
 - 3) WETLANDS SHOWN HEREON WERE DELINEATED BY OTHERS AND LOCATED VIA FIELD SURVEY BY HANCOCK ASSOCIATES IN APRIL THROUGH AUGUST, 2022.
 - 4) COUNTRY CLUB WAY IS A PROPOSED VARIABLE WIDTH PRIVATE RIGHT OF WAY.
 - 5) LOCATION OF ABUTTING LAND OF JOHN E. BEECH SHOWN HEREON WAS COMPILED FROM TOWN OF LAKEVILLE GIS MAPPING SYSTEM. THE LOT COULD NOT BE ACCURATELY PLACED DUE TO POOR DEED DESCRIPTIONS AND LACK OF RECORD PLANS.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE _____ PROFESSIONAL LAND SURVEYOR

FOR REGISTRY USE



ASSESSORS:
 44 CLEAR POND ROAD
 MAP 59, BLOCK 1, LOT 50
 31 RESERVOIR AVENUE
 MAP 59, BLOCK 1, LOT 50-2
 33 RESERVOIR AVENUE
 MAP 59, BLOCK 1, LOT 50-3
 59 HARCOURT AVENUE
 MAP 59, BLOCK 1, LOT 50-1

REFERENCES:
 DEED BOOK 40414, PAGE 215 (TRACT I)
 DEED BOOK 48309, PAGE 345 (TRACT II)
 PLAN IN BOOK 6, PAGE 211
 PLAN IN BOOK 29, PAGE 374
 PLAN IN BOOK 40, PAGE 1008
 PLAN IN BOOK 40, PAGE 1105
 PLAN IN BOOK 53, PAGE 324
 PLAN IN BOOK 53, PAGE 345
 PLAN IN BOOK 56, PAGE 775
 PLAN IN BOOK 63, PAGE 489

RECORD OWNER:
 WEBSTER REALTY TRUST
 DEREK A. MAKSY, TRUSTEE

ZONING: (FROM TOWN OF LAKEVILLE ZONING MAP, DATED OCTOBER 11, 2018)
 BUSINESS
 RESIDENTIAL

ZONING TABLE

LOT 1		
	REQUIRED	PROPOSED
LOT AREA	70,000 S.F.	5,859,479± S.F.
FRONTAGE (ON PROPOSED R.O.W.)	175 FEET	237.79 FEET
FRONTAGE (TOTAL ON ALL OTHER ROADS)	175 FEET	1,075 FEET

LOT 2		
	REQUIRED	PROPOSED
LOT AREA	70,000 S.F.	146,644± S.F.
FRONTAGE (ON PROPOSED R.O.W.)	175 FEET	176.90 FEET
FRONTAGE (TOTAL ON ALL OTHER ROADS)	175 FEET	40.1 FEET

SETBACKS	
MOVE	40 FEET (MIN.)
SIDE YARD	40 FEET (MIN.)
REAR YARD	40 FEET (MIN.)

LAKEVILLE PLANNING BOARD
 APPROVED UNDER THE SUBDIVISION CONTROL LAW
 APPROVED: _____
 ENDORSED _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

COUNTRY CLUB WAY
 (A DEFINITIVE SUBDIVISION IN LAKEVILLE, MA)

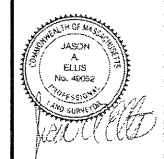
44 Clear Pond Road
 Lakeville, Massachusetts 02347

ASSESSORS:

MAP	BLOCK	LOT
59	1	50

PREPARED FOR:
DEREK A. MAKSY
 44 Clear Pond Road
 Lakeville, Massachusetts 02347

HANCOCK ASSOCIATES
 Civil Engineers
 Land Surveyors
 Wetland Scientists
 315 ELM STREET, MARLBOROUGH, MA 01752
 VOICE (508) 460-1111, FAX (508) 460-1121
 WWW.HANCOCKASSOCIATES.COM

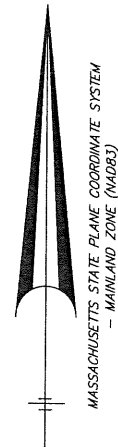


NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION

DATE: 11/15/2022 DRAWN BY: JML
 SCALE: 1"=250' CHECK BY: JAE

DEFINITIVE SUBDIVISION PLAN OF LAND IN LAKEVILLE, MA

PROJECT NO.: 26623
 DWG: 26623sv.dwg
 LAYOUT: DT201A
 SHEET: 8 OF 16
L-1



NOTE:
SEE SHEET 1 FOR REFERENCES, ASSESSORS' INFORMATION, OWNERS, AND NOTES

LEGEND

- E D G E O F P A V E M E N T
- - - - - C H A I N L I N K F E N C E
- W O O D F E N C E
- E D G E O F G R A V E L R O A D
- DHCB □ D R I L L H O L E I N C O N C R E T E B O U N D
- DHSB □ D R I L L H O L E I N S T O N E B O U N D
- I.P.I.P.E. ○ I R O N P I P E
- I.R.O.D. ○ I R O N R O D
- P.C.B. □ P L Y M O U T H C O U N T Y B O U N D

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE _____ PROFESSIONAL LAND SURVEYOR _____

FOR REGISTRY USE

LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____

ENDORSED: _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

COUNTRY CLUB WAY

(A DEFINITIVE SUBDIVISION IN LAKEVILLE, MA)

44 Clear Pond Road
Lakeville, Massachusetts 02347

ASSESSORS:
MAP 59 BLOCK 1 LOT 50

PREPARED FOR:

DEREK A. MAKSY

44 Clear Pond Road
Lakeville, Massachusetts 02347

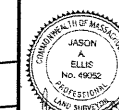
HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



J. Elliott

NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION

DATE: 11/15/2022 DRAWN BY: JML
SCALE: 1"=80' CHECK BY: JAE

DEFINITIVE SUBDIVISION PLAN OF LAND IN LAKEVILLE, MA

PLOT DATE: Nov 15, 2022 5:08 pm
PATH: G:\VMS 3D Projects\26623 - Maksy - Lakeville\Surv\DWG

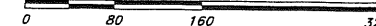
DWG: 26623sv.dwg

LAYOUT: DT201A (2)

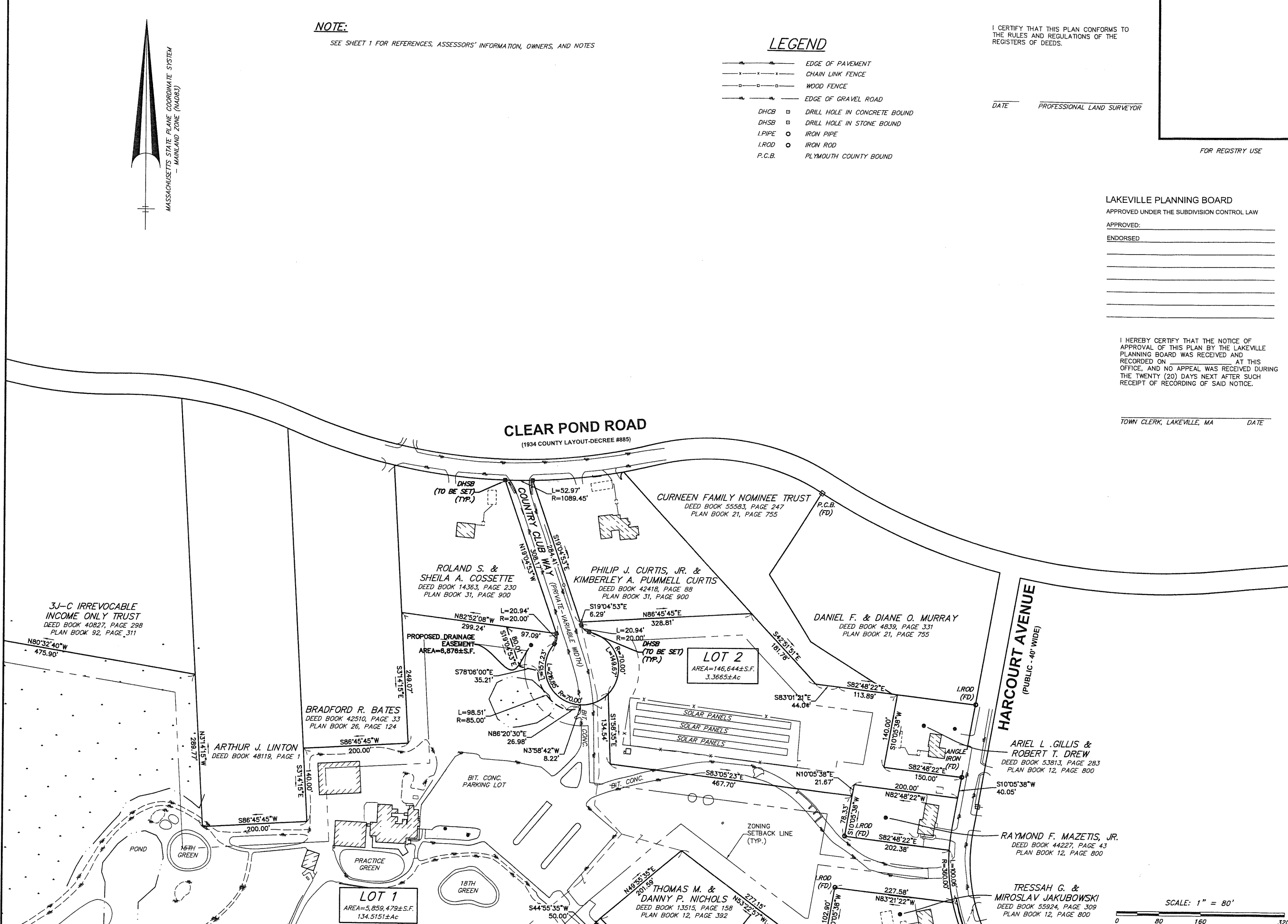
SHEET: 9 OF 16

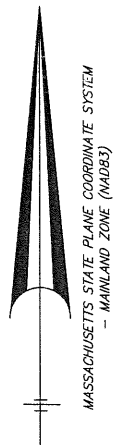
PROJECT NO.: 26623

SCALE: 1" = 80'



L-2





NOTE:

SEE SHEET 1 FOR REFERENCES, ASSESSORS' INFORMATION, OWNERS, AND NOTES

LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW
APPROVED: _____
ENDORSED: _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

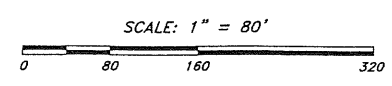
TOWN CLERK, LAKEVILLE, MA DATE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE PROFESSIONAL LAND SURVEYOR

FOR REGISTRY USE

BEDFORD STREET
(PUBLIC - 66' WIDE)
(S.H.L.O. 2850)



DANIEL J. & KAREN P. CASIERI
DEED BOOK 6127, PAGE 59
PLAN BOOK 22, PAGE 322

GEORGE A. ROBINSON
DEED BOOK 43460, PAGE 225
PLAN BOOK 22, PAGE 322

DONNA STAGMAN
DEED BOOK 45776, PAGE 275
PLAN BOOK 5197, PAGE 238

JD REALTY TRUST
DEED BOOK 16392, PAGE 84

JOHN E. BEECH
DEED BOOK 6536, PAGE 64
COMPILED FROM LAKEVILLE
ASSESSOR GIS MAPS
(SEE NOTE #5)

SOUTHCOAST REDEVELOPMENT, LLC
DEED BOOK 52901, PAGE 229
PLAN BOOK 56, PAGE 775

TIMOTHY P. & TARA J. WYNN
DEED BOOK 33547, PAGE 69
PLAN BOOK 41, PAGE 797

PLAN BOOK 92, PAGE 311
N80°32'40"W
475.90'

LOT 1
AREA=5,859,479±S.F.
134,515±Ac

ZONING SETBACK LINE (TYP.)

DELINEATED WETLAND LINE (TYP.)

COUNTRY CLUB WAY
(A DEFINITIVE SUBDIVISION IN LAKEVILLE, MA)

44 Clear Pond Road
Lakeville, Massachusetts 02347

ASSESSORS
MAP 59 BLOCK 1 LOT 50

DEREK A. MAKSY
44 Clear Pond Road
Lakeville, Massachusetts 02347

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



Jason A. Ellis

NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 11/15/2022 DRAWN BY: JML
SCALE: 1"=80' CHECK BY: JAE

DEFINITIVE SUBDIVISION PLAN OF LAND IN LAKEVILLE, MA

PLOT DATE: Nov 14, 2022 4:52 pm
PATH: G:\D4 3D Projects\3823 - Midway - Lakeville\DWG\

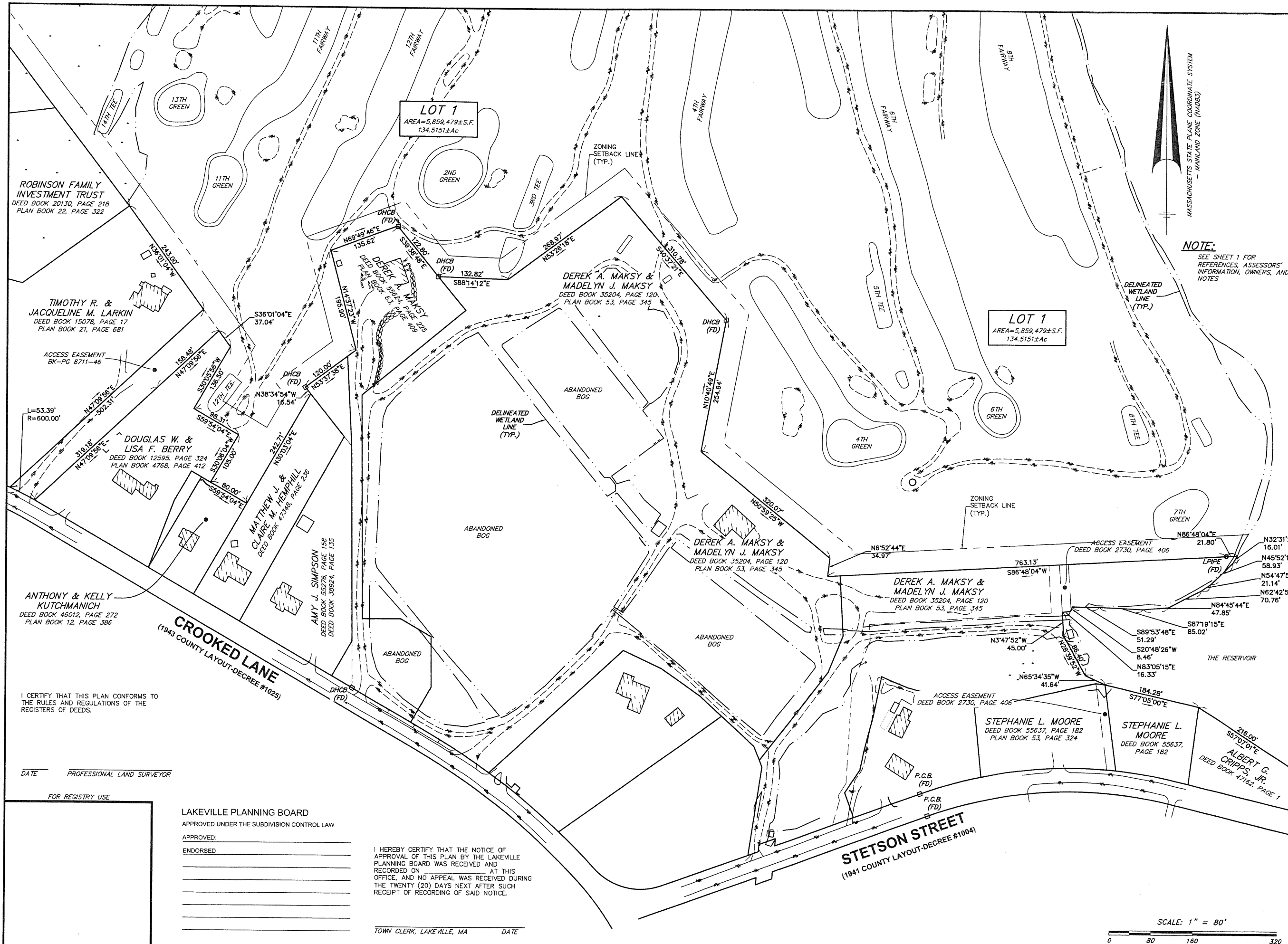
DWG: 26623sv.dwg

LAYOUT: DT201A (3)

SHEET: 10 OF 15

PROJECT NO.: 26623

L-3



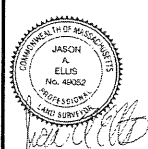
COUNTRY CLUB WAY
(A DEFINITIVE SUBDIVISION IN LAKEVILLE, MA)

44 Clear Pond Road
Lakeville, Massachusetts 02347

ASSESSORS:
MAP 59 BLOCK 1 LOT 50

PREPARED FOR:
DEREK A. MAKSY
44 Clear Pond Road
Lakeville, Massachusetts 02347

HANCOCK ASSOCIATES
Civil Engineers
Land Surveyors
Wetland Scientists
315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



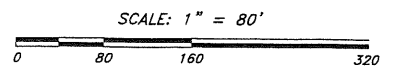
NO.	BY	APP.	DATE	ISSUE/REVISION DESCRIPTION

DATE: 11/15/2022 DRAWN BY: JML
SCALE: 1"=80' CHECK BY: JAE

DEFINITIVE SUBDIVISION PLAN OF LAND IN LAKEVILLE, MA

PLOT DATE: Nov 16, 2022 4:32 pm
PATH: G:\C4 3D Projects\26623 - Mksy - Lakeville\DWG\DWG
DWG: 26623sv.dwg
LAYOUT: DT201A (4)
SHEET: 11 OF 16
PROJECT NO.: 26623

L-4



I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

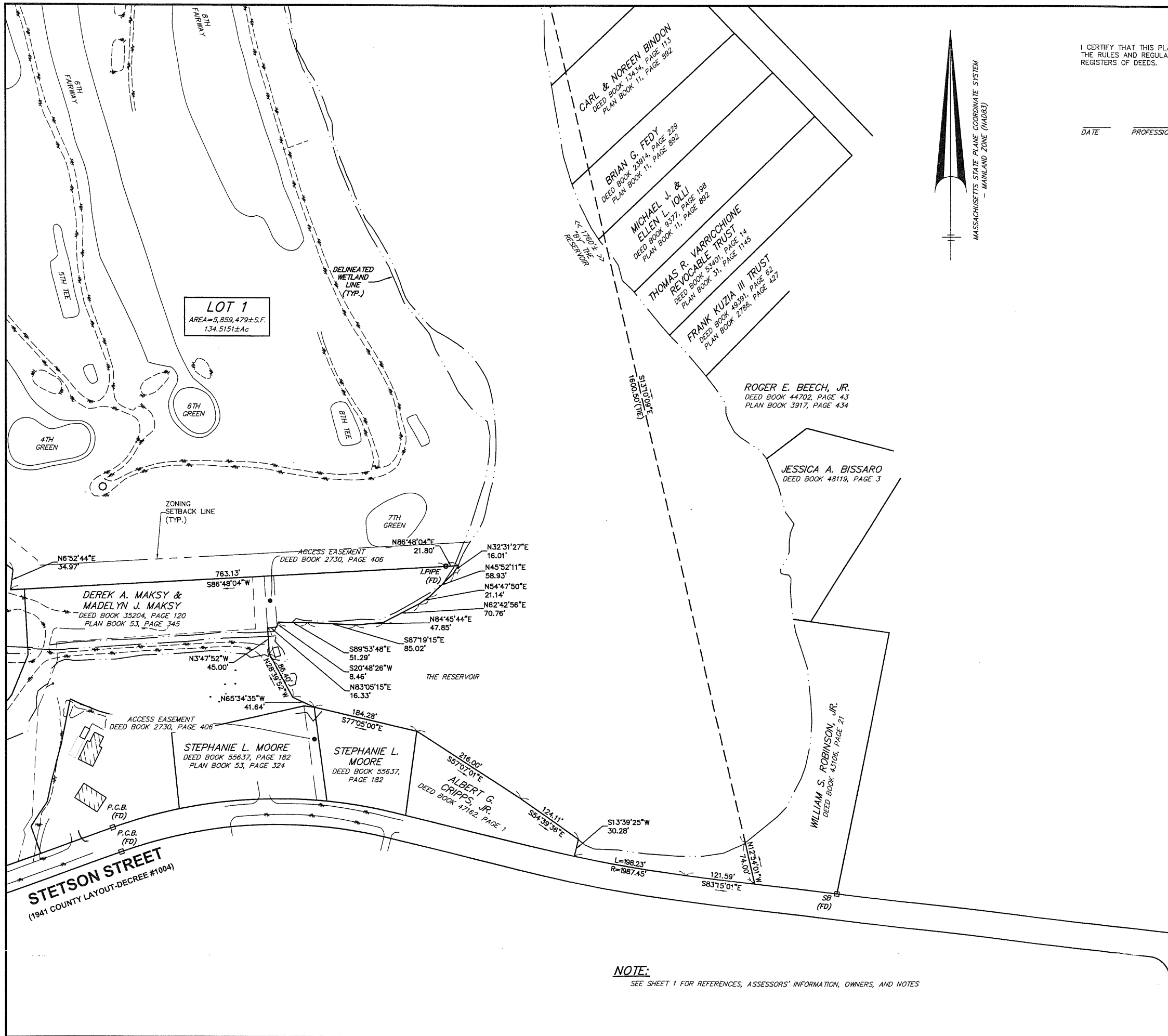
DATE _____ PROFESSIONAL LAND SURVEYOR

FOR REGISTRY USE

LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW
APPROVED: _____
ENDORSED: _____

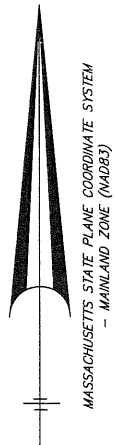
I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____



I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE _____ PROFESSIONAL LAND SURVEYOR _____



COUNTRY CLUB WAY

(A DEFINITIVE SUBDIVISION IN LAKEVILLE, MA)

44 Clear Pond Road
Lakeville, Massachusetts 02347

FOR REGISTRY USE

LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____
 ENDORSED: _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

ASSESSORS:

MAP	BLOCK	LOT
59	1	50

PREPARED FOR:

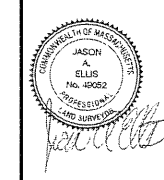
DEREK A. MAKSY

44 Clear Pond Road
Lakeville, Massachusetts 02347

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 11/5/2022 DRAWN BY: JML
SCALE: 1"=80' CHECK BY: JAE

DEFINITIVE SUBDIVISION PLAN OF LAND IN LAKEVILLE, MA

PLOT DATE: Nov 15, 2022 4:33 pm
PATH: G:\C\4 30 Projects\20223 - Maksy - Lakeville\Sub\DWG\

DWG: 26623sv.dwg

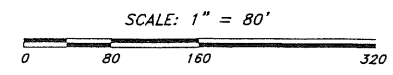
LAYOUT: DT201A (5)

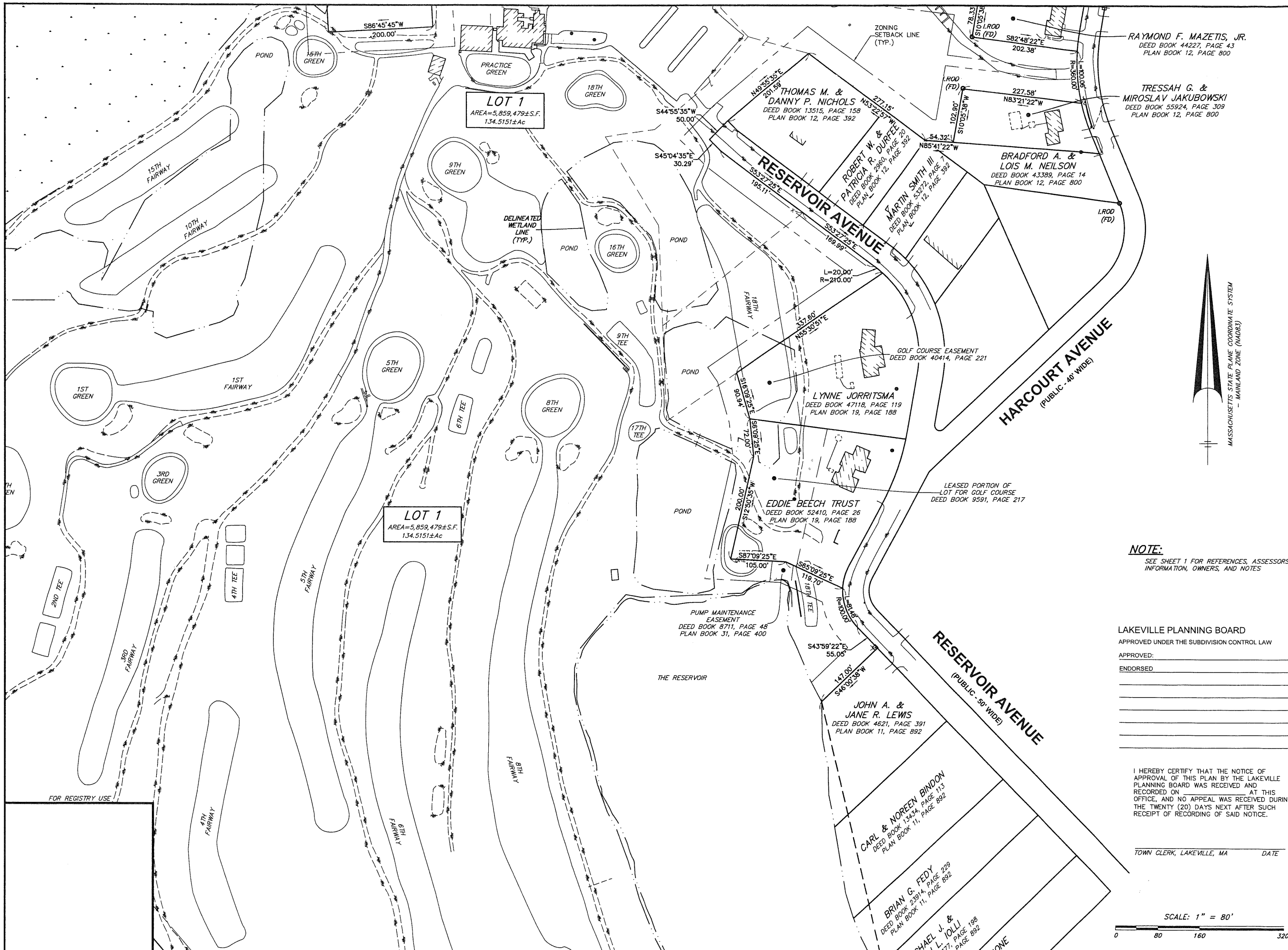
SHEET: 12 OF 16

PROJECT NO.: 26623

L-5

NOTE:
SEE SHEET 1 FOR REFERENCES, ASSESSORS' INFORMATION, OWNERS, AND NOTES





COUNTRY CLUB WAY
(A DEFINITIVE SUBDIVISION IN LAKEVILLE, MA)

44 Clear Pond Road
Lakeville, Massachusetts 02347

ASSESSORS:

MAP	BLOCK	LOT
59	1	50

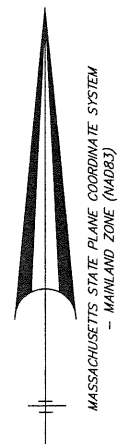
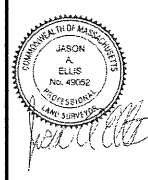
PREPARED FOR:

DEREK A. MAKSY
44 Clear Pond Road
Lakeville, Massachusetts 02347

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (508) 460-1111, FAX (508) 460-1121
WWW.HANCOCKASSOCIATES.COM



NOTE:
SEE SHEET 1 FOR REFERENCES, ASSESSORS' INFORMATION, OWNERS, AND NOTES

LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____

ENDORSED: _____

NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

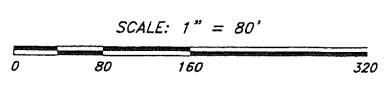
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SCALE: 1"=80' CHECK BY: JAE

DEFINITIVE SUBDIVISION PLAN OF LAND IN LAKEVILLE, MA

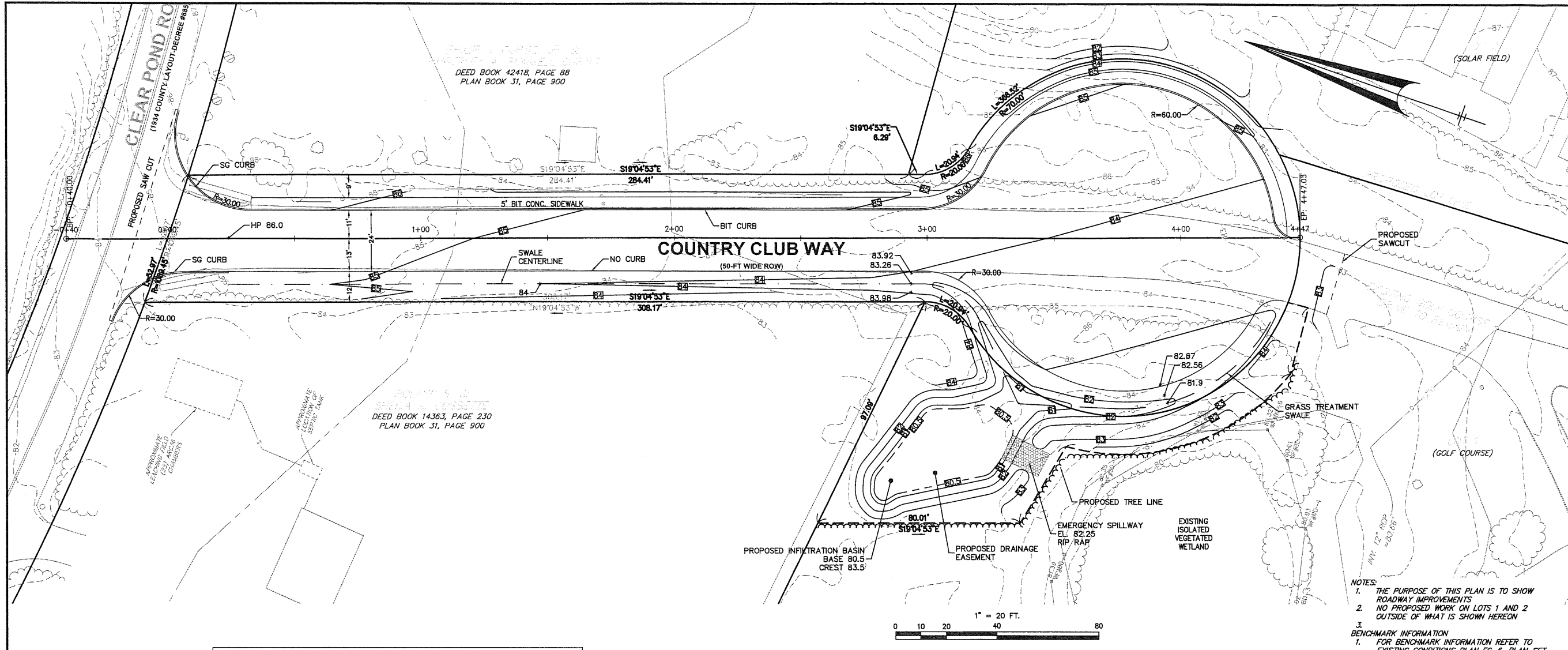
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DWG: 26623sv.dwg
LAYOUT: DT201A (6)

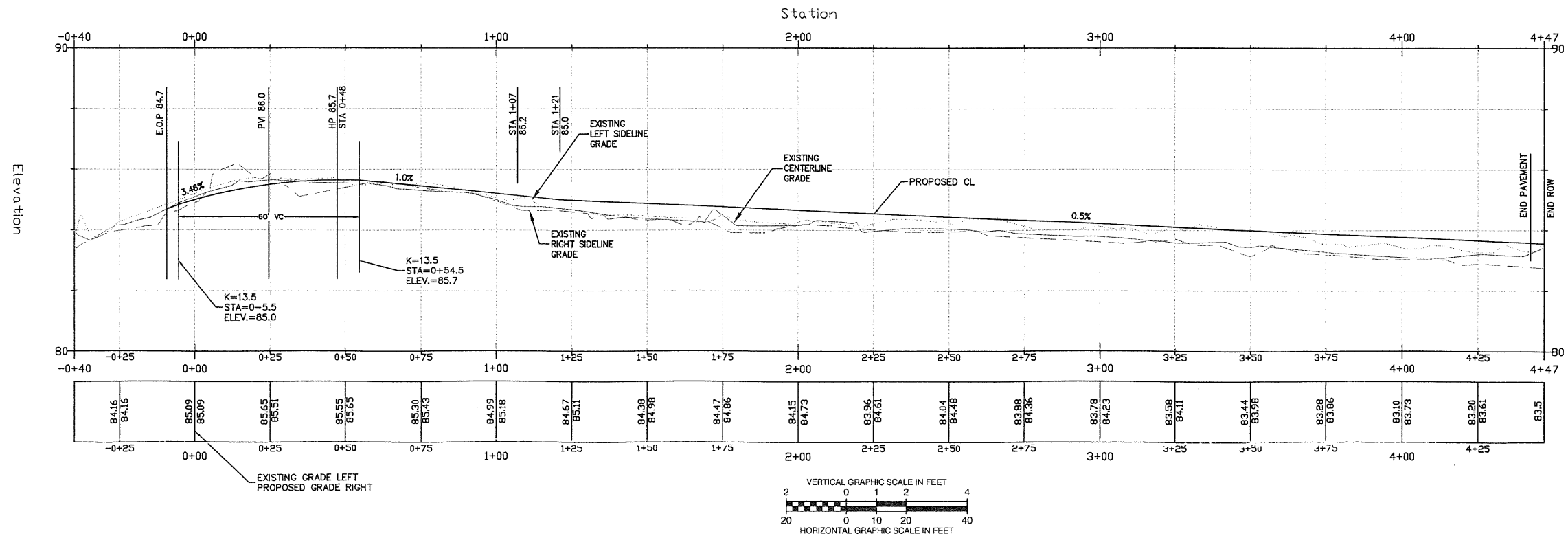
SHEET: 13 OF 16
PROJECT NO.: 26623



L-6



Proposed Right Of Way PROFILE



COUNTRY CLUB WAY

44 Clear Pond Road
Lakeville, Massachusetts 02347

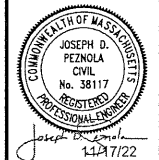
ASSESSORS:
MAP 59 BLOCK 1 LOT 50

PREPARED FOR:
DEREK A. MAKSY
44 Clear Pond Road
Lakeville, Massachusetts 02347

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (978) 771-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM



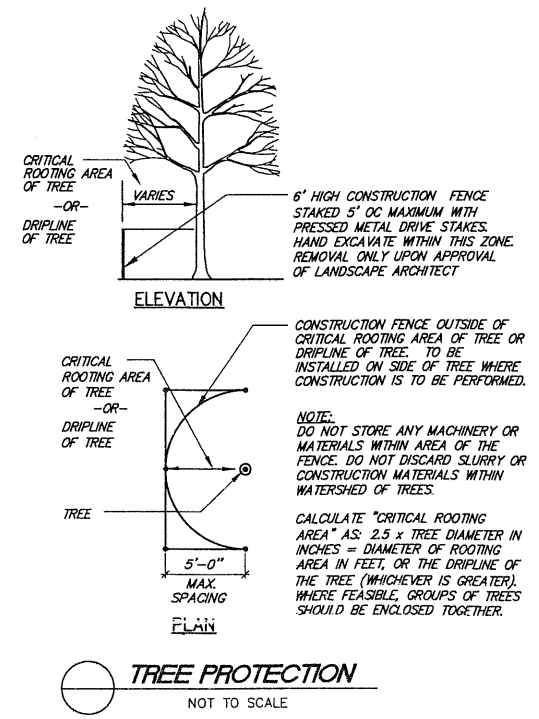
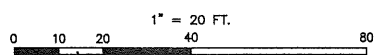
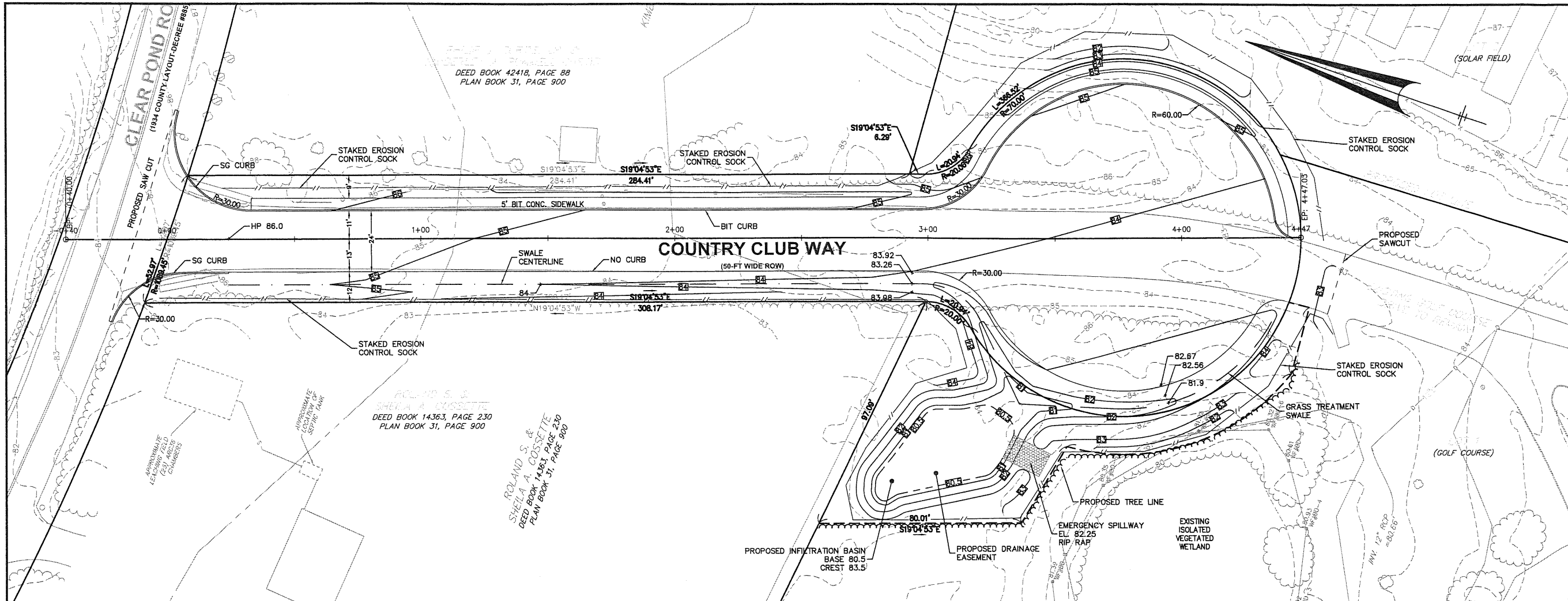
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

PLAN AND PROFILE

PLOT DATE: Nov 16, 2022 5:10 pm
PATH: G:\CDM 30 Projects\26623 - Maksy - Lakeville\Eng\DWG

DWG: 26623sp.dwg
LAYOUT: C-1
SHEET: 14 OF 16
PROJECT NO.: 26623

C-1



EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.

COUNTRY CLUB WAY

44 Clear Pond Road
Lakeville, Massachusetts 02347

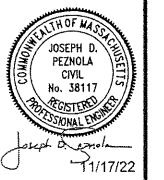
ASSESSORS:
MAP 59 BLOCK 1 LOT 50

PREPARED FOR:
DEREK A. MAKSY
44 Clear Pond Road
Lakeville, Massachusetts 02347

HANCOCK ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (978) 777-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM



NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 11/17/22 DESIGN BY: DTW
SCALE: 1" = 20' DRAWN BY: JML
APPRVD. BY: JF CHECK BY: MC

EROSION CONTROL PLAN

PLT DATE: Nov 16, 2022 5:11 pm
PATH: G:\Chd 3D Projects\26623 - Maksy - Lakeville\Exp\DWG
DWG: 26623sp.dwg
LAYOUT: C-2
SHEET: 15 OF 16
PROJECT NO.: 26623

C-2

COUNTRY CLUB WAY

44 Clear Pond Road
Lakeville, Massachusetts 02347

ASSESSORS:

MAP 59 BLOCK 1 LOT 50

PREPARED FOR:

DEREK A. MAKSY

44 Clear Pond Road
Lakeville, Massachusetts 02347

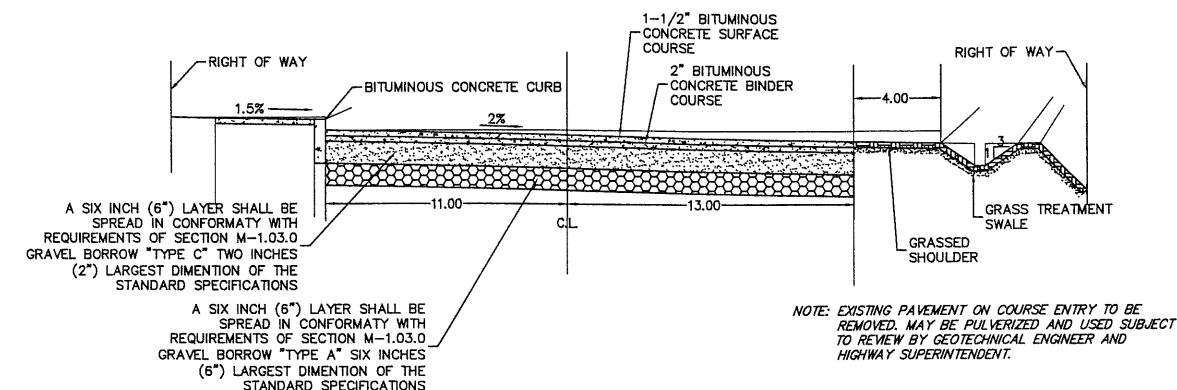
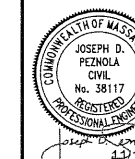
HANCOCK ASSOCIATES

Civil Engineers

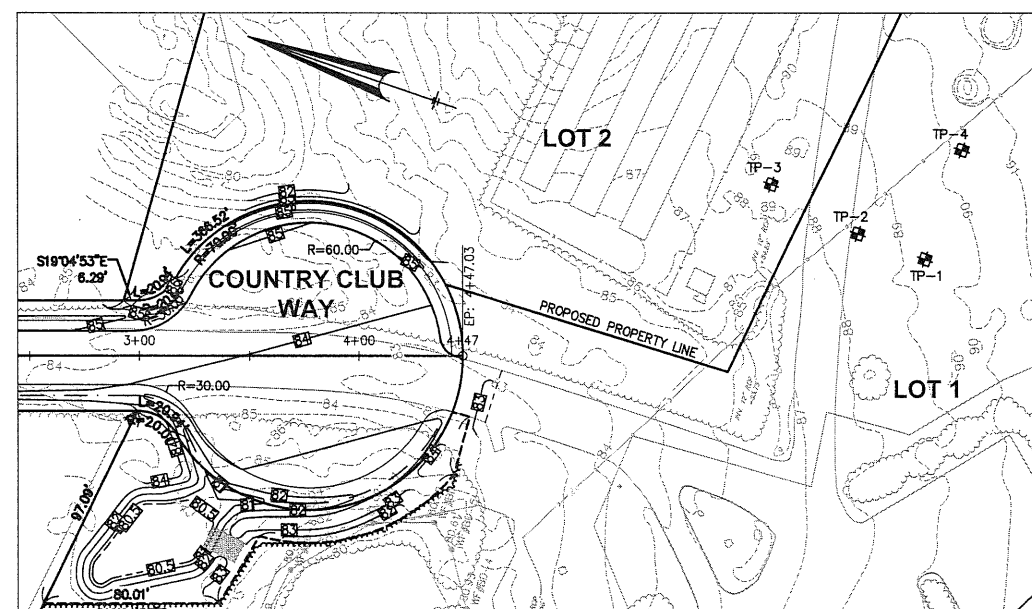
Land Surveyors

Wetland Scientists

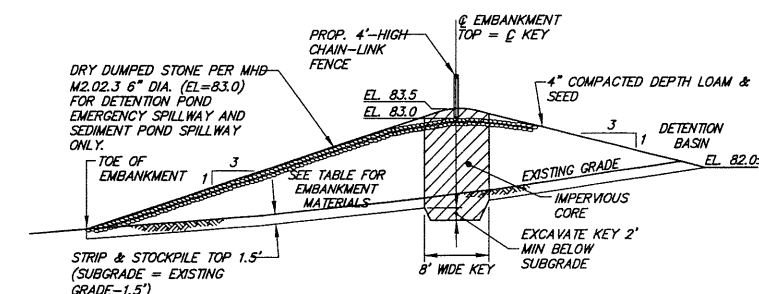
315 ELM STREET, MARLBOROUGH, MA 01752
VOICE (978) 777-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM



TYPICAL PAVEMENT CROSS SECTION
NOT TO SCALE



TEST PIT LOCATIONS
SCALE: 1" = 40'

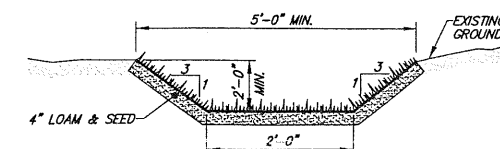


EMBANKMENT MATERIALS

LOCATION	MATERIAL	MAX PARTICLE SIZE (IN)	LOOSE LIFT THICKNESS (IN)	COMPACTION REQUIREMENT (% MDD [1])
KEY	NATIVE PARENT SOIL [2]	6	12 MAX	92 [3]
EMBANKMENT	NATIVE PARENT SOIL [2]	6	12 MAX	92 [3]
LOAM COVER	NATIVE TOPSOIL	1	8 MIN	80
IMPERVIOUS CORE	SOIL WITH AT LEAST 30% CLAY AND SILT CONTENT	6	12 MAX	92 [3]

[1] MDD: MAXIMUM DRY DENSITY.
[2] ACCEPTABLE TO ENGINEER.
[3] COMPACT TO TEST AVERAGE OF 92% NO TEST LESS THAN 90%

DETENTION POND EMBANKMENT
TYPICAL CROSS SECTION
NOT TO SCALE



GRASS DRAINAGE SWALE
NOT TO SCALE

SOIL TESTING RESULTS:

SOIL TESTING PERFORMED BY DARREN MICHAELIS, CSE AND WITNESSED BY LAWRENCE PERRY, BOH ON NOVEMBER 18, 2011

TP-1	0-48" °C	MIX
	48-60" Bb	LOAMY SAND
	60-132" C1	FINE SANDS
	REDOX: NONE	
	WEEPING: NONE	
	DEPTH TO GROUNDWATER: >132"	
TP-2	0-36" °C	MIX
	38-48" Bb	LOAMY SAND
	48-108" C1	FINE SANDS
	REDOX: NONE	
	WEEPING: NONE	
	DEPTH TO GROUNDWATER: >132"	
TP-3	0-72" °C	MIX
	72-120" C1	SANDS
	REDOX: NONE	
	WEEPING: NONE	
	DEPTH TO GROUNDWATER: >132"	

TP-4
0-72" °C MIX
72-120" C1 SANDS
REDOX: NONE
WEEPING: NONE
DEPTH TO GROUNDWATER: >132"

PERCOLATION TEST

OBSERVATION HOLE #	1	4	A
DEPTH OF PERC	60-78"	62-80"	50-68"
START PRE SOAK	9:58	10:07	10:59
END PRE-SOAK	10:13	10:22	11:14
TIME AT 12"	10:13	10:14	11:14
TIME AT 9"	10:26	10:19	11:19
TIME AT 6"	10:41	10:10	11:25
TIME FROM 9"-6"	15	6	6
RATE (MIN/INCH)	5 HPI	<2 HPI	2 MPI

GRADING AND UTILITY NOTES

- LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
- STRUCTURE DETAILS FROM INDEPENDENT VENDORS ARE CONSTANTLY CHANGING. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT DETAILS SHOWN MATCH CURRENT DETAILS AND SPECIFICATIONS FROM VENDORS.
- EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- ALL DISTURBED AREAS NOT COVERED WITH PAVEMENT, STRUCTURES, INDIVIDUAL PLANTINGS, OR MULCH SHALL HAVE LOAM AND SOIL.
- ALL UNDERGROUND STRUCTURES AND UTILITIES SHALL BE CAPABLE OF WITHSTANDING H2O WHEEL LOADS.
- SILT SOCK SHOWN HEREON SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS WITHIN BUFFER ZONE, AND SHALL SERVE AS THE LIMIT OF WORK.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC ROADS.

DETAILS SHEET

PLOT DATE: Nov 18, 2022 5:11 pm
PATH: G:\CH 30 Projects\08623 - Mksy - Lakeville\DWG\

DWG: 26623sp.dwg

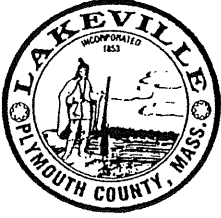
LAYOUT: C-3

SHEET: 16 OF 16

PROJECT NO.:

C-3

26623



Town of Lakeville
PLANNING DEPARTMENT
346 Bedford Street
Lakeville, MA 02347
774-776-4350

Date: December 2, 2022

Memo To: Lakeville Planning Board

Memo From: Marc Resnick, Town Planner

Re: 156 Rhode Island Road

I have reviewed the revised Site Plan Review submission for 156 Rhode Island Road and have the following comments about the site plan.

Section 5.0 Intensity Regulations - This section requires that no more than one principal structure shall be built upon any lot. There is an existing building on the lot which is currently used as a primary structure for the businesses located on the parcel. The applicant proposes to retain this building. However, it will still be used for his business and may be considered an additional principal structure. A written determination from the Building Commissioner as to the status of the building should be obtained.

Section 5.1. It has been commented that there is an easement on the property. This easement should be shown of the plan and a copy provided to determine if it is an exclusive use easement. Exclusive Use Easements shall not be included in the required frontage or lot area calculations. Revised calculations should be provided indicating the proposed lot coverage.

Section 6.5.4.5 Drive isles shall be 24' wide. Around the back of the new building this is only 20 feet wide.

Section 6.5.3.3 A more precise parking calculation should be provided. An existing employee count should be provided for the businesses run by Tyler Sikorski. It is likely that most of the businesses utilizing the site will have more than one employee.

Section 6.5.3.5 The Rhode Island Road driveway exceed the requirement that driveways shall not exceed 30' in width.

Section 6.5.4 Driveways and parking shall be paved as required the Lakeville Subdivision Regulations. Construction details should be provided. The Crooked Lane driveway will shed water onto Crooked Lane. This should be corrected.

Section 6.5.5 Adequate loading areas are not provided on the sides of the building as parked vehicles would obstruct the drive isle. Many deliveries from suppliers will be arriving in larger trucks and not only small delivery vans.

Section 6.7.2 requires that the following additional information be provided:

- 2) Location of abutting structures within 200 feet should be shown on the plan
- 4) Building elevations need to be provided.
- 7) Lighting plan. Exterior building and site lighting should be shown, and details provided. The lighting plan must also meet the requirements of Lakeville's outdoor lighting by-law. A photometric plan should be submitted for review.
- 10) The location of dumpsters and mechanical equipment should be shown on the plan and should be screened from public view. Only a single dumpster is shown of the site located by the applicant's space. What about the other tenants? The plans show up to 10 additional businesses locating on the site. The location of mechanical equipment is not shown
- 11) Drainage calculation have been submitted and are required to be reviewed by the Towns consulting engineer however the applicant should conduct on site soil evaluations in the location of the detention basin to ensure the site-specific soil characteristics.

It also appears that some of the site drainage will flow down the crooked lane driveway and onto the roadway. Provisions should be made to capture and treat this parking lot and driveway drainage.

- 16) Proposed and existing locations of signs should be shown on the plan and building elevations
- 20) Sedimentation and Erosion Control Plan detailing the long-term maintenance of the drainage system should be submitted.

Section 5.1.4 Density Bonus

The applicant has requested that lot coverage be increased to 60% for site design standards. Under this section the applicant may request 10% bonus for meeting the Site Design Standards. These standards are found in Section 7.6.4 Required Site Design Standards. Under this section waivers may be granted by the Planning Board for specific requirements of this section. The Section States "During site plan review, the Planning Board shall have the authority to waive requirements of this Section 7.6 based upon its determination that the specific

development plan proposed by the applicant contains architectural and site elements that effectively screen the use, soften the building facade, and generally promote visual interest and pedestrian accessibility, thereby meeting the intent of this Section 7.6.”

Section 7.6.4.1 This section requires that all sides of a building that directly face an abutting public way shall feature at least one customer entrance. This can not be determined until the architectural drawings are submitted.

Section 7.6.4.2 Parking Lot Orientation exceeds the 60% of the parking is located between the façade and the abutting public way. 27 spaces are between the building and Rhode Island Road which is 67% of the parking.

Section 7.6.4.3 An earthen berm of at least 6 feet in height and planted with a double row of trees is required on all sides of the building facing residential uses.

Section 7.6.4.4. Outdoor Storage, Trash Collection, and Loading Areas

- 1) Currently large portions of the site are used for outdoor storage. Will this still occur. If so, designated areas need to be designated on the site.

The applicant owns a large number of commercial vehicles including both large trucks and construction equipment. Many are on site throughout the day. Designated parking should be identified for these trucks and trailers.

Any areas used for outdoor storage, truck parking, trash collection, or loading shall be screened from any right of way.

- 3) This section requires that loading docks, truck parking, outdoor storage, utility meters, HVAC equipment, trash dumpsters, trash compaction and other service functions be incorporated into the overall building design and landscaping.

Section 7.6.4.5 Pedestrian Flows - Most of these are designed for retail establishments and may be waived by the Board.

- 1) Pedestrian walkway shall be provided on the side of the lot along Crooked Lane unless determined by the Board that it is not necessary for safety or convenience.
- 2) Continuous internal walkways are required
- 3) Sidewalks connection customer entrances
- 4) Internal sidewalks shall provide weather protection
- 5) Internal walkways shall be distinguished from driving surfaces.

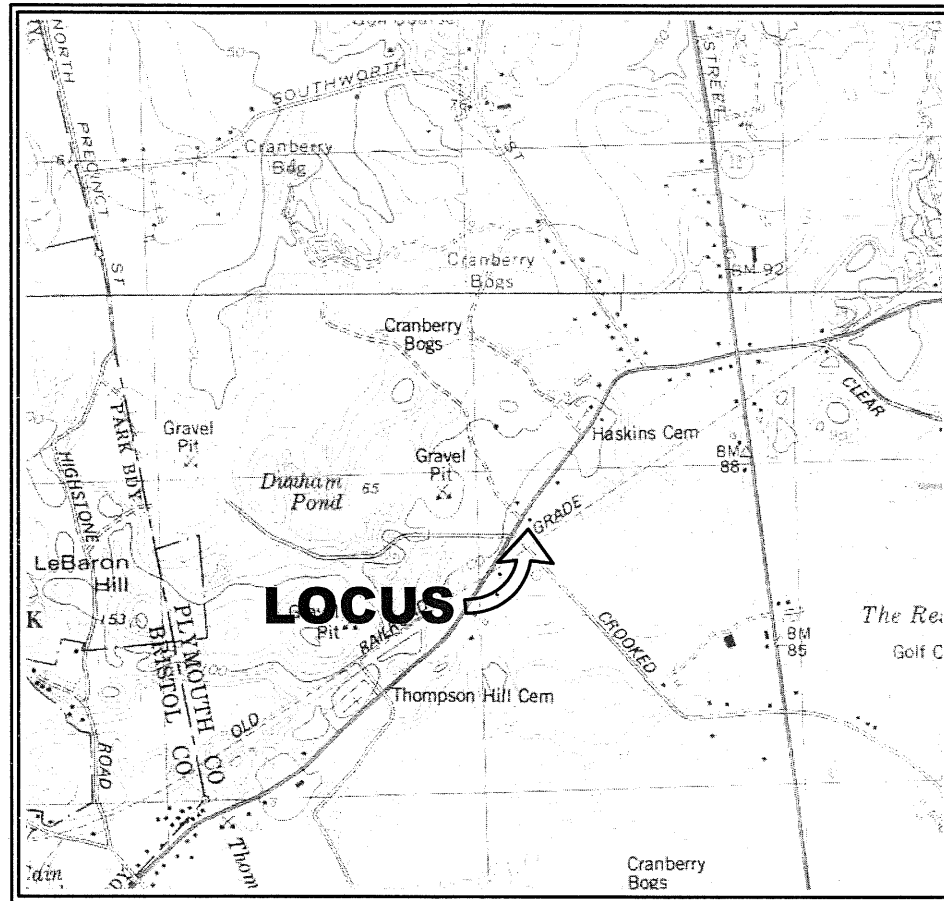
Section 7.6.4.6 Central Features and Community Spaces. This section is designed primarily for retail establishments. However, it is presently unknown if any of the rental spaces will be used for retail establishments.

Finally, the site is currently used for processing and storage of site construction and landscaping materials. This use is not shown on the site plan and should not be approved for this site plan. Additionally, the storage of construction equipment should not be allowed unless the site plan is revised. Currently six trucks, a variety of trailers, several front-end loaders, bulldozers, backhoes, bucket trucks, and other construction equipment are stored on site.

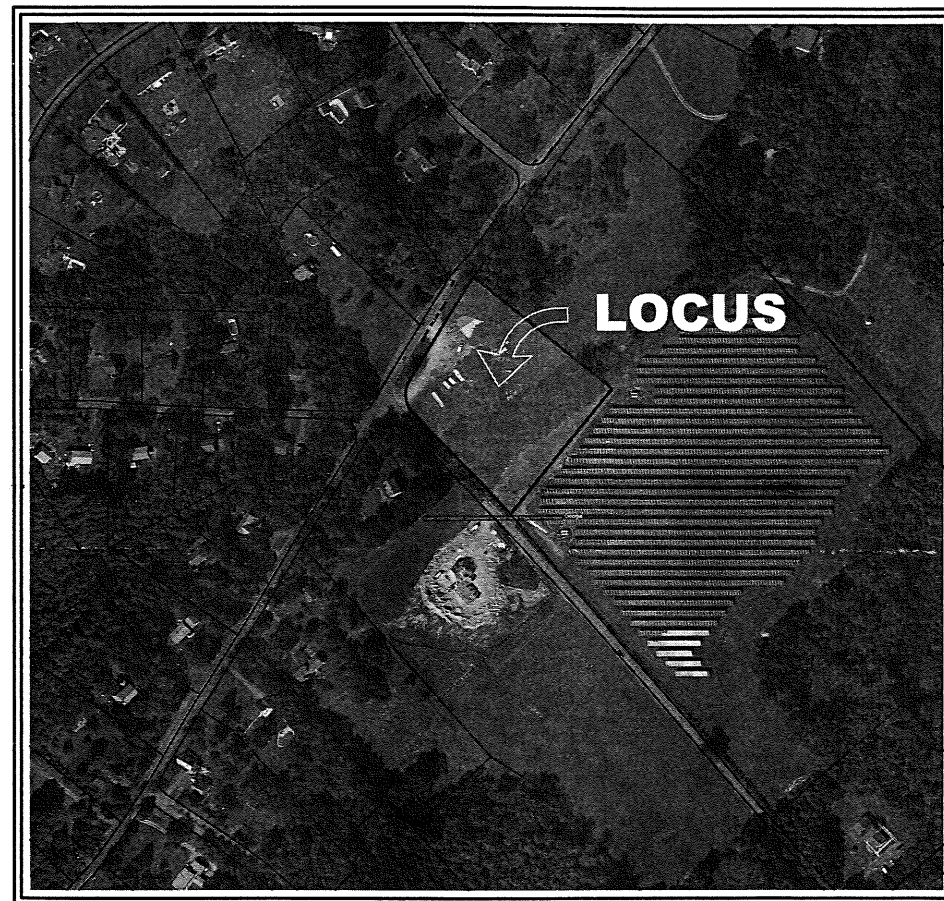
SITE PLAN

COMMERCIAL DEVELOPMENT

156 RHODE ISLAND ROAD, LAKEVILLE, MA



LOCUS MAP
NOT TO SCALE



AERIAL MAP
1" = 200'

TABLE OF CONTENTS

SHEET	PLAN ID
CS1.1	COVER SHEET
EX1.1	EXISTING CONDITIONS PRIOR TO 9/22
EX1.2	EXISTING CONDITONS AFTER 9/22
SP1.1	SITE LAYOUT PLAN
SP1.2	GRADING & DRAINAGE
SP1.3	LANDSCAPE AND TRAFFIC
EC1.1	EROSION CONTROL PLAN
D1.1	DETAILS 1
D1.2	DETAILS 2
SSD1.1	SEPTIC SYSTEM DETAILS-1
SSD1.2	SEPTIC SYSTEM DETAILS-2

TOWN OF LAKEVILLE PLANNING BOARD:

SITE PLAN APPROVAL

DATE APPROVED: _____

DATE ENDORSED: _____

OWNER(S):

T. SIKORSKI REALTY, LLC

APPLICANT:

T. SIKORSKI REALTY, LLC
50 TURNER ST.,
E. TAUNTON, MA 02718

PREPARED BY:

River Hawk
ENVIRONMENTAL
CIVIL ENGINEERING & ENVIRONMENTAL CONSULTING
2183 OCEAN STREET, MARSHFIELD, MA 02050
781-536-4639 www.RiverHawkLLC.com

LEGEND

DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED
CATCH BASINS	⊠	⊞	INTERMEDIATE CONTOUR	--- ---	--- ---
SEWER MANHOLE	⊙	⊙	INDEX CONTOUR	--- ---	--- ---
DRAIN MANHOLE	⊙	⊙	SPOT ELEVATIONS	X180.0	X83.71
ELECTRIC MANHOLE	⊙	⊙	DRAIN LINE	—D—	—D—
SW TREATMENT UNIT	⊙	⊙	SEWER LINE	—S—	—S—
GAS GATE	X	X	WATER LINE	—W—	—W—
WATER GATE	⊙	⊙	GAS LINE	—G—	—G—
FIRE HYDRANT	⊙	⊙	ELECTRICAL LINE	—E—	—E—
POWER POLE	⊙	⊙	200' RIVERFRONT AREA	--- ---	--- ---
CHAIN LINK FENCE	—X—	—X—	100' RIVERFRONT AREA	--- ---	--- ---
STOCKPILE FENCE	—X—	—X—	100' BUFFER ZONE	--- ---	--- ---
OVERHEAD WIRES	—OH—	—OH—	50' BUFFER ZONE	--- ---	--- ---
LIGHT POLE	⊙	⊙	30' BUFFER ZONE	--- ---	--- ---
			LIMIT OF FLOOD ZONE AE	--- ---	--- ---
			WETLAND FLAG	⊙	⊙

PREPARED MARCH 10, 2022
REVISED OCTOBER 26, 2022

SITE SUMMARY:

CURRENT OWNERS / APPLICANT

T SIKORSKI REALTY, LLC
50 TURNER ST.
E. TAUNTON, MA, 02718

ASSESSOR'S REFERENCE:

MAP 26, BLOCK 4, LOT 2

DEED REFERENCE:

BOOK 52,511, PAGE 227 (PLYMOUTH COUNTY REGISTRY OF DEEDS)

ZONING:

ZONING DISTRICT(S)
INDUSTRIAL/RESIDENCE

FEMA / WETLANDS:

FLOOD PLAIN - ZONE X

DATUMS:

HORIZONTAL DATUM:
NAD83, MA MAINLAND

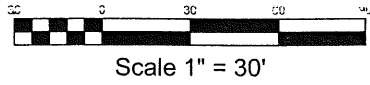
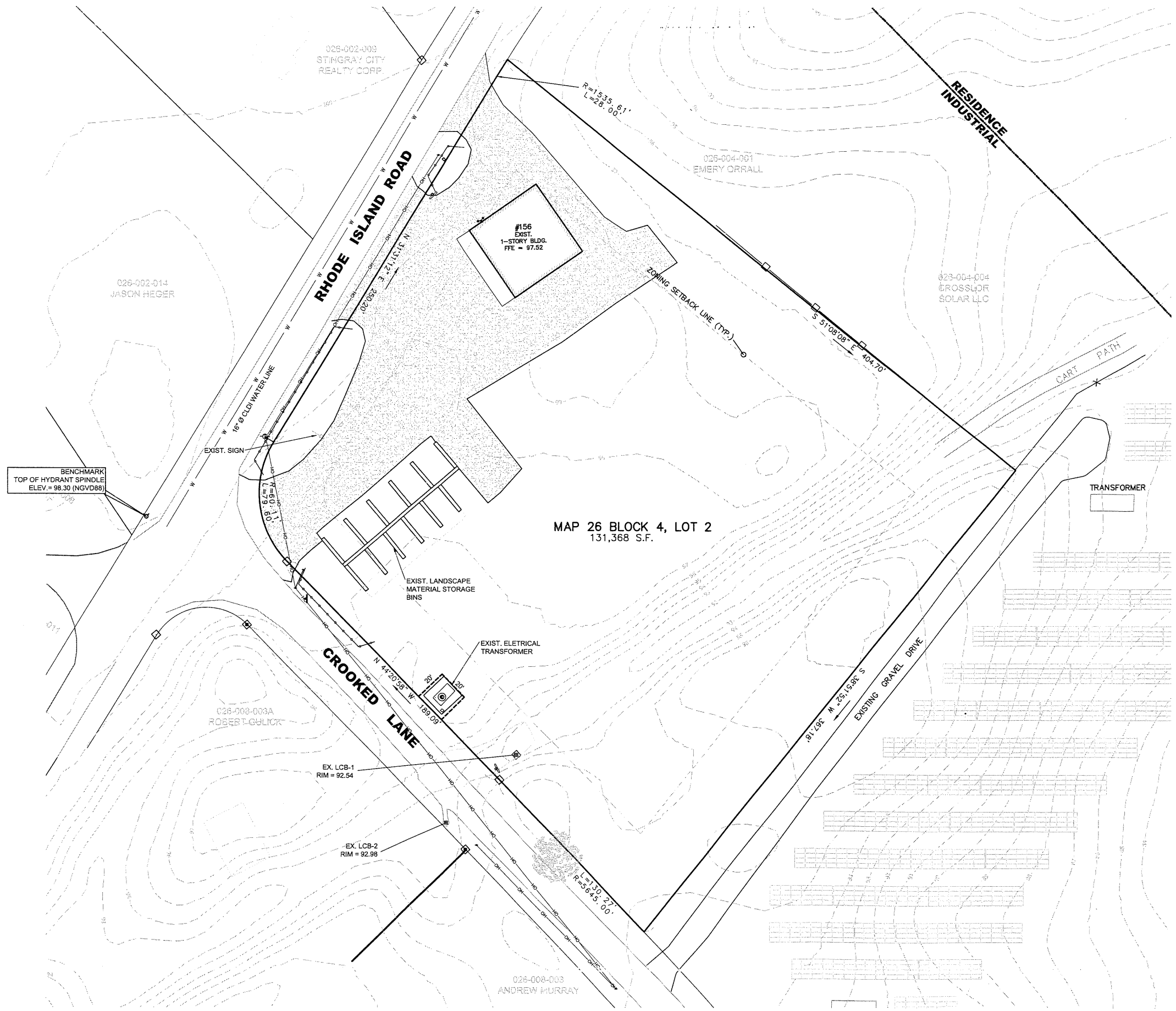
VERTICAL DATUM:

NAVD88

SITE NOTES:

- EXISTING CONDITIONS PLAN & PROPERTY LINES SHOWN WERE DERIVED FROM PLAN PREPARED BY ZENITH LAND SURVEYORS, LLC. EXISTING TOPOGRAPHY FROM 2011 LIDAR DATA.
- BENCHMARK IS TOP OF HYDRANT SPINDLE AS SHOWN ON PLAN, AT ELEVATION = 98.30 (NGVD88).
- THERE ARE NO KNOWN WETLANDS WITHIN 100 FEET OF THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF PLYMOUTH COUNTY, MASSACHUSETTS, MAP NUMBER 25023C0427K DATED JULY 16, 2015.
- THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON EITHER RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, VISUAL INSPECTION OF AVAILABLE ABOVEGROUND STRUCTURES, PHYSICAL SURFACE MARKINGS FOUND, OR DATA PROVIDED BY OTHERS. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK.

BENCHMARK
TOP OF HYDRANT SPINDLE
ELEV. = 98.30 (NGVD88)

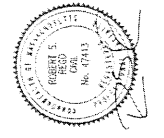


REV.	DATE	DESCRIPTION	BY	APP.
2	10/26/22	PR COMMENTS/REV LAYOUT	RSR	
1	4/27/22	TOWN PLANNER COMMENTS	RSR	



T SIKORSKI REALTY, LLC
50 TURNER ST.
E. TAUNTON, MA, 02718

10/26/2022



River Hawk
ENVIRONMENTAL
CIVIL ENGINEERING & ENVIRONMENTAL CONSULTING
2183 OCEAN STREET, MARSHFIELD, MA 02050
781-536-4639 www.RiverHawkLLC.com

DESIGNED BY:	RSR
CHECKED BY:	RSR
DRAWN BY:	HRR
APPROVED BY:	RSR

COMMERCIAL DEVELOPMENT
156 RHODE ISLAND ROAD
LAKEVILLE, MA

EX. CONDITIONS PLAN PRIOR TO 9/22

PROJECT NO.	00488-01-01
SCALE	AS SHOWN
DATE	MARCH 10, 2022

EX1.1

SITE SUMMARY:

CURRENT OWNERS / APPLICANT

T SIKORSKI REALTY, LLC
50 TURNER ST
E. TAUNTON, MA, 02718

ASSESSOR'S REFERENCE:

MAP 26, BLOCK 4, LOT 2

DEED REFERENCE:

BOOK 52,511, PAGE 227 (PLYMOUTH COUNTY REGISTRY OF DEEDS)

ZONING:

ZONING DISTRICT(S)
INDUSTRIAL/RESIDENCE

FEMA / WETLANDS:

FLOOD PLAIN - ZONE X

DATUMS:

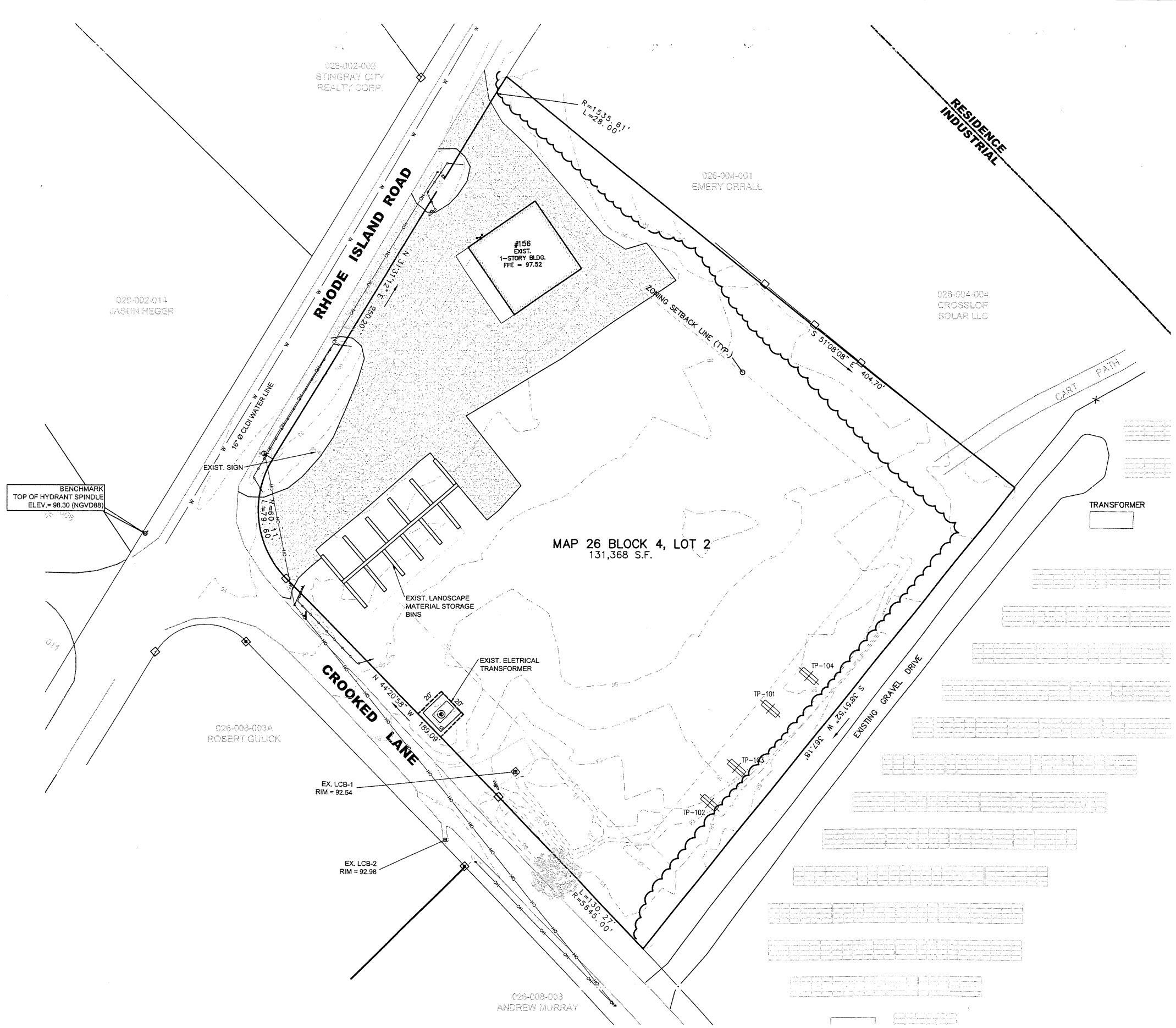
HORIZONTAL DATUM:
NAD83, MA MAINLAND

VERTICAL DATUM:

NAVD88

SITE NOTES:

- EXISTING CONDITIONS PLAN & PROPERTY LINES SHOWN WERE DERIVED FROM PLAN PREPARED BY ZENITH LAND SURVEYORS, LLC. EXISTING TOPOGRAPHY FROM ON THE GROUND SURVEY COMPLETED BY RIVER HAWK LAND SURVEY, LLC IN DECEMBER 2021.
- BENCHMARK IS TOP OF HYDRANT SPINDLE AS SHOWN ON PLAN, AT ELEVATION = 98.30 (NGVD88).
- THERE ARE NO KNOWN WETLANDS WITHIN 100 FEET OF THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF PLYMOUTH COUNTY, MASSACHUSETTS, MAP NUMBER 25023C0427K DATED JULY 16, 2015.
- THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY, AND ARE NOT WARRANTED TO BE CORRECT. UNDERGROUND UTILITIES ARE SHOWN BASED ON EITHER RECORD DATA PROVIDED BY THE OPERATING AUTHORITIES, VISUAL INSPECTION OF AVAILABLE ABOVEGROUND STRUCTURES, PHYSICAL SURFACE MARKINGS FOUND, OR DATA PROVIDED BY OTHERS. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT INDICATED ON THESE PLANS. ALL EXISTING UTILITIES SHALL BE VERIFIED FOR SERVICE, SIZE, INVERT ELEVATION, LOCATIONS, ETC. PRIOR TO NEW CONNECTIONS TO OR RELOCATION OF SAME. CONTRACTOR MUST NOTIFY DIG-SAFE AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. NOTIFY THIS FIRM IN WRITING OF ANY AND ALL DISCREPANCIES PRIOR TO COMMENCING ANY WORK.



REV	DATE	DESCRIPTION	BY	APP.
2	10/26/22	PR COMMENTS/REV LAYOUT	RSR	RSR
1	10/26/22	TOWN PLANNER COMMENTS	HRR	RSR



T SIKORSKI REALTY, LLC
50 TURNER ST.
E. TAUNTON, MA, 02718

10/26/2022



River Hawk
ENVIRONMENTAL
CIVIL ENGINEERING & ENVIRONMENTAL CONSULTING
2183 OCEAN STREET, MARSHFIELD, MA 02050
781-538-4639 www.RiverHawkLLC.com

COMMERCIAL DEVELOPMENT
156 RHODE ISLAND ROAD
LAKEVILLE, MA
EX. CONDITIONS PLAN AFTER 9/22

DESIGNED BY:	RSR
CHECKED BY:	RSR
APPROVED BY:	RSR
DRAWN BY:	HRR
PROJECT NO.:	00488-01-01
SCALE:	AS SHOWN
DATE:	MARCH 11, 2022

EX1.2

SITE SUMMARY:

PARCEL ID: 026/004/002
 TOTAL AREA: 131,368± S.F. (3.02± ACRES)
 ZONING DISTRICT: INDUSTRIAL

ZONING REQUIREMENTS:

ITEM:	REQUIRED	EXISTING	PROPOSED
LOT AREA (SF)	70,000	131,368±	131,368±
FRONTAGE (FT)	175	677.16	677.16
FRONT SETBACK (FT)	40	35.0	35.0 & 41.1
SIDE SETBACK (FT)	40, 50 ¹	48.8	63.3 & 138.0
REAR SETBACK (FT)	40	48.8	63.3 & 138.0
COVERAGE (%)	60 ²	33135/130968 ³ 25.3%	71699/124231 ³ 57.7%

NOTES:

- NO BUILDINGS ARE ALLOWED WITH 50' OF A RESIDENTIAL ZONE (WITH AN ACOUSTICAL WALL)
- COVERAGE CAN BE INCREASED TO 60% IF SECTION 7.6.4 SITE DESIGN STANDARDS ARE MET
- IN ACCORDANCE WITH SECTION 5.2.2.1, AREA USED IN COVERAGE CALC. DOES NOT INCLUDE PERMANENT EASEMENTS, SWALES AND DRAINAGE PONDS

CAR PARKING REQUIREMENTS:

ITEM:	REQ'D PER UNIT	PROPOSED	MIN. REQ'D
WAREHOUSE/OFFICE	1 PER EMPLOYEE	24	24

SPACES REQUIRED: 24
 SPACES PROVIDED: 40

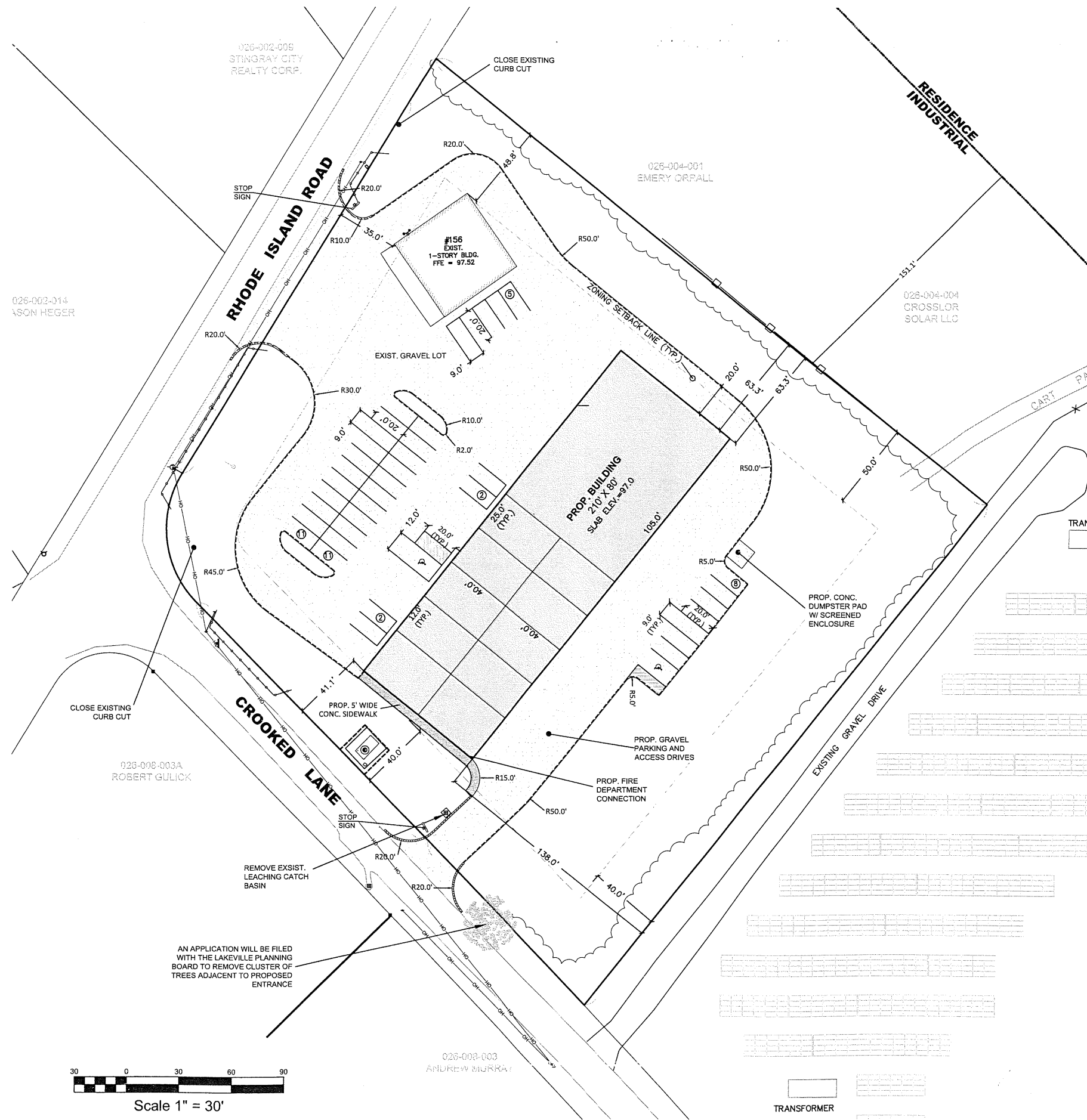
ADA SPACES REQUIRED ON-SITE: 2 (1 VAN ACCESSIBLE)
 ADA SPACES PROVIDED ON-SITE: 2 (1 VAN ACCESSIBLE)

TYPICAL CAR PARKING SPACE DIMENSION:

MIN. 9' WIDE X 20' DEEP (STANDARD SPACE)
 MIN. 12' WIDE X 20' DEEP (HANDICAP ACCESSIBLE SPACE)

LOADING REQUIREMENTS:

IN ACCORDANCE WITH 6.5.5, ADEQUATE LOADING AREAS SHALL BE PROVIDED.
 LOADING SPACES SHALL BE LOCATED IN FRONT OF EACH GARAGE DOOR.



REV	DATE	DESCRIPTION
1	4/27/22	TOWN PLANNER COMMENTS
2	10/26/22	PR COMMENTS/REV LAYOUT



T SIKORSKI REALTY, LLC
 50 TURNER ST.
 E. TAUNTON, MA, 02718



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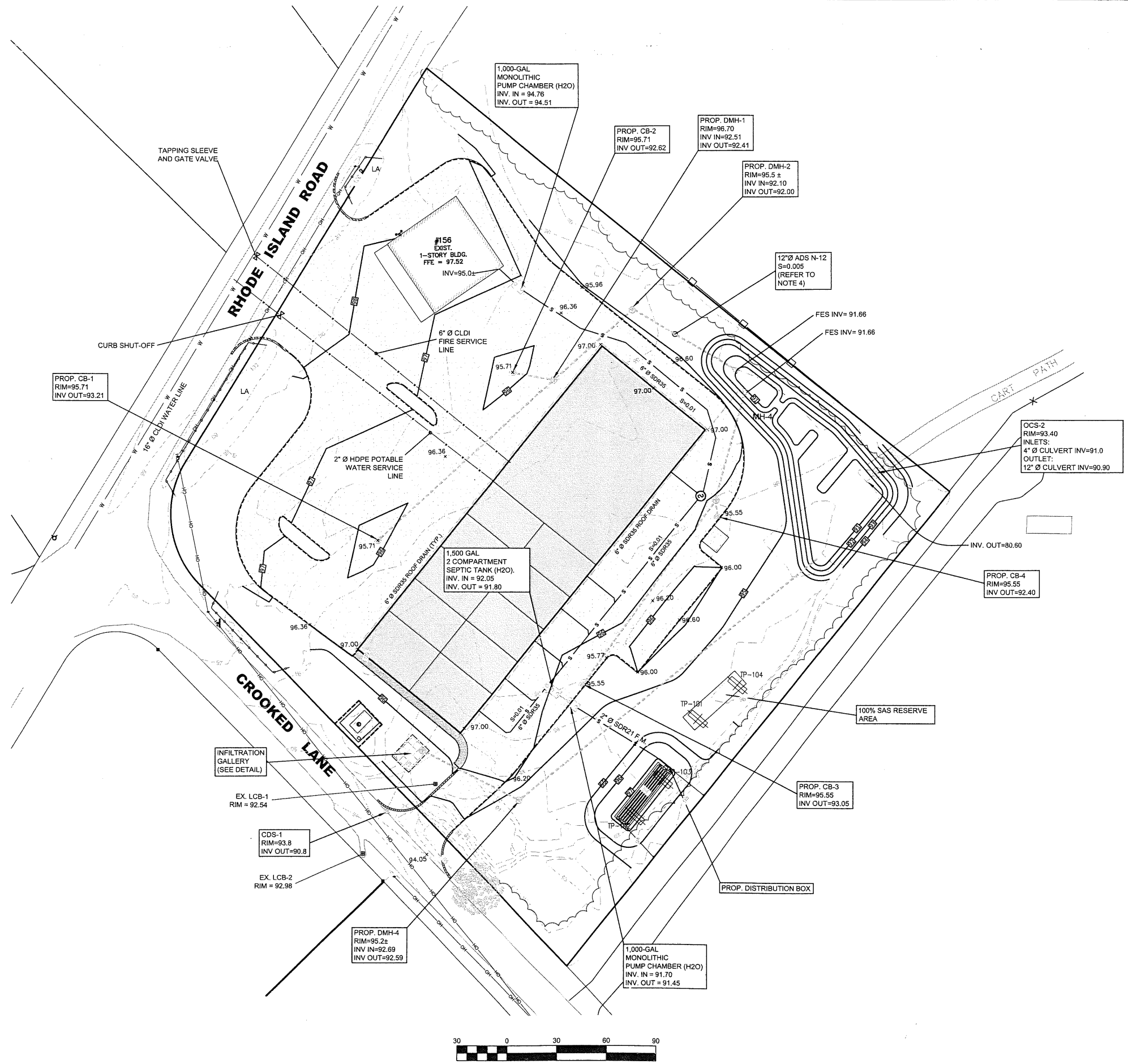
COMMERCIAL DEVELOPMENT
 156 RHODE ISLAND ROAD
 LAKEVILLE, MA
SITE LAYOUT PLAN

SP1.1

DATE: MARCH 0, 2022	PROJECT NO. 00488-01-01	SCALE: AS SHOWN	DESIGNED BY: HRR	CHECKED BY: RSR	APPROVED BY: RSR
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NOTES:

1. ALL SITE WORK SHALL MEET OR EXCEED THE SITE SPECIFICATIONS PREPARED THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE OWNER PRIOR TO ANY SITE WORK WHICH WOULD BE AFFECTED.
2. NO CERTIFICATION IS MADE AS TO THE EXISTENCE OR NON EXISTENCE OF ANY SUBSURFACE STRUCTURE/UTILITY NOT VISIBLE AND EVIDENCED FROM THE GROUND SURFACE.
3. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO THE START ANY WORK.
4. ALL DRAINAGE PIPE TO BE 12" ADS N-12 SLOPED AT 0.005FT/FT, UNLESS SPECIFIED OTHERWISE.
5. UNLESS SPECIFIED, ALL MATERIALS SHALL BE COMPLIANT WITH THE LATEST TOWN OF LAKEVILLE PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
6. WATER LINES AND ALL APPURTANCES SHALL BE COMPLIANT WITH THE LATEST CITY OF TAUNTON STANDARDS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND OWNER'S ENGINEER FOR RESOLUTION.
8. CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION.
9. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION AT NO COST TO THE OWNER.
10. ALL UTILITY COVERS, GRATES, ETC. TO REMAIN SHALL BE ADJUSTED TO BE FLUSH WITH THE FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS FOR STRUCTURES AND MANHOLES ARE APPROXIMATE.
11. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
12. ALL SEDIMENT IS TO BE KEPT OUT OF THE PROPOSED INFILTRATION AREAS, WHICH SHALL NOT BE USED UNTIL ALL CATCH BASINS AND OTHER DRAINAGE SYSTEM APPURTENANCES ARE INSTALLED AND FUNCTIONAL.
13. PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN.
14. CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF FINISH SUBGRADE. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.
15. ALL UTILITY TRENCHES IN THE RIGHT-OF-WAY SHALL BE BACKFILLED WITH CONTROL DENSITY FILL AND THE PAVEMENT SHALL BE PATCH USING INFRARED.



REV	DATE	DESCRIPTION
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2	10/26/22	PR COMMENTS/REV LAYOUT



T SIKORSKI REALTY, LLC
50 TURNER ST.
E. TAUNTON, MA, 02718

10/26/2022



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781-538-4639 www.RiverHawkLLC.com

COMMERCIAL DEVELOPMENT
156 RHODE ISLAND ROAD
LAKEVILLE, MA
GRADING & DRAINAGE PLAN

SP1.2

PROJECT NO.	SCALE	AS SHOWN
00488-01-01		

DATE: MARCH 10, 2022

DRAWN BY: HRR
DESIGNED BY: RSR
CHECKED BY: RSR
APPROVED BY: RSR

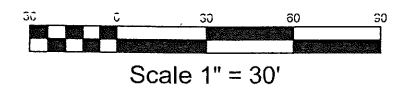
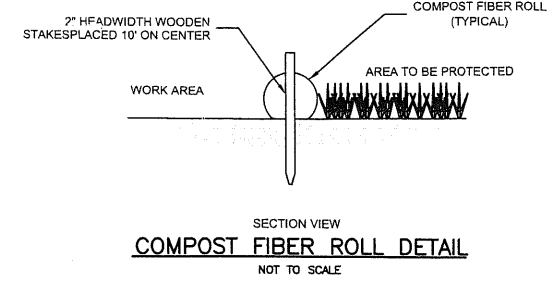
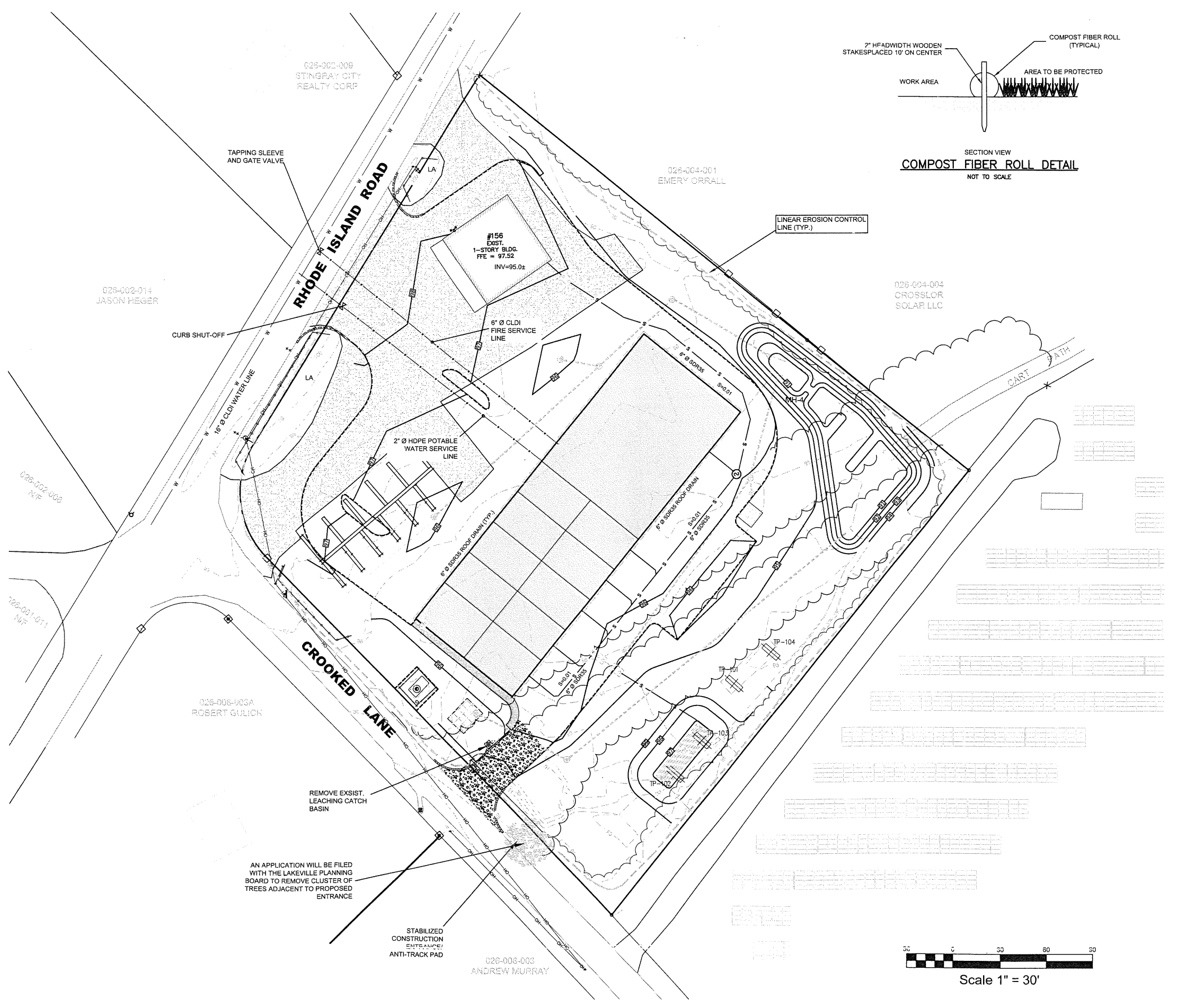
EROSION & SEDIMENT CONTROL NOTES:

THE CONTRACTOR IS RESPONSIBLE TO CONTROL EROSION AND SEDIMENTATION DURING CONSTRUCTION. IT IS INTENDED THAT THE IMPLEMENTATION OF THE FOLLOWING MEASURES WILL MEET THIS GOAL. WHEN IT IS CLEAR TO THE DESIGNER THAT EROSION AND SEDIMENTATION HAVE BEEN ADEQUATELY CONTROLLED WITHOUT THE IMPLEMENTATION OF EVERY MEASURE, ADDITIONAL MEASURES NEED NOT BE IMPLEMENTED. ALTERNATIVELY, IF ALL OF THE FOLLOWING MEASURES HAVE BEEN IMPLEMENTED AND THE CONTROL OF EROSION AND SEDIMENTATION IS INADEQUATE, THE CONTRACTOR MUST EMPLOY SUFFICIENT SUPPLEMENTAL MEASURES BEYOND THE SCOPE OF THIS PLAN.

1. EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSTALLED PRIOR TO START OF DEMOLITION OR CONSTRUCTION. STABILIZATION OF ALL RE-GRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL MUNICIPAL REGULATIONS, THE USEPA 2017 CONSTRUCTION GENERAL PERMIT, AND MASSACHUSETTS 2003 EROSION & SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION. A STAKED HAYBALE DAM SHALL BE INSTALLED DOWN GRADIENT OF ALL DRAINAGE OUTFALLS.
3. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE OWNER OR AGENTS OF THE OWNER. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL EROSION CONTROL MATERIALS FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER TO MITIGATE ANY EMERGENCY CONDITION.
4. PRIOR TO COMMENCEMENT OF CONSTRUCTION, APPLICABLE CONTRACTOR PERSONNEL MUST HAVE AN UNDERSTANDING OF THE USEPA CONSTRUCTION GENERAL PERMIT REQUIREMENTS, AND THEIR SPECIFIC RESPONSIBILITIES UNDER THE PERMIT. AT A MINIMUM PERSONNEL MUST BE TRAINED AND UNDERSTAND THE FOLLOWING: LOCATION OF ALL STORMWATER CONTROLS AND HOW TO MAINTAIN THEM, PROCEDURES FOR COMPLYING WITH THE POLLUTION PREVENTION REQUIREMENTS, PROCEDURES FOR CONDUCTING INSPECTIONS, RECORDING FINDINGS, AND TAKING CORRECTIVE ACTION.
5. CATCH BASINS (ON-SITE AND OFF-SITE WITHIN 100') WILL BE PROTECTED WITH HAYBALE FILTERS AND SILT BAG INLET PROTECTION THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SILT BAGS SHOULD BE INSTALLED UNDER GRATE OPENING UNTIL PAVEMENT IS IN PLACE AND GROUND SURFACE IS STABILIZED.
6. AREAS THAT ARE NOT THE LOCATION OF ACTIVE CONSTRUCTION WHICH ARE TO BE LEFT BARE FOR OVER ONE MONTH BEFORE FINISHED GRADING AND SEEDING IS ACHIEVED, SHALL BE MULCHED OR RECEIVE TEMPORARY STABILIZATION SUCH AS JUTE NETTING OR SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYEGRASS APPLIED TO A RATE OF 2 LBS./1,000 SQ. FT. LIMESTONE (EQUIVALENT TO BE 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 90 LBS./1,000 SQ. FT. PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 1. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COARSE MATTER.
7. STABILIZATION OF SLOPES IN CUT AREAS (USING MULCH OR GRASS) AND THE INSTALLATION OF CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) AT THE TOE OF SLOPE SHALL BE INITIATED WITHIN FOURTEEN (14) DAYS OF COMPLETION.
8. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN. ALL LINEAR EROSION CONTROLS RETAINING SEDIMENT OVER 1/2 THEIR HEIGHT SHALL HAVE THE SEDIMENT REMOVED AND ALL DAMAGED EROSION CONTROLS SHALL BE REPAIRED OR REPLACED.
10. THE CONTRACTOR WILL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE CONSERVATION COMMISSION OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
11. STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN FOURTEEN (14) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF SOIL STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAYBALES. SIDE SLOPES SHALL NOT EXCEED 2:1.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF THE CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO SPRINKLING OF WATER ON EXPOSED SOILS AND PAVED ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC.
13. ADJACENT ROADS SHALL BE PERIODICALLY SWEEPED OR WASHED TO AVOID TRACKING MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. ALL SEDIMENT TRACKED ONTO ROADWAYS MUST BE REMOVED AT END OF EACH WORK DAY.
14. IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN FOURTEEN (14) DAYS AFTER LAND DISTURBANCES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZE SOILS.
14. WHERE DE-WATERING IS NECESSARY, THERE SHALL NOT BE A DISCHARGE DIRECTLY INTO WETLANDS OR WATERCOURSES. PROPER METHODS AND DEVICES SHALL BE UTILIZED TO THE EXTENT PERMITTED BY LAW, SUCH AS PUMPING WATER INTO A TEMPORARY SEDIMENTATION BOWL, PROVIDING SURGE PROTECTION AT THE INLET AND THE OUTLET OF PUMPS, OR FLOATING THE INTAKE OF THE PUMP, OR OTHER METHODS TO MINIMIZE AND RETAIN THE SUSPENDED SOLIDS. IF A PUMPING OPERATION IS CAUSING TURBIDITY PROBLEMS, SAID OPERATION SHALL CEASE UNTIL SUCH TIME AS FEASIBLE MEANS OF CONTROLLING TURBIDITY ARE DETERMINED AND IMPLEMENTED. SAID DISCHARGE POINTS SHALL BE LOCATED OVER 100 FEET FROM THE DELINEATED WETLANDS AS INDICATED ON THIS PLAN.
15. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR, CLEANED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTIONS SHALL TAKE PLACE WEEKLY AND BEFORE AND AFTER EACH 1/4" RAINFALL EVENT. CONTRACTOR TO MAINTAIN ALL WEEKLY REPORTS IN CONJUNCTION WITH THE EROSION CONTROL / NPDES CONSTRUCTION GENERAL PERMIT REQUIREMENTS. COPIES OF ALL SWPPP INSPECTION REPORTS SHALL BE PROVIDED TO THE TOWN, EPA, DEP, OR ANY OTHER AUTHORITY REQUESTING WITHIN 3 DAYS OF EACH INSPECTION.

LEGEND

- PROPOSED LINEAR EROSION CONTROL LINE
- ☒ PROPOSED CATCH BASIN INLET PROTECTION



NO.	DATE	DESCRIPTION	BY	APP.
1	4/27/22	TOWN PLANNER COMMENTS	RSR	RSR
2	10/26/22	PRE COMMENTS/REVIEW LAYOUT	RSR	RSR



T SIKORSKI REALTY, LLC
50 TURNER ST.
E. TAUNTON, MA, 02718



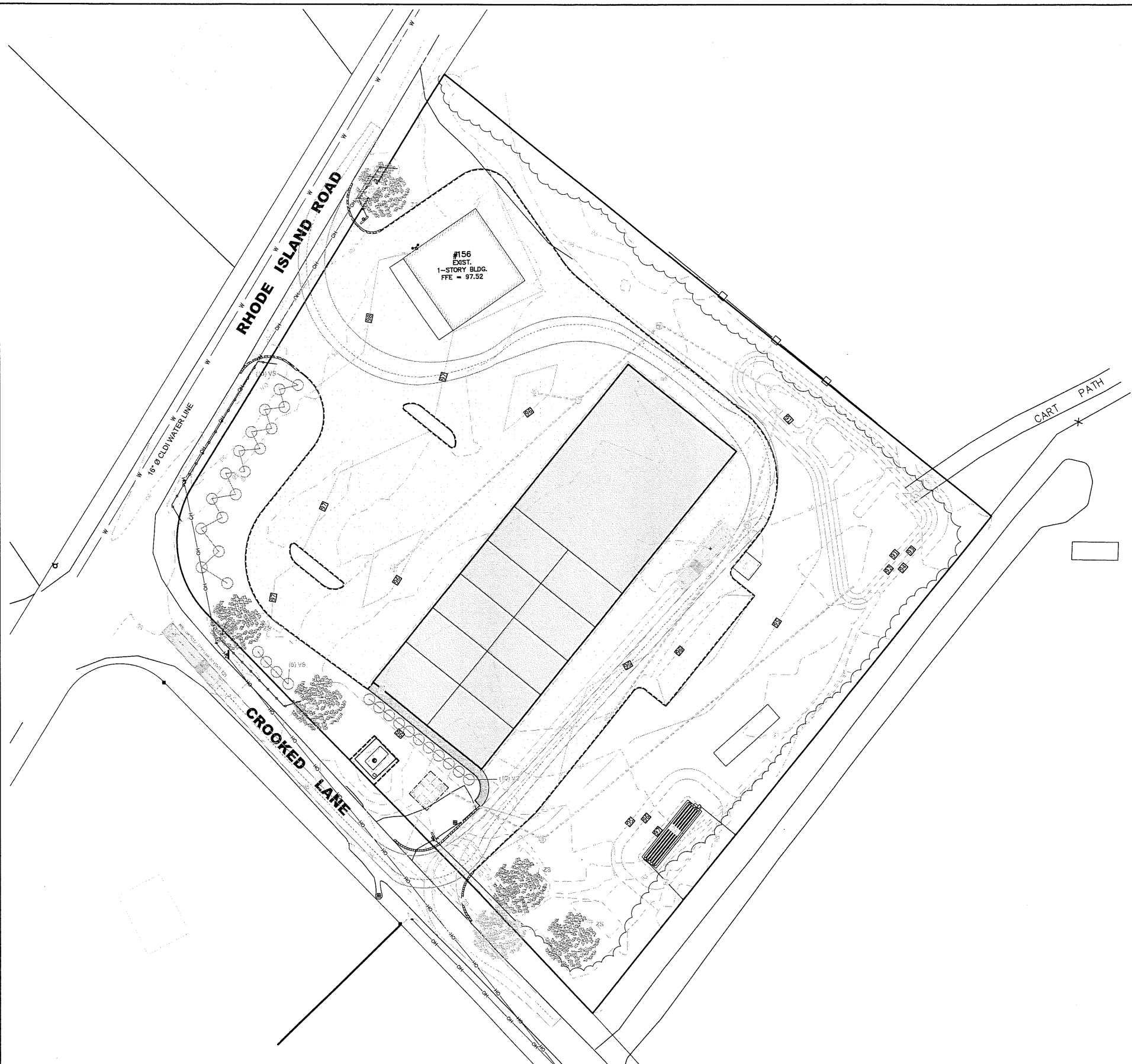
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COMMERCIAL DEVELOPMENT
156 RHODE ISLAND ROAD
LAKEVILLE, MA

EROSION CONTROL/DEMOLITION PLAN

PROJECT NO. 00488-01-01
DATE: MARCH 10, 2022
SCALE: AS SHOWN

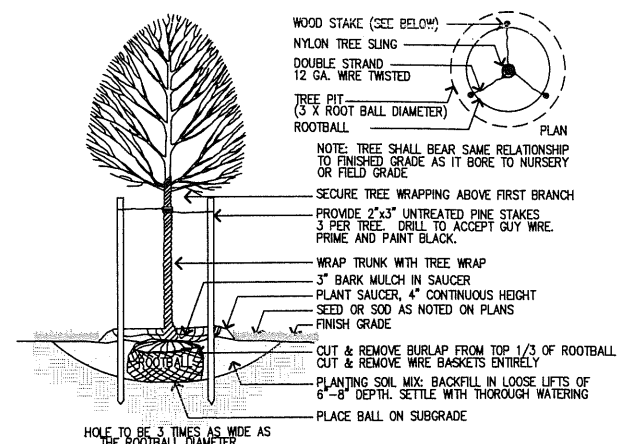
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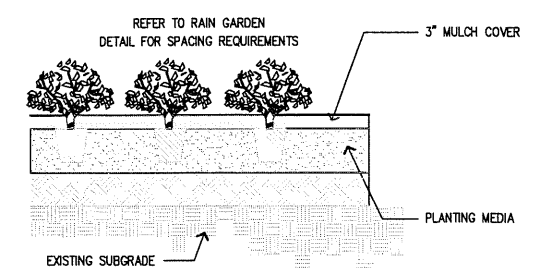
- NOTES:**
- TURNING MOVEMENTS SHOWN ARE FOR AASHTO INTERMEDIATE SEMITRAILER (WB-12).
 - ANALYSIS WAS PERFORMED USING AUTOPATH VEHICLE SWEEPED PATH ANALYSIS SOFTWARE.



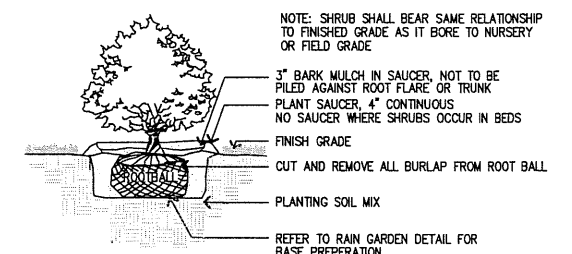
Scale 1" = 30'



DECIDUOUS TREE PLANTING AND STAKING
 NOT TO SCALE



GROUNDCOVER PLANTING
 NOT TO SCALE

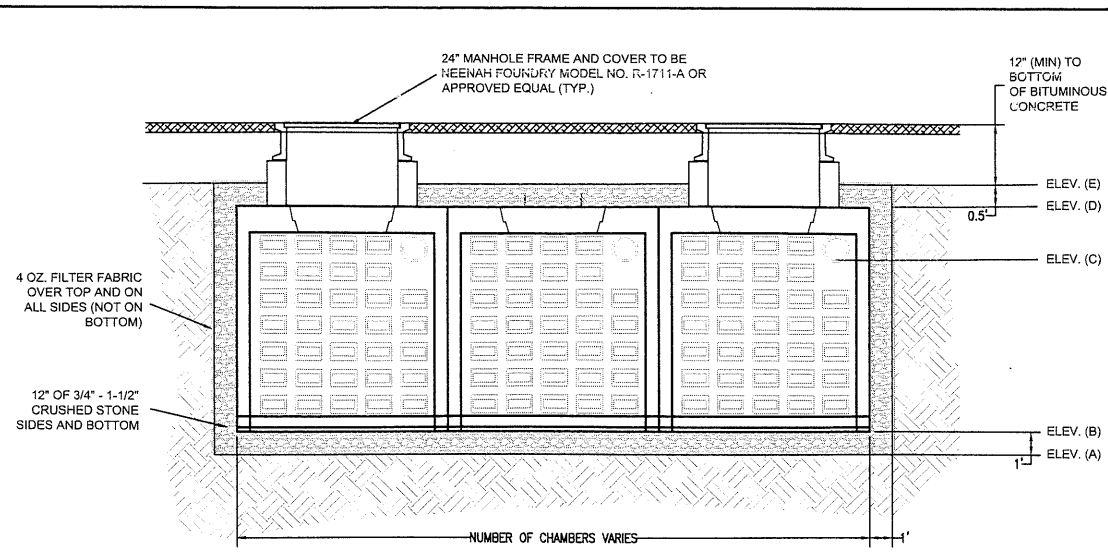


TYPICAL SHRUB PLANTING
 NOT TO SCALE

PLANT KEY				
SYMBOL	ID	BOTANICAL NAME	COMMON NAME	SIZE
	ZS	ZELKOVA SERRATA	JAPANESE ZELKOVs	2" to 2.5" CAL 14" to 16" TALL
	IG	ILEX GLABRA COMPACTA	COMPACT INKBERRY	24"-30"
	VA	VARIOUS SHRUBS	AZALEAS HOSTA WINTER BERRY HYDRANGEA RHODODENDRON	2 GALLON
		VARIOUS PERENNIAL FLOWERS	DAY LILY NEW ENGLAND ASTER BLAZING STAR CARDINAL FLOWER	

* HEIGHT BASED ON AVERGAE HEIGHT RANGE PRESENTED IN AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)

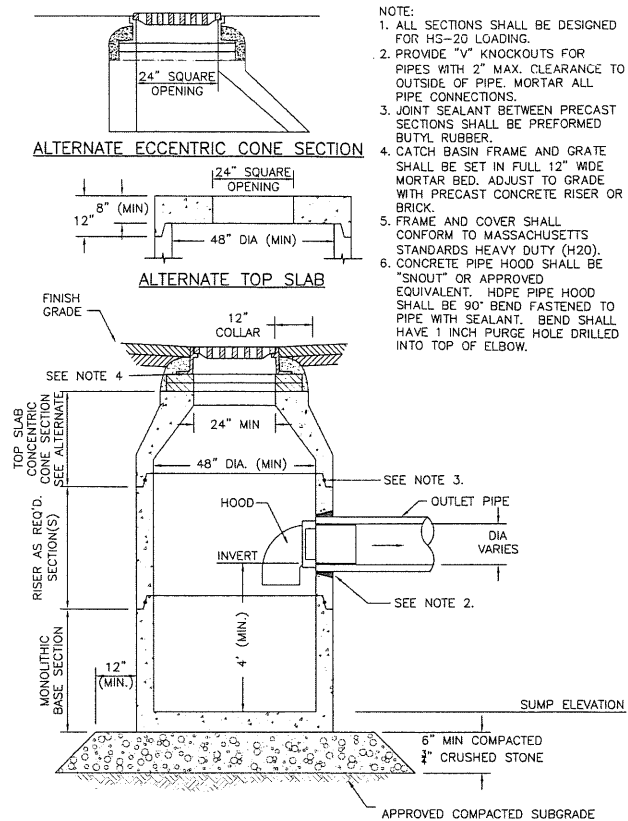
10/26/2022		T SIKORSKI REALTY, LLC 50 TURNER ST. E. TAUNTON, MA, 02718	
10/26/2022		RIVER HAWK ENVIRONMENTAL CONSULTING 2183 OCEAN STREET, MARSHFIELD, MA 02050 781-538-4639 www.RiverHawkLLC.com	
COMMERCIAL DEVELOPMENT 156 RHODE ISLAND ROAD LAKEVILLE, MA		LANDSCAPING & TRAFFIC PLAN	
DATE: MARCH 10, 2022	PROJECT NO. 00488-01-01	SCALE: AS SHOWN	AS SHOWN
DRAWN BY: HRR	DESIGNED BY: RSR	CHECKED BY: RSR	APPROVED BY: RSR
REV	DATE	DESCRIPTION	BY
1	4/27/22	TOWN PLANNER COMMENTS	RSR
2	10/26/22	PRE COMMENTS/REV LAYOUT	RSR



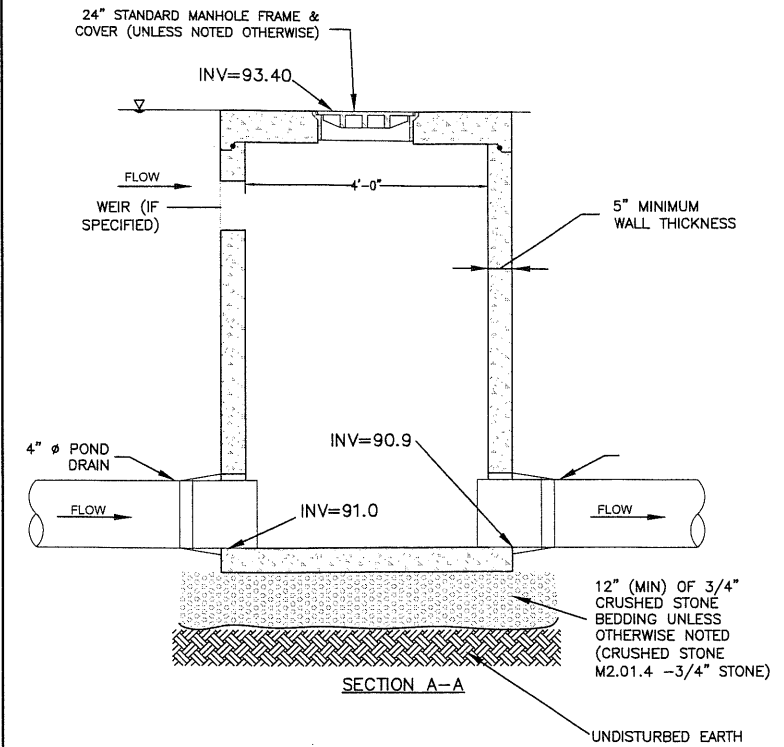
INFILTRATION GALLERY DETAIL
NOT TO SCALE

INFILTRATION AREAS ELEVATION SCHEDULE

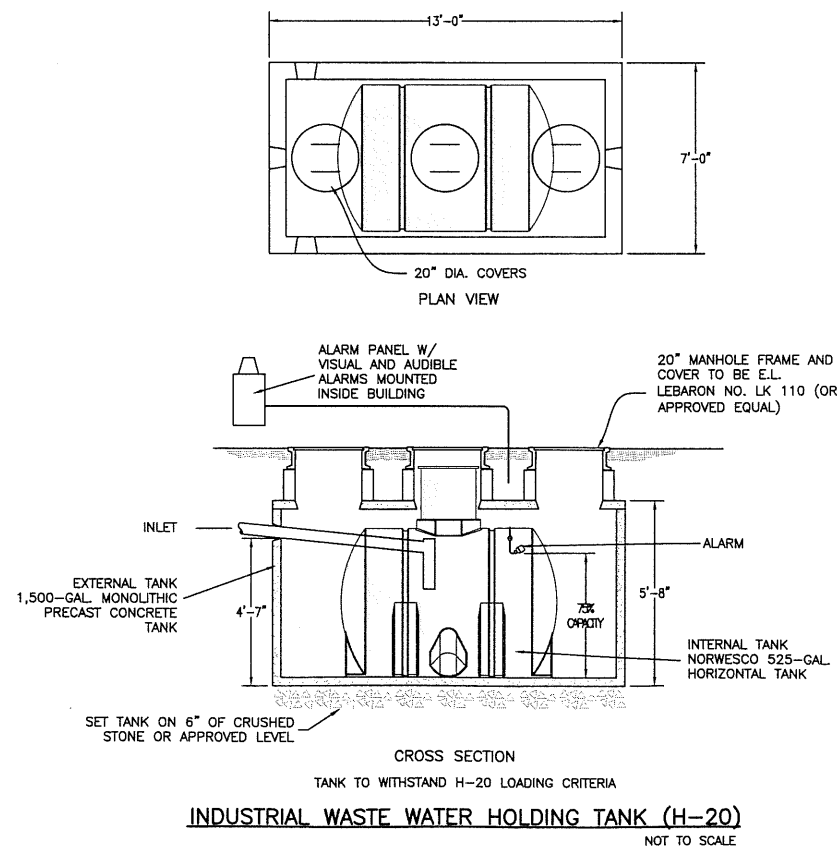
	ID	AREA 1
TOP OF STONE ELEV.	F	91.67
100-YEAR FLOOD ELEV.	E	91.67
TOP OF CHAMBER	D	91.17
INV. IN	C	90.67
BOT. OF CHAMBER	B	88.17
BOT. OF STONE ELEV.	A	87.17
HIGH GW ELEV.		85.14+



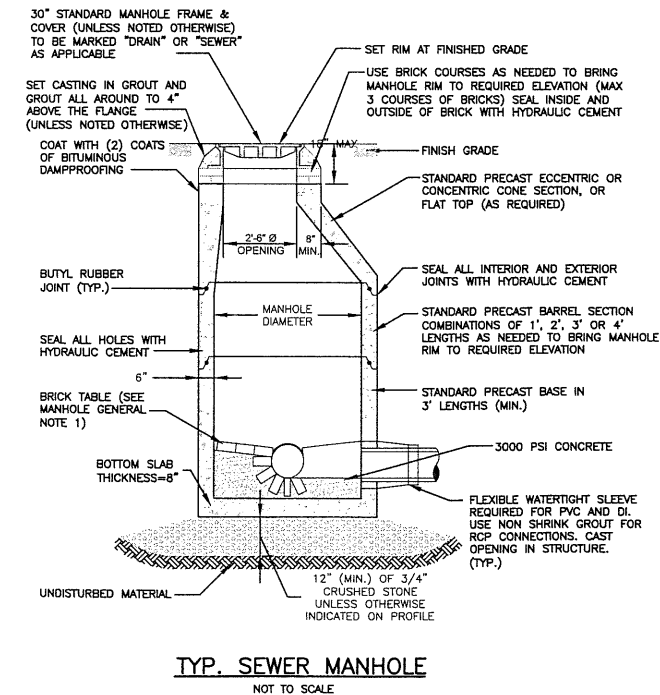
SINGLE GRATE CATCH BASIN
NOT TO SCALE



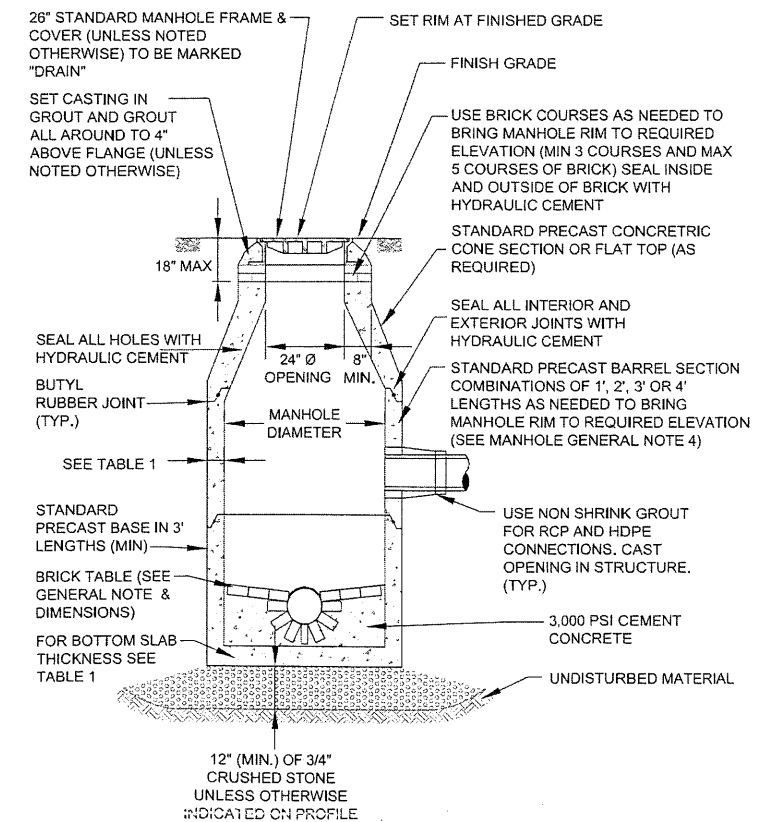
OUTLET CONTROL STRUCTURE
NOT TO SCALE



INDUSTRIAL WASTE WATER HOLDING TANK (H-20)
NOT TO SCALE



TYP. SEWER MANHOLE
NOT TO SCALE



TYP. DRAINAGE MANHOLE
NOT TO SCALE

NO.	DATE	REV.	DESCRIPTION
2	10/26/22	1	GENERAL COMMENTS
1	10/27/22	1	TOWN PLANNER COMMENTS



T SIKORSKI REALTY, LLC
50 TURNERS ST.
E. TAUNTON, MA, 02718



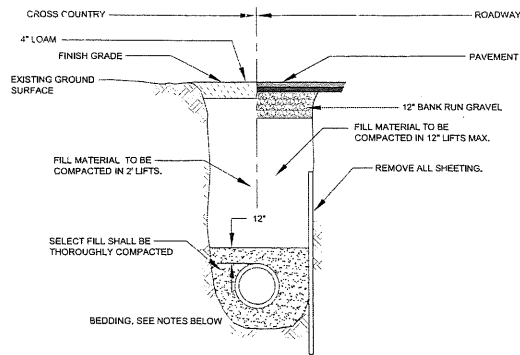
RiverHawk ENVIRONMENTAL
CIVIL ENGINEERING & ENVIRONMENTAL ASSESSMENT
2183 OCEAN STREET, MARSHFIELD, MA 02050
781-538-4639 www.RiverHawkLLC.com

COMMERCIAL DEVELOPMENT
156 RHODE ISLAND ROAD
LAKEVILLE, MA

DETAILS - 1

PROJECT NO. 00488-01-01
SCALE: AS SHOWN
DATE: OCT. 24, 2022

D1.1

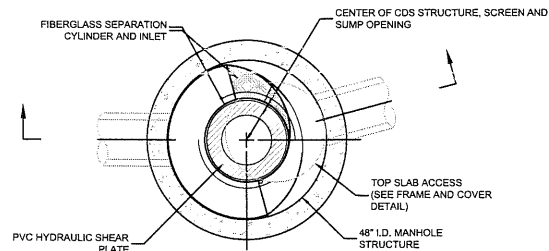


NOTE: 5'-0" MIN. COVER

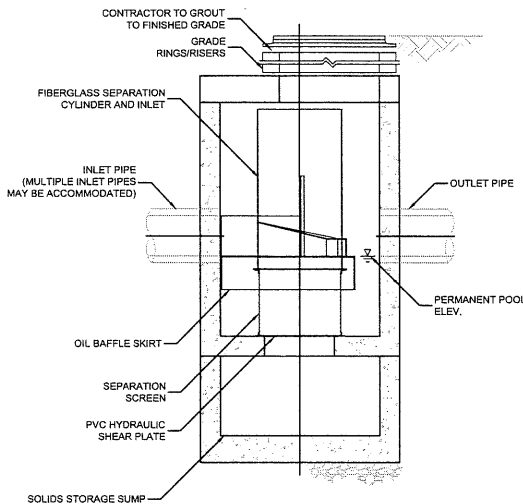
NOTES:

1. FLOWABLE FILL SHALL BE USED IN THE STREET LAYOUT.
2. FOR LOCATIONS WHERE LEDGE IS NOT ENCOUNTERED IN TRENCH, PIPE CAN LAY ON UNDISTURBED EARTH, OR ON SAND BEDDING CONSISTENT WITH AWWA GUIDELINES.
3. FOR LOCATIONS WHERE LEDGE IS ENCOUNTERED, SAND BEDDING SHALL BE MIN. OF 12" THICK UNDER PIPE.
4. FILL MATERIAL SHALL BE COMPACTED TO 95% PROCTOR DENSITY.

WATER MAIN TRENCH DETAIL
NOT TO SCALE

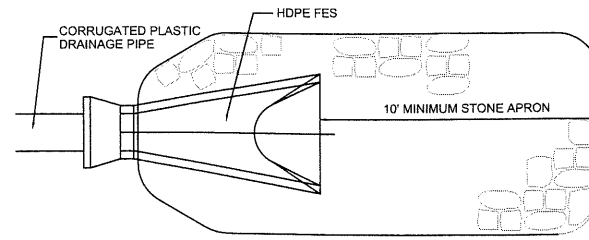


PLAN VIEW B-B

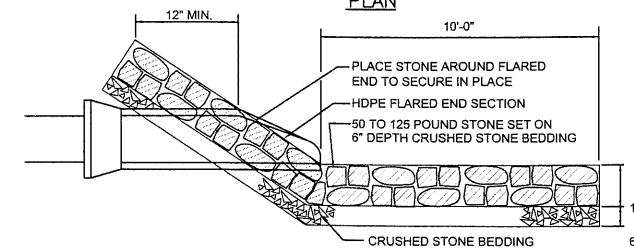


ELEVATION A-A

TYP. SEWER MANHOLE
NOT TO SCALE



PLAN

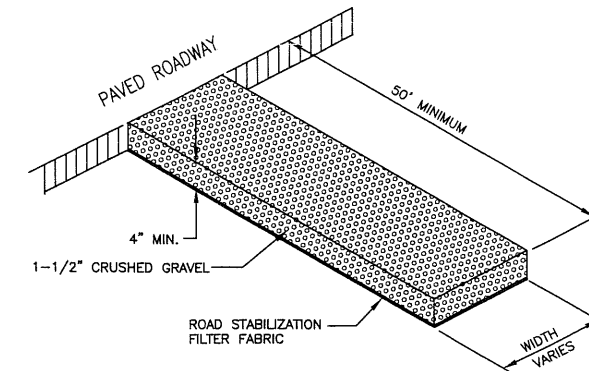


ELEVATION

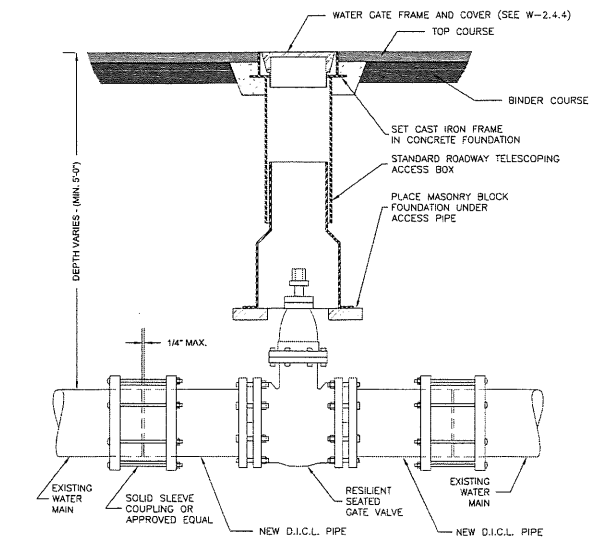
NOTES:

1. PROVIDE STONE APRON AT ALL OUTLETS

STONE APRON AT PIPE END
NOT TO SCALE

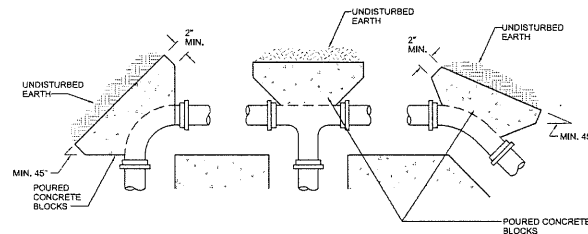


ANTI-TRACKING PAD
NOT TO SCALE



NOTE:
ALL EXCAVATION, BACKFILLING AND PAVING SHALL BE IN ACCORDANCE WITH THE TOWN OF FRAMINGHAM REQUIREMENTS.

GATE VALVE
NOT TO SCALE



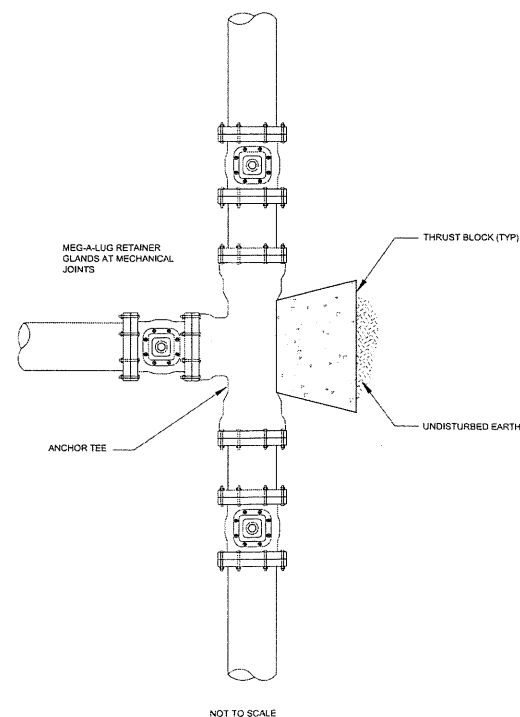
PLAN VIEWS

NOTES:

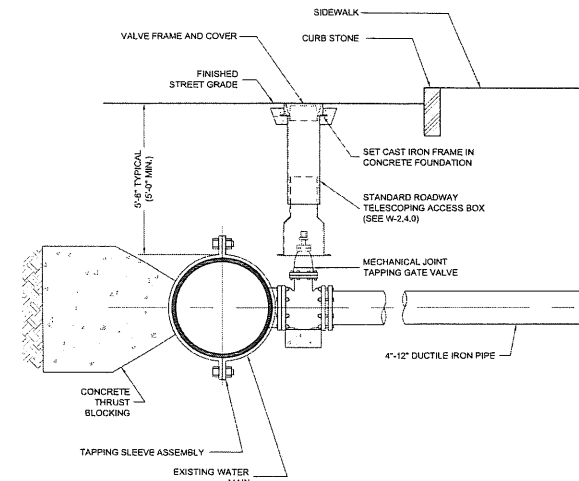
1. SPECIFIC THRUST BLOCK DESIGN SHALL CONFORM TO AWWA GUIDELINES.
2. PLACE 4 mil. POLYETHYLENE BETWEEN CONCRETE AND FITTING (CONCRETE SHALL NOT INTERFERE WITH JOINT).
3. MINIMUM CONCRETE THICKNESS SHALL BE 12 INCHES.
4. THRUST BLOCK ORIENTATION SHALL BE SUCH THAT THE CENTER OF THE FITTING CORRESPONDS WITH THE CENTER OF THE THRUST BLOCK.
5. THE MINIMUM ALLOWABLE ANGLE (EITHER VERTICAL OR HORIZONTAL) SHALL BE 45 DEGREES.

NOT TO SCALE

TYP. THRUST BLOCK DETAIL
NOT TO SCALE



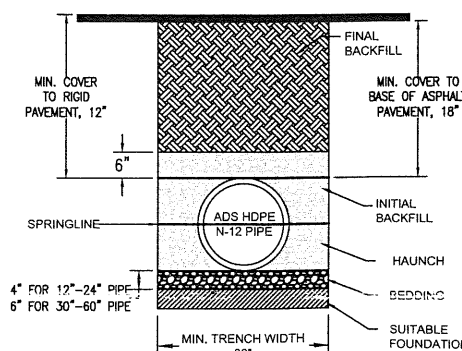
TYP. ANCHOR TEE
NOT TO SCALE



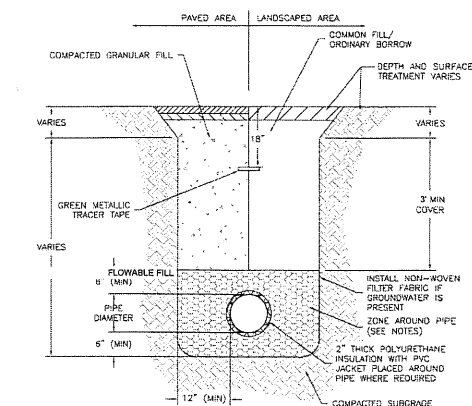
NOTES:

1. MAXIMUM TAPPING SLEEVE SHALL NOT BE GREATER THAN 1/2 DIAMETER OF CONNECTING MAIN.
2. MEGA LUG RESTRAINTS ON ALL MECHANICAL JOINTS.

TYP. CONNECTION (TAPPING SLEEVE)
NOT TO SCALE



DRAIN PIPE TRENCH DETAIL
NOT TO SCALE



- NOTE:
1. GRAVITY SEWER AND FORCE MAIN SHALL BE INSULATED WHEN VERTICAL OR HORIZONTAL SOIL COVER IS LESS THAN 4 FEET AND WHERE SHOWN ON PLANS. IN CERTAIN INSTANCES, DI PIPE MAY BE REQUIRED.
 2. BACKFILL PLACED IN UTILITY TRENCHES INCLUDING DISTURBED AREAS SURROUNDING UTILITY TRENCHES SHALL BE PLACED AND COMPACTED IN 12" (MAX.) VERTICAL LIFTS.
 3. TRACER TAPE FOR NON-FERROUS PIPE SHALL BE CONSTRUCTED OF A METALLIC CORE BONDED TO PLASTIC LAYERS. THE METALLIC TRACER TAPE SHALL BE A MINIMUM 5mm THICK AND MUST BE LOCATABLE AT A DEPTH OF 18 INCHES WITH ORDINARY PIPE LOCATORS.
 4. THE PEA GRAVEL SHALL CONSIST OF CLEAN, HARD, ROUND PARTICLES OF GRAVEL, MEETING THE FOLLOWING:

SEIVE SIZE	PERCENT PASSING
NO. 4	85-95
NO. 10	5-15
NO. 20	0-2
 5. CONTRACTOR SHALL ACHIEVE 95% COMPACTION FOR THE BEDDING. TRENCH BACKFILL UNDER ROADWAYS SHALL BE COMPACTED TO 95%.
 6. ZONE AROUND PIPE BACKFILL WITH UNPROCESSED SAND, FINE GRAVEL, OR OTHER MATERIAL APPROVED BY THE WASTEWATER DEPARTMENT.
 7. FOR PVC PIPE 3" CRUSHED STONE 6" AROUND ENTIRE PIPE.
 8. FOR CONCRETE PIPE 1" STONE 6" UNDER PIPE AND HALFWAY UP PIPE.

TYP. SEWER TRENCH
NOT TO SCALE

NO.	DATE	REVISION	BY	APP.
1	10/28/22	GENERAL COMMENTS	RSR	
2	10/28/22	TOWN PLANNER COMMENTS	RSR	



T SIKORSKI REALTY, LLC
50 TURNERS ST.
E. TAUNTON, MA, 02718



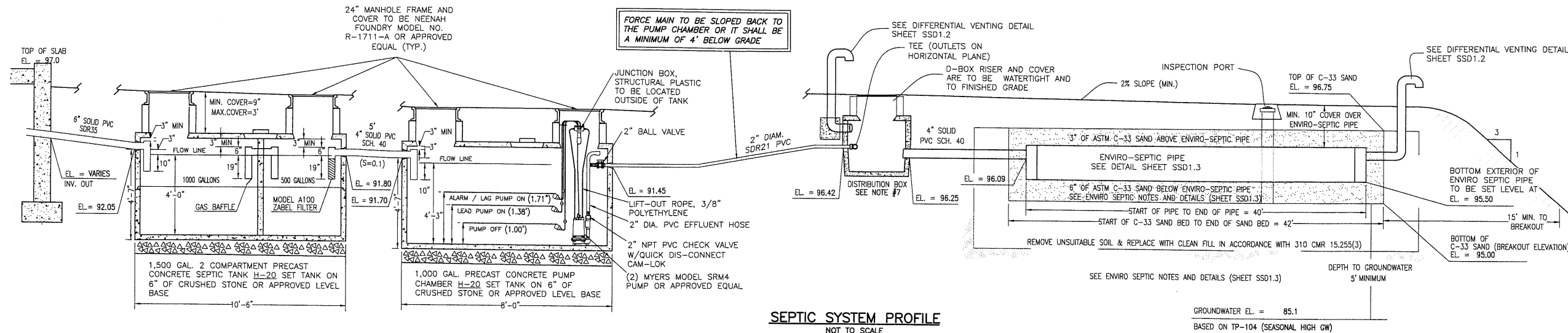
River Hawk
ENVIRONMENTAL
CIVIL ENGINEERING & ENVIRONMENTAL ASSESSMENT
2183 OCEAN STREET, MARSHFIELD, MA 02050
781-538-4639 www.RiverHawkLLC.com

COMMERCIAL DEVELOPMENT
156 RHODE ISLAND ROAD
LAKEVILLE, MA

DETAILS - 2

D1.2

DATE	PROJECT NO.	SCALE	DRAWN BY	CHECKED BY	APPROVED BY
OCT. 24, 2022	00488-01-01	AS SHOWN	HRR	RSR	RSR



SEPTIC SYSTEM PROFILE
NOT TO SCALE

DESIGN DATA:

DESIGN FLOW:

REQUIRED FLOW FOR PROP. GARAGE/WAREHOUSE/STORAGE SPACE
2 PERSONS UNIT X 12 UNITS X 15 GPD/PERSON = 360 GPD
TOTAL REQUIRED MINIMUM FLOW = 360 GPD

SEPTIC TANK:

USE 2 COMPARTMENT TANK
COMPARTMENT 1 (48-HR RETENTION TIME)
360 GPD X 2 DAYS = 720 GALLON
COMPARTMENT 2 (24-HR X 1 DAY = 360 GALLON)
USE 1,500 GAL. 2 COMPARTMENT TANK
(1000-GAL/500 GALLON)

SOIL ABSORPTION SYSTEM (ENVIRO-SEPTIC):

PERCOLATION RATE = <2 MIN./INCH (CLASS I SOIL)
USE STANDARD ENVIRO-SEPTIC PIPE IN BED CONFIGURATION

TASK 1: LINEAR FEET OF ENVIRO-SEPTIC PIPE REQUIRED
DESIGN LOADING RATE = 0.50 LF OF ENVIRO-SEPTIC PIPE/GPD
LINEAR FEET OF ENVIRO-SEPTIC PIPE REQ'D =
(360 GPD) X (0.50 LF/GPD) = 180 LF

TASK 2: SLOPE OF PROPOSED SAS
SAND BED TO HAVE NO SLOPE

TASK 3: MINIMUM CENTER TO CENTER SPACING
MINIMUM CENTER TO CENTER PIPE SPACING = 1.5'
DESIGN CENTER TO CENTER PIPE SPACING = 1.5'

TASK 4: LINE LAYOUT
USE BASIC SERIAL SYSTEM
LINEAR FEET OF ENVIRO-SEPTIC PIPE PROVIDED =
USE 40 LF (LINE LENGTH) X 6 (LINES) = 240 LF OF
ENVIRO-SEPTIC PIPE
240 LF x (100 GPD/50 LF) = 480 GPD < 500 GPD MAX.

TASK 5: TOTAL SYSTEM BED AREA
AREA OF SAND BED = (42' LONG X 10.5' WIDE) = 441 SF
AREA OF TYPICAL AGGREGATE SYSTEM = (360 GPD)/(0.74 GPD/SF) = 486 SF
MINIMUM AREA OF SAND BED REQUIRED = (486 SF) X (0.60) = 292 SF
MINIMUM AREA OF SAND BED REQUIRED = 400 SF
(PROVIDED) 441 SF > 400 SF (MINIMUM REQUIRED)

FLOW PROVIDED:
(240 L.F.) X (100 GPD/ 50 L.F.) = 480 GPD
(PROVIDED) 480 GPD > 360 GPD (MINIMUM REQUIRED)

TOWN OF LAKEVILLE PLANNING BOARD:

SITE PLAN APPROVAL

DATE APPROVED: _____
DATE ENDORSED: _____

PUMP NOTES:

- AN AUDIBLE AND VISUAL ALARM SHALL BE PROVIDED. PUMPS TO BE ON SEPARATE CIRCUIT FROM ALARM.
- PUMPS AND APPURTENANCES TO BE INSTALLED AND LOCATED ACCORDING TO MANUFACTURERS INSTRUCTIONS AND LOCAL BUILDING AND WIRING CODES.
- PUMPS SHALL CONSIST OF A MYERS MODEL SRM4 SUBMERSIBLE PUMP (OR APPROVED EQUAL). PUMPS SHALL BE RATED AT 4/10 HP AND SHALL HAVE A 2" DISCHARGE. THE PUMPS SHALL OPERATE FROM A 115 VOLT, 11.5 AMP, SINGLE PHASE, 60 HERTZ POWER SUPPLY.
- PUMP CONTROL PANEL SHALL CONSIST OF MYERS CE DUPLEX SERIES ELECTRICAL CONTROL PANEL (OR APPROVED EQUAL).
- THE FORCE MAIN FROM THE PUMP CHAMBER TO THE D-BOX SHALL BE SLOPED BACK TOWARDS THE PUMP CHAMBER OR IT SHALL BE BURIED AT LEAST 4' BELOW THE GROUND SURFACE.

SEPTIC CONSTRUCTION NOTES:

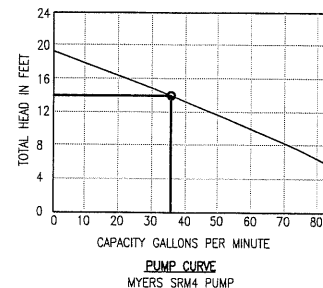
- THE CONTRACTOR SHALL NOTIFY THE LOCAL BOARD OF HEALTH AND RIVER HAWK ENVIRONMENTAL, LLC., AT LEAST 48 HOURS PRIOR TO REQUIRED INSPECTIONS. THE REQUIRED INSPECTIONS ARE AS FOLLOWS:
A. AFTER LEACH FIELD EXCAVATION PRIOR TO PLACEMENT OF SAND
B. AFTER PLACEMENT OF ENVIRO-SEPTIC IN SAND BED. PRIOR TO BACKFILL.
C. PRIOR TO BACKFILL, THE CONTRACTOR IS TO PROVIDE A CURRENT SIEVE ANALYSIS SHOWING THAT THE SAND MEETS PRESBY SPECIFICATIONS.
D. DURING BACKFILLING IN ACCORDANCE WITH 310 CMR 15.021 (2).
- BENCHMARK TO BE SET WITHIN 75' OF THE SAS BY RIVER HAWK ENVIRONMENTAL PRIOR TO CONSTRUCTION.
- HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO OPERATE OVER THE LIMITS OF THE SAS DURING THE COURSE OF CONSTRUCTION OF THE SYSTEM.
- NO FIELD MODIFICATIONS TO THE SEWAGE SYSTEM SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER AND THE LOCAL BOARD OF HEALTH.
- UNLESS OTHERWISE NOTED ALL SYSTEM COMPONENTS SHALL BE INSTALLED IN ACCORDANCE WITH TITLE V OF THE STATE ENVIRONMENTAL CODE AND ANY APPLICABLE LOCAL RULES.
- SEPTIC TANKS, PUMP CHAMBER, AND DOSING CHAMBER SHALL BE MANUFACTURED BY J&R PRECAST OR APPROVED EQUAL AND SHALL WITHSTAND H-20 LOADING CRITERIA AS NOTED.
- DOUBLE GASKETS AND GROUT TO BE USED AT ALL POINTS WHERE PIPES ENTER OR LEAVE ALL CONCRETE STRUCTURES IN ORDER TO PROVIDE A WATERTIGHT SEAL. MORTAR ALL INLET AND OUTLETS NOT USED ON ALL CONCRETE STRUCTURES.
- THIS SYSTEM IS NOT DESIGNED TO ACCOMMODATE GARBAGE GRINDERS.
- THE D-BOX OUTLET IS TO BE A MINIMUM OF 2" HIGHER THAN THE INLET OF THE ENVIRO-SEPTIC PIPE. A MINIMUM OF 2% SLOPE IS REQUIRED BETWEEN THE D-BOX AND THE ENVIRO-SEPTIC PIPE. FLOW EQUALIZERS SHALL BE USED ON ALL OUTLETS.
- INSTALLER SHALL BE TRAINED AND CERTIFIED BY PRESBY ENVIRONMENTAL INC.
- THE DESIGNER, ROBERT S. REGO, HAS COMPLETED THE ENVIRO-SEPTIC CERTIFICATION COURSE (CERTIFICATE NO: 10235MAES).
- ALL PRECAST TANKS SHALL BE WATERTIGHT AS DEFINED IN ASTM C1227 98, STANDARD SPECIFICATION FOR PRECAST CONCRETE SEPTIC TANKS, PARAGRAPH 9.2.
- OTHER THAN THOSE SHOWN, THERE ARE NO KNOWN PUBLIC OR PRIVATE DRINKING WATER SUPPLY WELLS WITHIN 200' OF THE PROPOSED SOIL ABSORPTION SYSTEM.
- IN ACCORDANCE WITH 310 CMR 15.221, ALL SYSTEM COMPONENTS SHALL BE MARKED WITH MAGNETIC MARKING TAPE.
- FINISH GRADE SHALL BE SLOPED AWAY FROM ALL MANHOLES IN ORDER TO PRECLUDE SURFACE INFILTRATION.
- THE PROPOSED SEPTIC SYSTEM IS NOT LOCATED IN A ZONE II (WELL HEAD PROTECTION AREA).
- LOCATION OF UTILITIES ARE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE ACTUAL LOCATION AND INVERTS OF UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE UNDER MASSACHUSETTS STATE LAW TO NOTIFY DIGSAFE (800.322.4844) TO LOCATE UTILITIES IN THE PROJECT AREA 72 HOURS PRIOR TO THE START OF EXCAVATION.
- AN OUTLET TEE FILTER SHALL BE INSTALLED IN THE SEPTIC TANK. THE OUTLET TEE FILTER (ZABEL OR APPROVED EQUAL) SHALL BE INSPECTED AND CLEANED ANNUALLY.
- SYSTEM TO BE INSTALLED IN ACCORDANCE WITH PRODUCT DESIGN AND INSTALLATION MANUAL, STATE AND LOCAL REGULATIONS.
- DO NOT INSTALL SYSTEM ON FROZEN GROUND OR LEAVE SYSTEM UNCOVERED FOR EXTENDED PERIODS OF TIME. THE SAND SURROUNDING THE ENVIRO SEPTIC PIPE SHALL MEET ASTM C-33, AS LONG AS 2% OR LESS OF THE SAND PASSES THROUGH A #200 SIEVE.

BUOYANCY CALCS. 1,000 GALLON PUMP CHAMBER

DOWNWARD FORCE:
1,000-GALLON MONOLITHIC H-20 PUMP CHAMBER
WEIGHT OF EMPTY 1,000 GAL. TANK=10,500 LBS.
(WITHOUT COVERS)
SOIL WEIGHT ABOVE TANK: VOLUME OVER TANK=152 CF
(152 CF X 110 LB/CF=16,720 LBS)
DOWNWARD FORCE=10,500+16,720=27,220 LBS.
BUOYANT FORCE: (ASSUMES TANK FULLY SUBMERGED IN WATER)
VOLUME OF DISPLACED WATER = 189 CF
BUOYANT FORCE=189 CF X 62.4 LB/CF=11,821 LB
27,220 LB > 11,821 LB (DOWNWARD FORCE > BUOYANT FORCE)

DOSE CALCULATION:

DESIGN DOSE = 360 GPD / 4 DOSE/DAY = 90 GALLONS
DRAIN BACK VOLUME = 16.3 GALLONS/DOSE
TOTAL DOSE = 90 + 16.3 = 106.3 GALLONS
PUMP DESIGN:
REQUIRED HEAD = FRICTION LOSS ± ALTITUDE CHANGE ± STATIC PRESSURE CHANGE
ALTITUDE CHANGE = 96.42' - 87.45' = 9'
FRICTION LOSS = 4.1'
STATIC PRESSURE CHANGE = 0
REQUIRED PUMP HEAD = 9' + 4.1' = 13.1'



SOIL DATA:

DATE PERFORMED: OCTOBER 4, 2021
SOIL TESTING AND PERCOLATION TEST PERFORMED BY BOB REGO P.E., RIVER HAWK ENVIRONMENTAL, LLC
WITNESSED BY EDWARD CULLEN, LAKEVILLE BOARD OF HEALTH

SOIL HORIZ.	TP-101	DEPTH	ELEV.	SOIL HORIZ.	TP-102	DEPTH	ELEV.	SOIL HORIZ.	TP-103	DEPTH	ELEV.	SOIL HORIZ.	TP-104	DEPTH	ELEV.
Bw	LOAMY SAND 10YR 5/3	0"	94.8	Bw	LOAMY SAND 10YR 5/3	0"	93.5	Bw	LOAMY SAND 10YR 5/3	0"	94.2	Bw	LOAMY SAND 10YR 5/3	0"	95.1
		10"	94.0			4"	93.2			9"	93.5			6"	94.6
C1	F/M SAND 2.5YR 6/4			C1	F/M SAND 2.5YR 6/4			C1	F/M SAND 2.5YR 6/4			C1	F/M SAND 2.5YR 6/4		
		81"	87.2			53"	89.1			59"	89.3			76"	88.8
C2	SANDY LOAM 2.5Y 7/4			C2	SANDY LOAM 2.5Y 7/4			C2	SANDY LOAM 2.5Y 7/4			C2	SANDY LOAM 2.5Y 7/4		
		120"	84.8			120"	83.5			120"	84.2			120"	85.1

WEEPING - NONE OBSERVED
MORTLING - NONE OBSERVED
STANDING WATER - NONE OBSERVED
SEASONAL HIGH GROUNDWATER ELEV. = 84.8
PERCOLATION RATE = <2 M.P.I.

10/26/2022

T SIKORSKI REALTY, LLC
50 TURNERS ST.
E. TAUNTON, MA, 02718

10/26/2022

RIVER HAWK ENVIRONMENTAL
CIVIL ENGINEERING & ENVIRONMENTAL ASSESSMENT
2183 OCEAN STREET, MARSHFIELD, MA 02050
781-536-4639 www.RiverHawkLLC.com

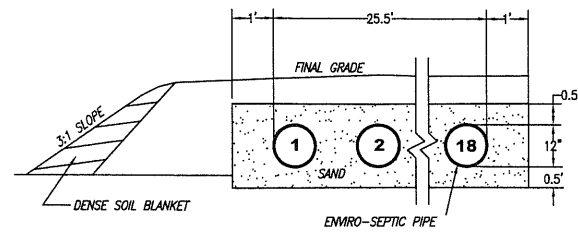
DESIGNED BY: WPK
CHECKED BY: RSR
APPROVED BY: RSR

PROJECT NO. 04BB-01-01
SCALE: AS SHOWN
DATE: OCT-26, 2022

COMMERCIAL DEVELOPMENT
156 RHODE ISLAND ROAD
LAKEVILLE, MA

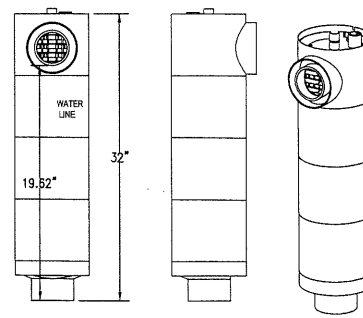
SEPTIC SYSTEM DETAILS - 1

SSD1.1



NOTES:
NUMBER OF ENVIRO-SEPTIC LINES: 18
CENTER TO CENTER SPACING: 1.5'

CROSS-SECTION OF SAS
NOT TO SCALE



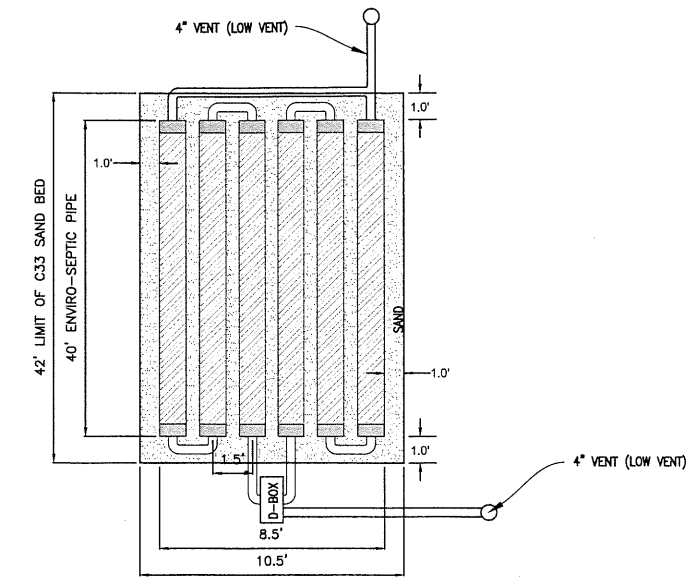
ZABEL A100 OUTLET FILTER
NOT TO SCALE

TOWN OF LAKEVILLE PLANNING BOARD:

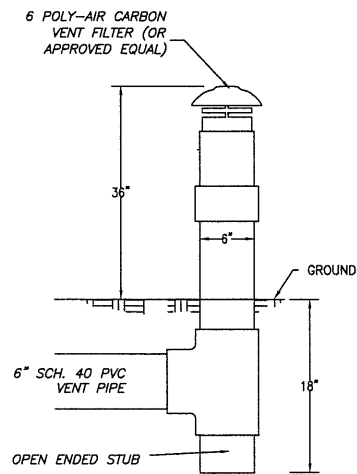
SITE PLAN APPROVAL

DATE APPROVED: _____

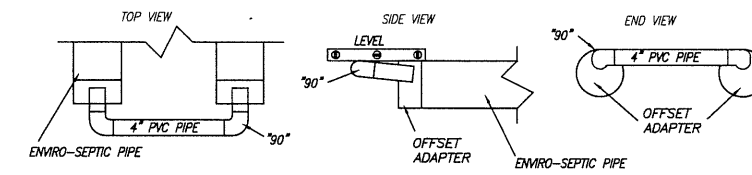
DATE ENDORSED: _____



PRESBY LEACHING BED
NOT TO SCALE

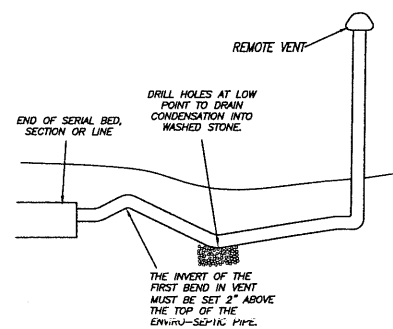


LOW VENT DETAIL
NOT TO SCALE

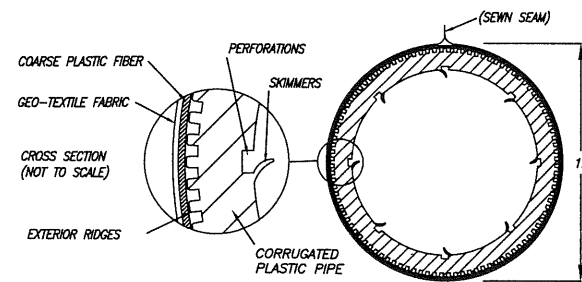


DO NOT INSERT PVC PIPE MORE THAN 4\"/>

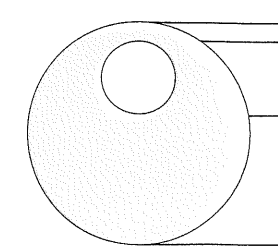
RAISED CONNECTION
NOT TO SCALE



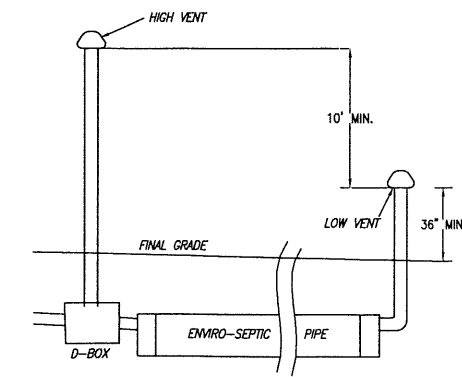
REMOTE LOW VENT DETAIL
NOT TO SCALE



ENVIRO-SEPTIC LEACHING SYSTEM
NOT TO SCALE



OFFSET ADAPTER
NOT TO SCALE



DIFFERENTIAL VENTING DETAIL
NOT TO SCALE



T SIKORSKI REALTY, LLC
50 TURNERS ST.
E. TAUNTON, MA, 02718



RiverHawk ENVIRONMENTAL
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COMMERCIAL DEVELOPMENT
156 RHODE ISLAND ROAD
LAKEVILLE, MA

SEPTIC SYSTEM DETAILS - 2

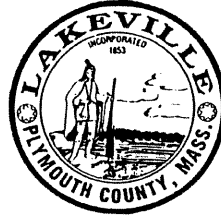
SSD1.2

DATE:	PROJECT NO.:	SCALE:	AS SHOWN
OCT. 24, 2022	0048B-01-01		
DRAWN BY:	DESIGNED BY:	CHECKED BY:	APPROVED BY:
HRR	HRR	WPK	RSR
REV.:	DATE:	DESCRIPTION:	BY:
1	4/27/22	TOWN PLANNER COMMENTS	RSR
2	10/26/22	GENERAL COMMENTS	HRR

Town of Lakeville

PLANNING BOARD

346 Bedford Street
Lakeville, MA 02347
774-776-4350



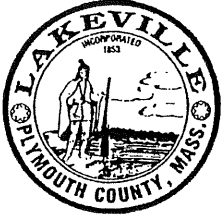
NOTICE OF PUBLIC HEARING LEGAL NOTICE

The LAKEVILLE PLANNING BOARD pursuant to the Lakeville Zoning Bylaw, Section 6.7, will hold a Public Hearing on **THURSDAY, December 8, 2022** at 7:00 PM at the Lakeville Public Library, 4 Precinct Street. The purpose of the Public Hearing will be to receive information and public comment on the following Site Plan Review application:

348 Bedford Street – The applicant, Red Hand Brewing Company, Inc., seeks Site Plan Review and Approval to convert an existing building, formerly a bank, to accommodate a brewpub, which will include a brewery and beer garden. The proposed brewpub will increase the occupant load from the previous 24 to 45. 20 exterior seats with food truck service and served by an outdoor toilet facility are also part of this proposal. The building is part of the Lakeside Landing Commercial Plaza.

Mark Knox, Chairman

December 1, 2022



Town of Lakeville
PLANNING DEPARTMENT
346 Bedford Street
Lakeville, MA 02347
774-776-4350

Date: December 2, 2022

Memo To: Lakeville Planning Board

Memo From: Marc Resnick, Town Planner

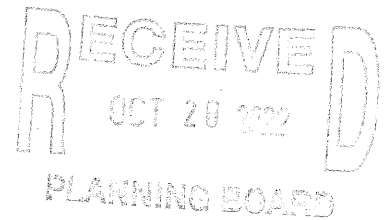
Re: Red Hand Brewpub

I have reviewed the Site Plan Review submission for Red Hand Brewpub and have the following comments about the site plan.

1. A fence, recommended to be a 4' high solid white vinyl, should be installed along the property line with Town Hall from the bushes at the front corner of the property to the beginning of the eight parking spaces opposite the west wing of the main plaza building. The length of this fence line is approximately 220 feet long.
2. No parking in the Town Hall lot or similar signs should be posted.
3. There should be "No Parking Fire Lane" signs placed at the entrance of rear parking area and along the back of the east wing of the building.
4. Outdoor lighting around the Brew pub building should be changed to be dark sky compliant as required by the lighting ordinance. Details of the lights should be provided.
5. Exterior elevation drawings should be submitted showing the exterior of the new addition under the drive through awning.



Town of Lakeville
Planning Board
346 Bedford Street
Lakeville, MA 02347
508-946-3473



APPLICATION FOR SITE PLAN REVIEW

Name of Applicant: Red Hand Brewing Company, Inc.

Street: 63 Main Street

City/Town: Bridgewater State: MA Zip: 02324

Telephone: 508-298-9048 Email: _____

Property Owner Name: 350 Bedford Street Landing, LLC

Street: 168 Cottontail Drive

City/Town: Portsmouth State: RI Zip: 02851

Telephone: 401-450-5089 Email: dereksavas@gmail.com

Contact Person's Name: Robert J. Mather, Esquire

Telephone: 508-946-0066 Email: rjmather@rjmatherlaw.com

SITE INFORMATION

Street and number: 348 Bedford Street

Zoning District: Business Map 57 Block 1 Lot 3 and 4

Lot size: Lot 3 2.8 acres
Lot 4 .24 acres Frontage: 271.55

Current use: Retail / Office Plaza

PLAN INFORMATION

Plan Title: Red Hand Brewpub Site Plan, Lakeside Landing


Prepared by: Outback Engineering, Inc.

Date prepared: _____ Revision date (s): _____

Detailed Description of proposed work: See Attached


TO THE LAKEVILLE PLANNING BOARD:

The undersigned, being the APPLICANT named above, hereby applies for review of the above SITE PLAN by the Planning Board and certifies that, to the best of the APPLICANT'S knowledge and belief, the information contained herein is correct and complete and that said PLAN conforms with the requirements of the Rules and Regulations of the Lakeville Planning Board and the Zoning By-Law of the Town of Lakeville.

Applicant's Signature:  Date: 10-19-22

Property Owner's Signature:  Date: 10/19/2022
(if not Applicant)

Will you have a representative other than yourself? Yes No

Name: Robert J. Mather, Esquire 

Telephone: 508-946-0066 Email: rjmather@rjmatherlaw.com

To be completed by Planning Board staff:

Distributed to: Board of Health, Board of Selectmen, Building Department, Conservation Commission, Fire Chief, Highway Surveyor, Open Space Committee, Police Chief

Date/initials: _____

ATTACHMENT TO APPLICATION FOR SITE PLAN REVIEW

This application is seeking Site Plan Review pursuant to Lakeville Zoning Bylaws Provision 6.7.3. c) which provides as follows:

- c) A change in occupancy of an existing business or industrial structure which increases the previously approved occupant load by 10%.

The Applicant seeks review and approval to convert the existing building at 348 Bedford Street, formerly the Plymouth Savings Bank building, to accommodate a brewpub, which will include brewery and a beer garden. The existing building, when last used as a bank branch, had an occupant load of 24. The proposed brewpub will increase the occupant load to 45.

The building is located at 348 Bedford Street and is part of the Lakeside Landing commercial plaza. It is shown as Lot 4 on Lakeville Assessors Map 57, Block 1. The remainder of the Lakeside Landing commercial plaza is shown as Lot 3 on Lakeville Assessors Map 57, Block 1.

In addition to the proposed 45 indoor tavern seats the proposal is to have 20 exterior seats with food truck service and served by an outdoor toilet facility.



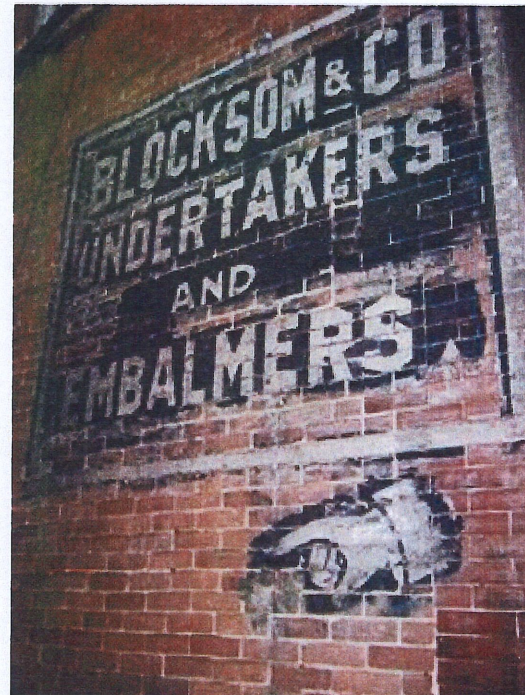
A True Brew Pub Experience

348 Bedford Street
Lakeville, MA 02347

CBO (Chief Brew Officer): Brian Donnelly, Lakeville, MA
CEO/Principal: Shawn Donnelly, Lakeville MA
CFO/Principal: Karen Donnelly, Lakeville MA

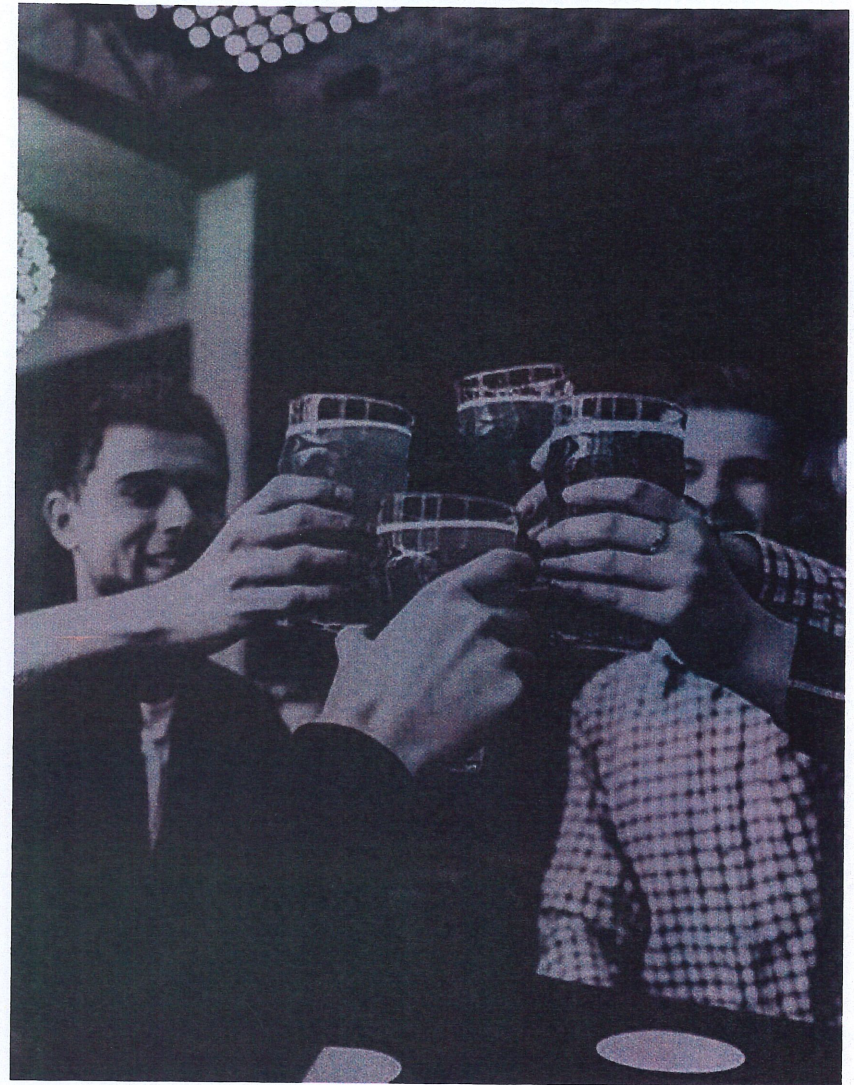
Our Brand

Sample imagery of what we have planned for the interior



Mission Statement

Red Hand Brewery will be dedicated to bringing patrons a warm and inviting Brewpub experience like no other in the area. We will feature an eclectic array of local craft beers and Red Hand Brewery rotating featured beers along with wine, whiskey, bourbon, scotch and other beverages so everyone can find something they enjoy.

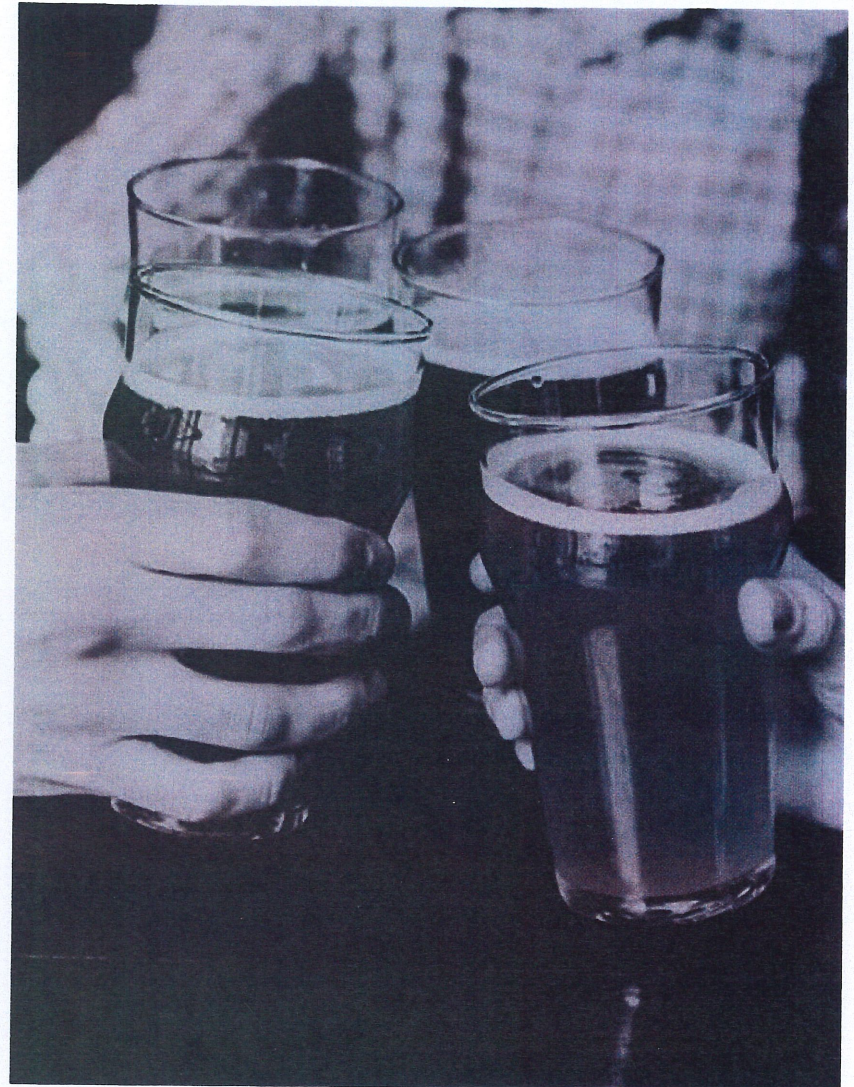


About us

In an ever-changing world, critical changes are coming to the bar industry. Technological advances are changing the way society interacts, and it is now going to change the experiential landscape for the growing population of craft beer consumers. We have witnessed first-hand the explosion of craft beer over the past five years. Data shows that beer lovers have shed the traditional bar drinking experience and demand has grown for integrating alcoholic beverages in more experiential occasions. Beer festivals, brewpub visits, and outdoor activities are attracting not only millennials, but also a vast demographic of beer drinkers who are looking for a new and unique way to experience craft beer.

As a strong advocate of craft beer and a contemporary to the technological advancements of the past decade, our family is hoping to open a traditional Brewpub here in our hometown Lakeville, MA. We feel that it will also benefit Lakeville to have a highlighted true Brewpub experience like no other in the area. We will be family focused and decidedly different which we feel will create a friendly and strong tie to our community.

Our family appreciates your consideration in our new business venture.

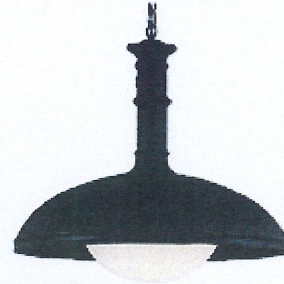


Our Brand

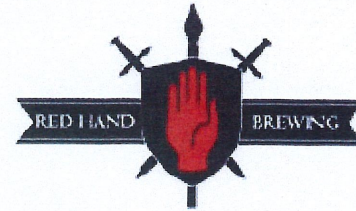
Sample imagery of what we have planned for the interior



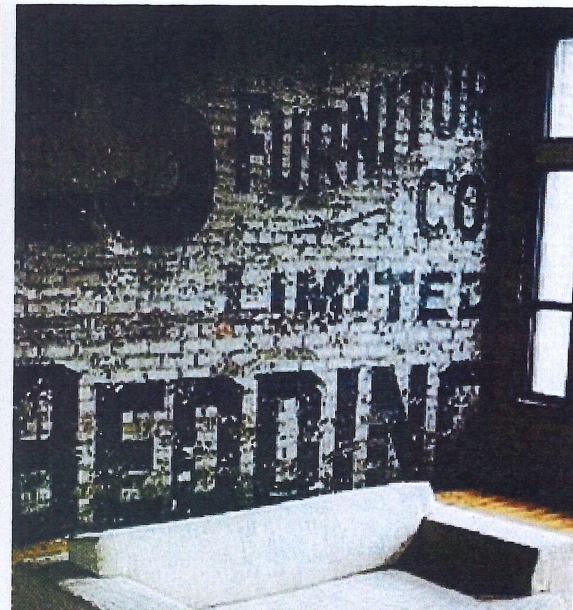
LIGHT OVER BAR, STAGE
AND SOFT SEATING AREA



ACCENT LIGHTS OVER TABLES

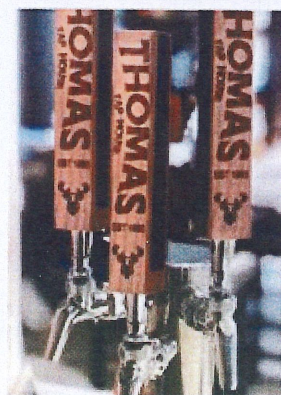
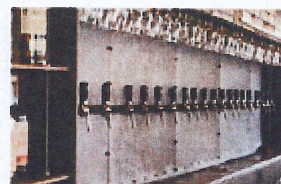
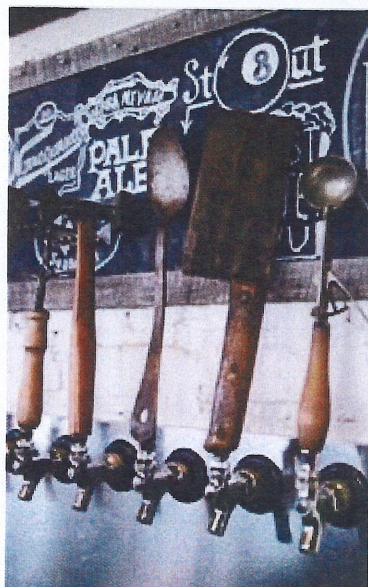
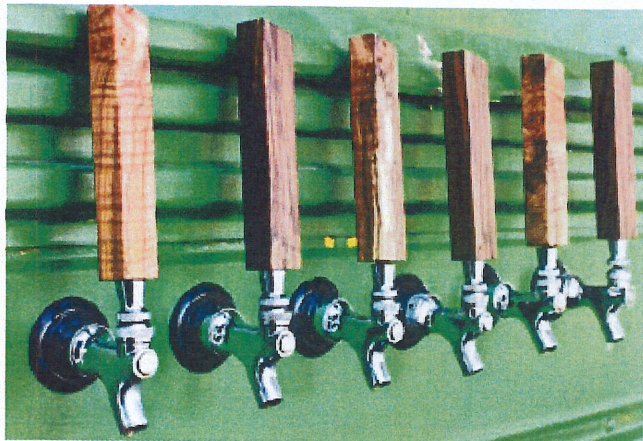


ACID STAIN FOR CONCRETE FLOOR:
ENGLISH RED

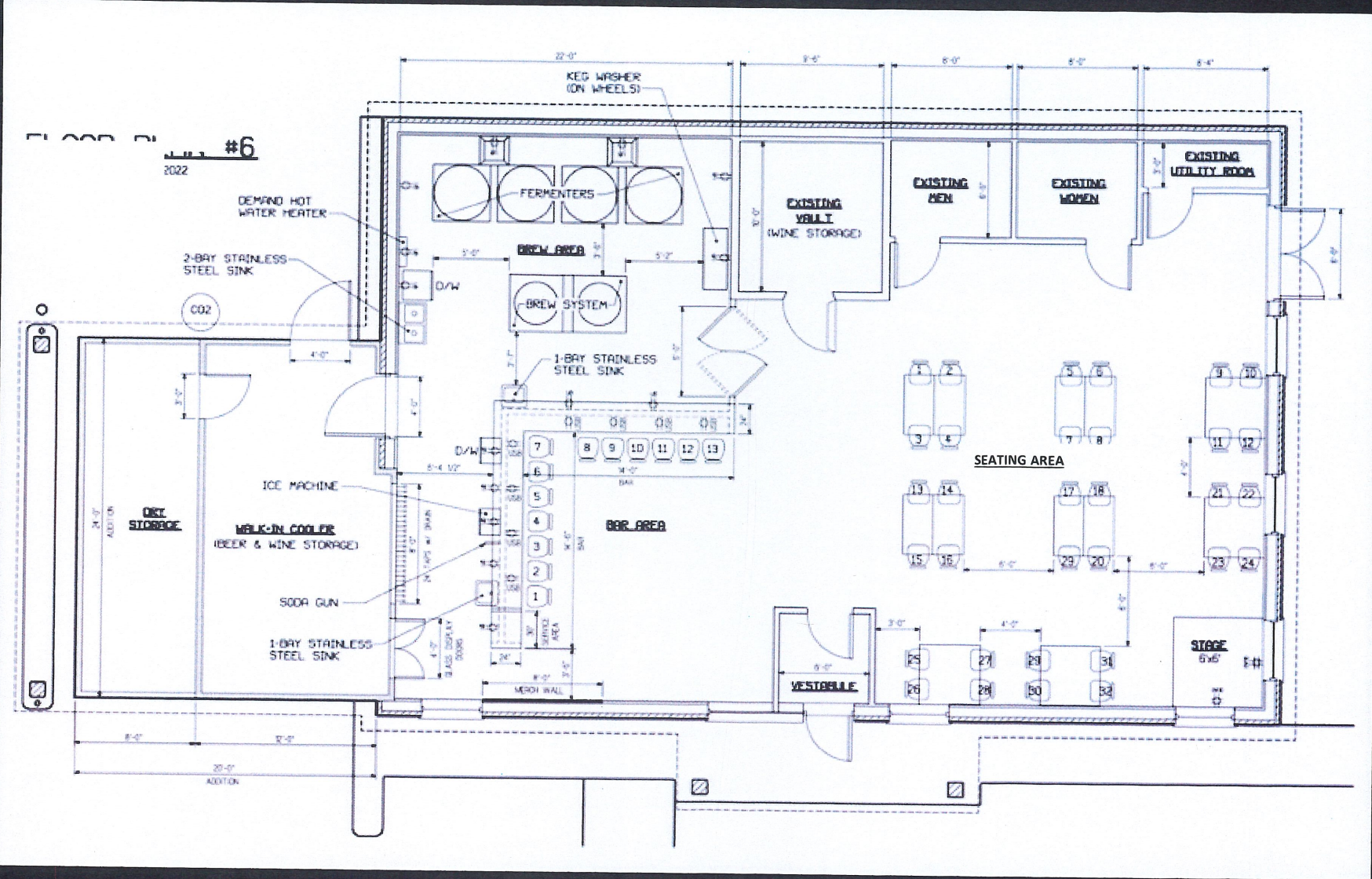


Our Brand

Sample imagery of what we have planned for the interior

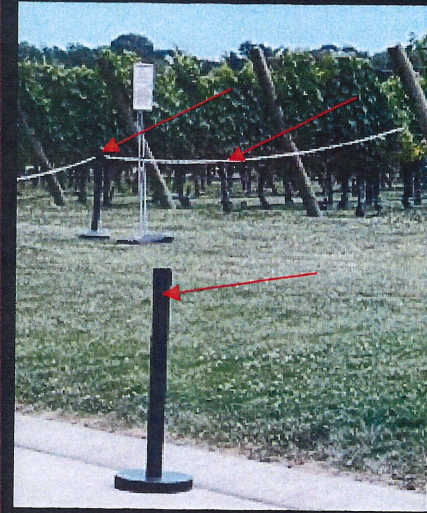


Indoor Floorplan

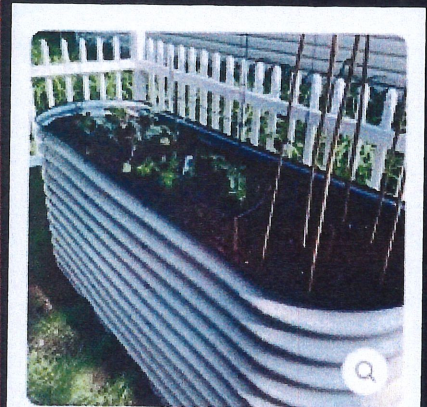


Outdoor Fencing

Fencing with chain from each stanchion



Garden bed



2" Tall 6 In 1 Raised Garden Bed Kit



Outdoor Seating



Outdoor picnic
tables – total of 20
seats

Outdoor Entertainment



Temporary stage for outdoor entertainment. We will be bringing in local artists. Owner has stated that we can place items on this area that are not permanent.



Existing Lighting

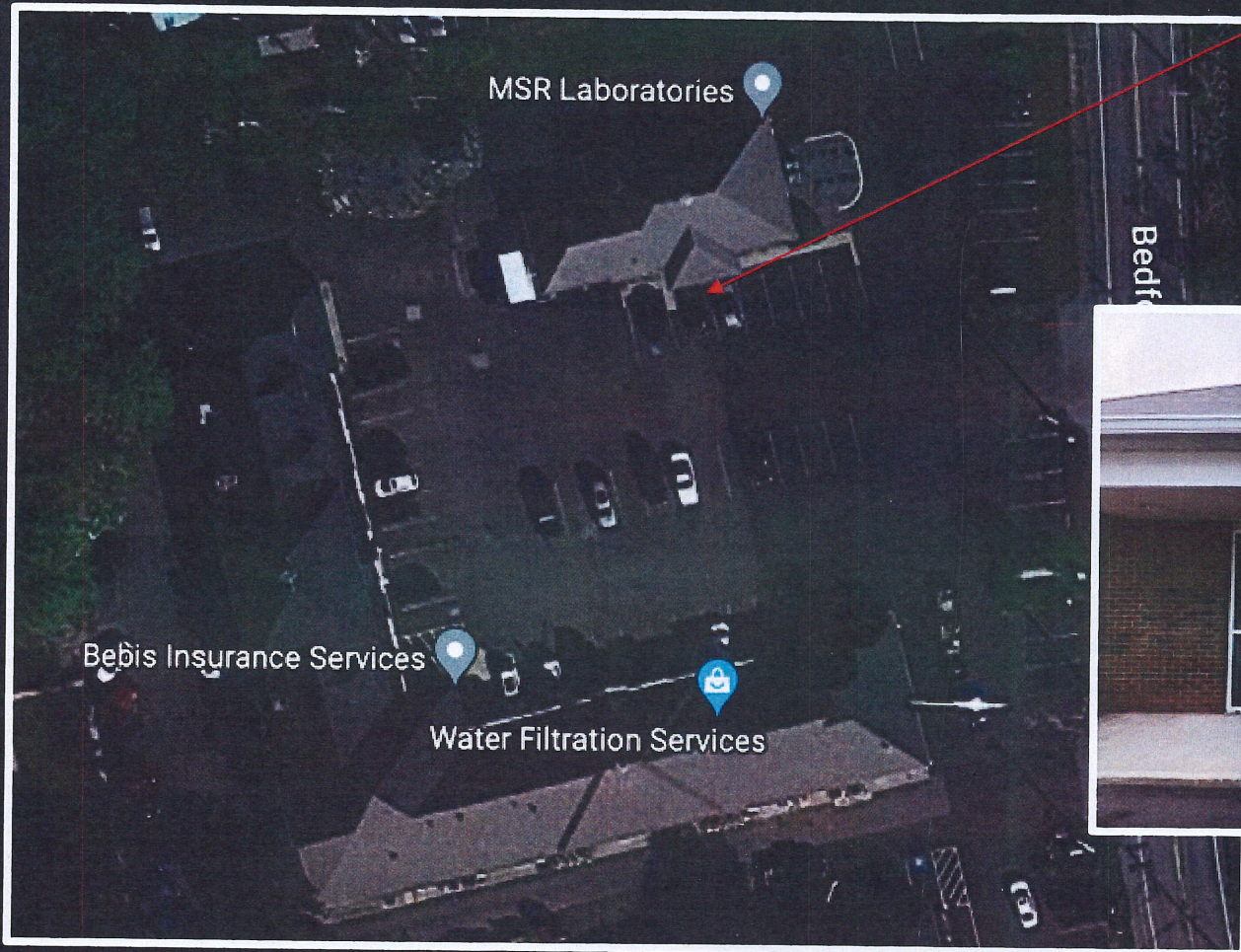


Existing
lighting to
remain

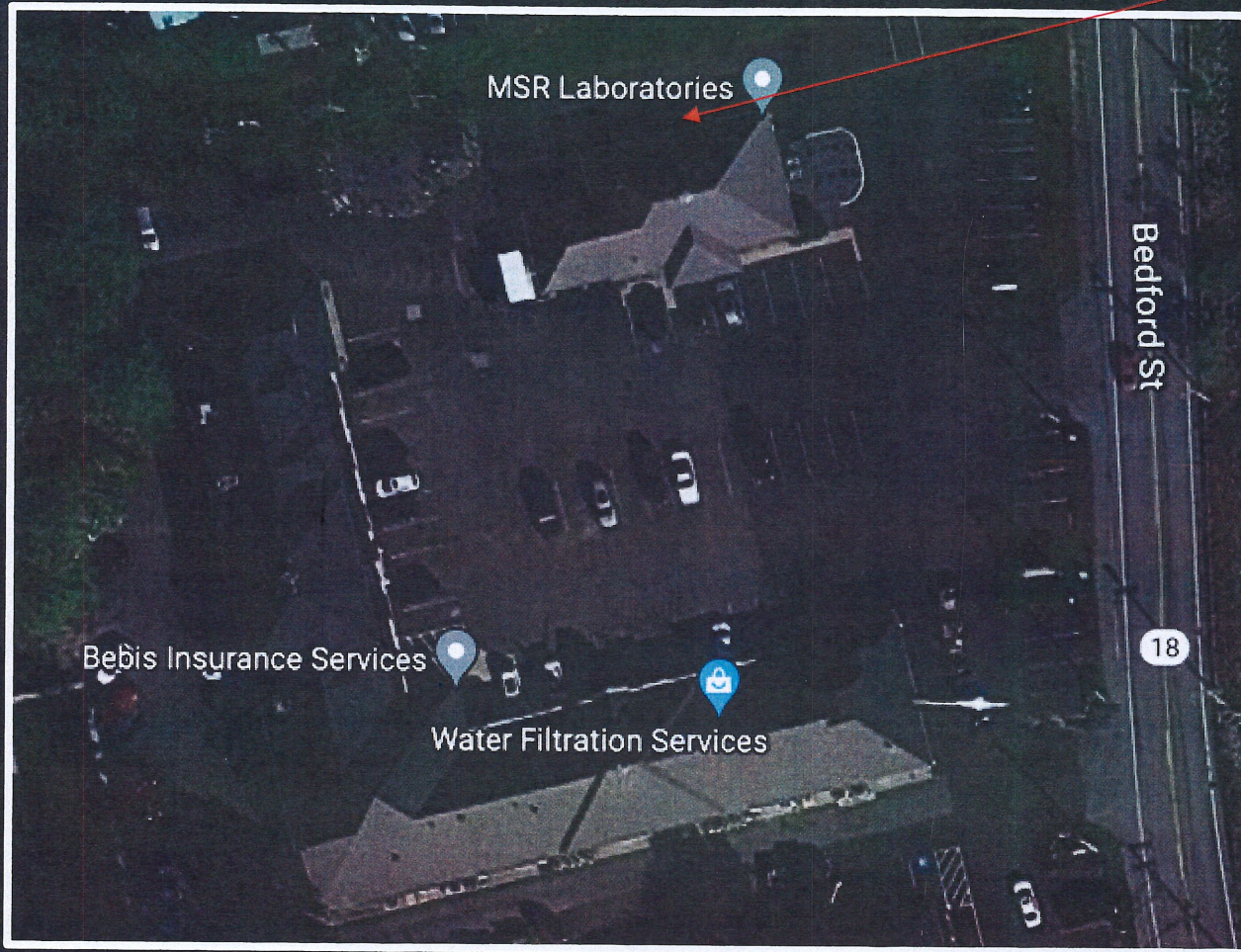


Existing Lighting

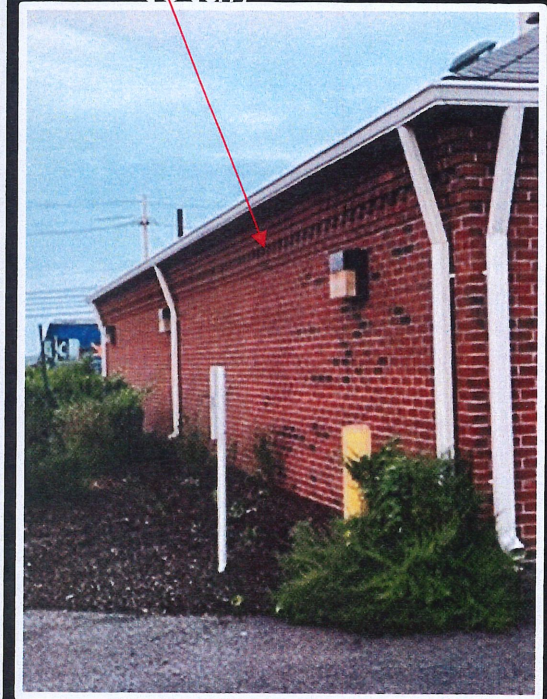
Main entryway of the brewery have existing lights under the entry



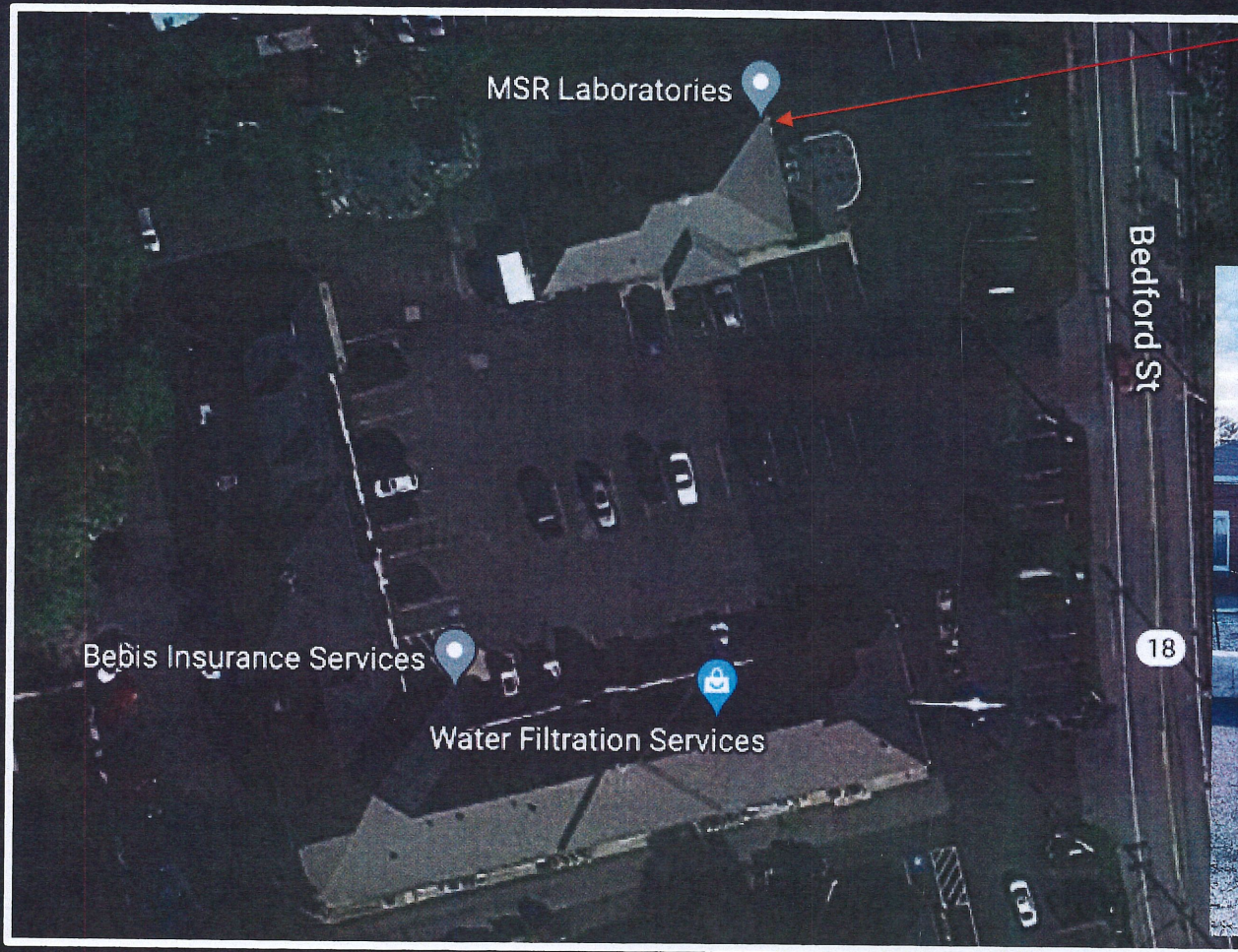
Existing Lighting



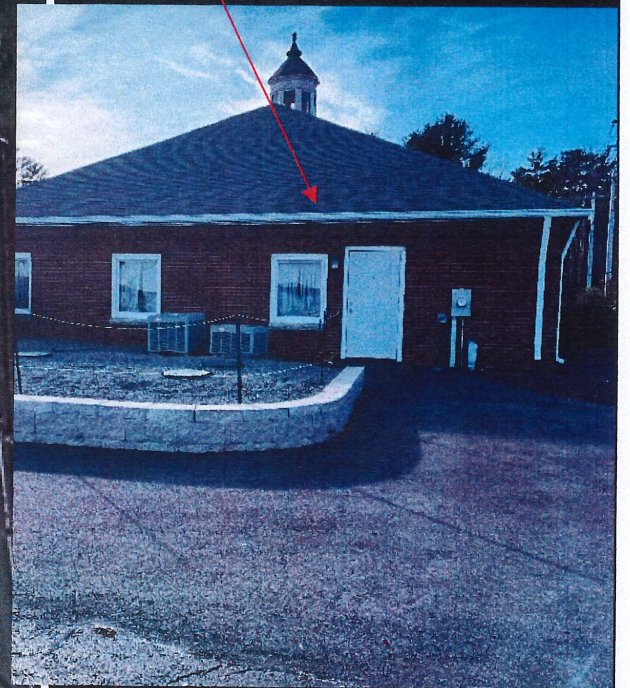
Existing wall-mounted security lighting (3 total)



Existing Lighting



Side entry door has lights above the door



Proposed Lighting

String lights on this side of the building.



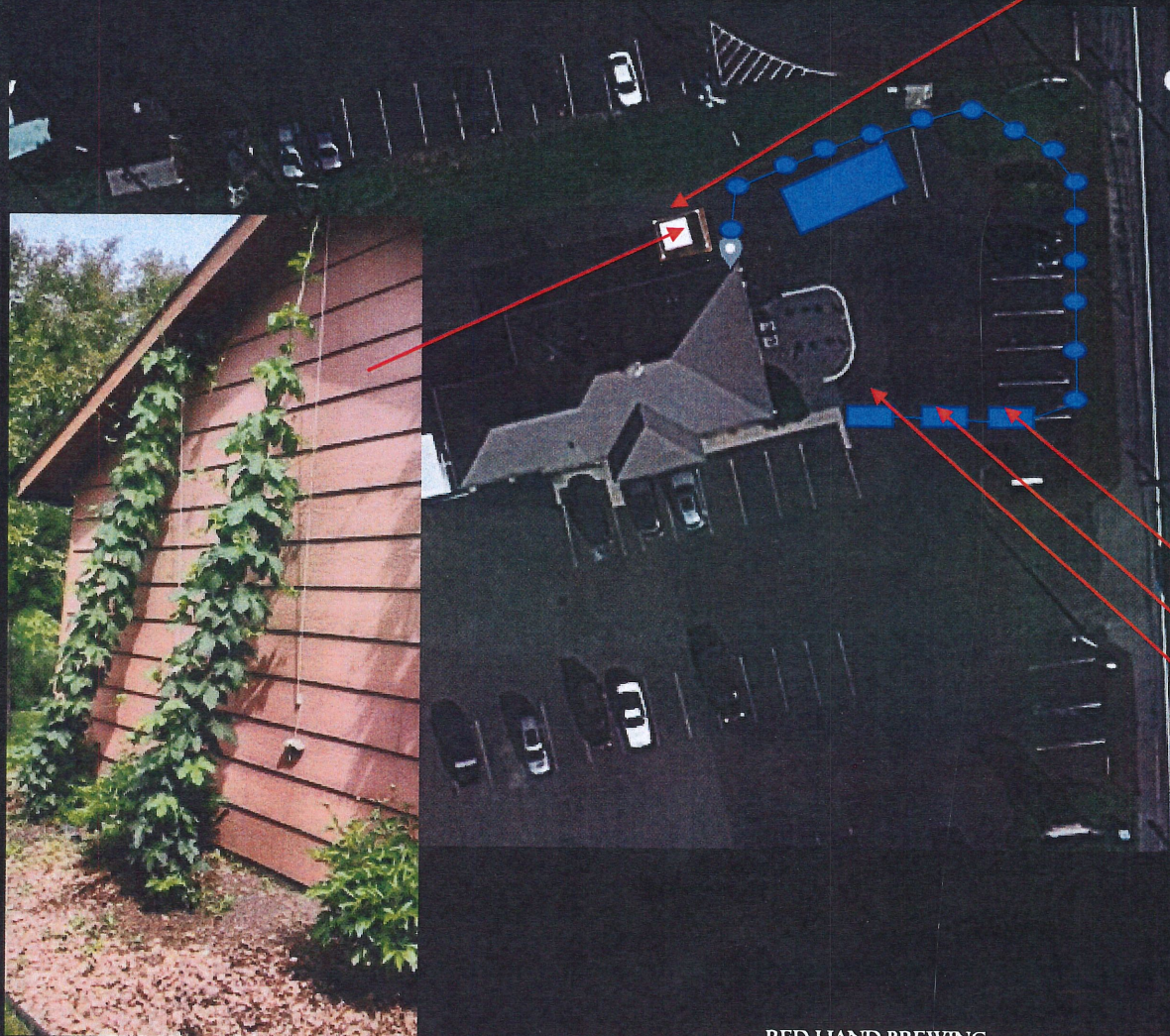
Food Truck Location

Food truck location



Landscaping

We plan to grow hops on the back of the wall of the bathroom area and garden beds



Bedford St

EXISTING PARKING SUMMARY

PARKING SUMMARY PER "SITE LAYOUT PLAN, PLYMOUTH SAVINGS BANK, LAKESIDE LANDING/LAKEVILLE, MA. BY PRIME ENGINEERING, INC. DATED SEPTEMBER 16, 1998 & LAST REVISED APRIL 22, 1999.":

- EXISTING PLAZA PARKING REQUIRED = (1 SPACE PER 300 S.F. GROSS AREA) X 22,600 S.F. = 76 SPACES
- PROPOSED BANK PARKING REQUIRED = 1 SPACE PER 150 S.F. GROSS AREA + 1 PER EMPLOYEE = (2400 S.F./150) + 8 EMPLOYEES = 24 SPACES
- TOTAL PARKING REQUIRED = 100 SPACES PER BANK SITE PLAN.
TOTAL PARKING PROVIDED = 103 SPACES PER BANK SITE PLAN.

PROPOSED PARKING SUMMARY

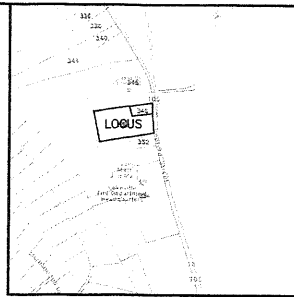
- USE SAME PLAZA PARKING REQUIREMENT AS 1998-99 BANK SITE PLAN:
(1 SPACE PER 300 S.F. GROSS AREA) X 22,600 S.F. = 76 SPACES REQUIRED.
- PROPOSED BREWPUB (USE TOWN'S RESTAURANT PARKING REQUIREMENT):
INTERIOR: (45 SEATS X 1 SPACE/2 OCCUPANTS) + (1 SPACE/EMPLOYEE X 3 EMPLOYEES) = 26 SPACES
EXTERIOR: (20 SEATS X 1 SPACE/2 OCCUPANTS) + (1 SPACE/EMPLOYEE X 1 EMPLOYEE) = 11 SPACES
- TOTAL PARKING REQUIRED = 113 SPACES
- PARKING SPACES TO BE PROVIDED:
CURRENT STRIPED SPACES = 75
SPACES TO BE ELIMINATED = -10 (AT OUTDOOR VENUE)
PARKING TO BE ADDED = +48
TOTAL PROVIDED = 113 SPACES *

- * WAIVER REQUESTED FROM CURRENT PARKING REQUIREMENT (1 SPACE/300 S.F. GFA + 1 SPACE/EMPLOYEE)
- * INCLUDES 5 HANDICAPPED SPACES AS REQUIRED PER 521 CMR 23.2

REFER TO RED HAND BREWPUB NARRATIVE FOR DETAILS ON PROPOSED FLOOR PLAN, OUTDOOR VENUE, SITE LIGHTING, LANDSCAPING & FENCING

**MAP 57 BLOCK 1
PARCEL 4
348 BEDFORD STREET
0.24 ACRES±
10,445 S.F.±**

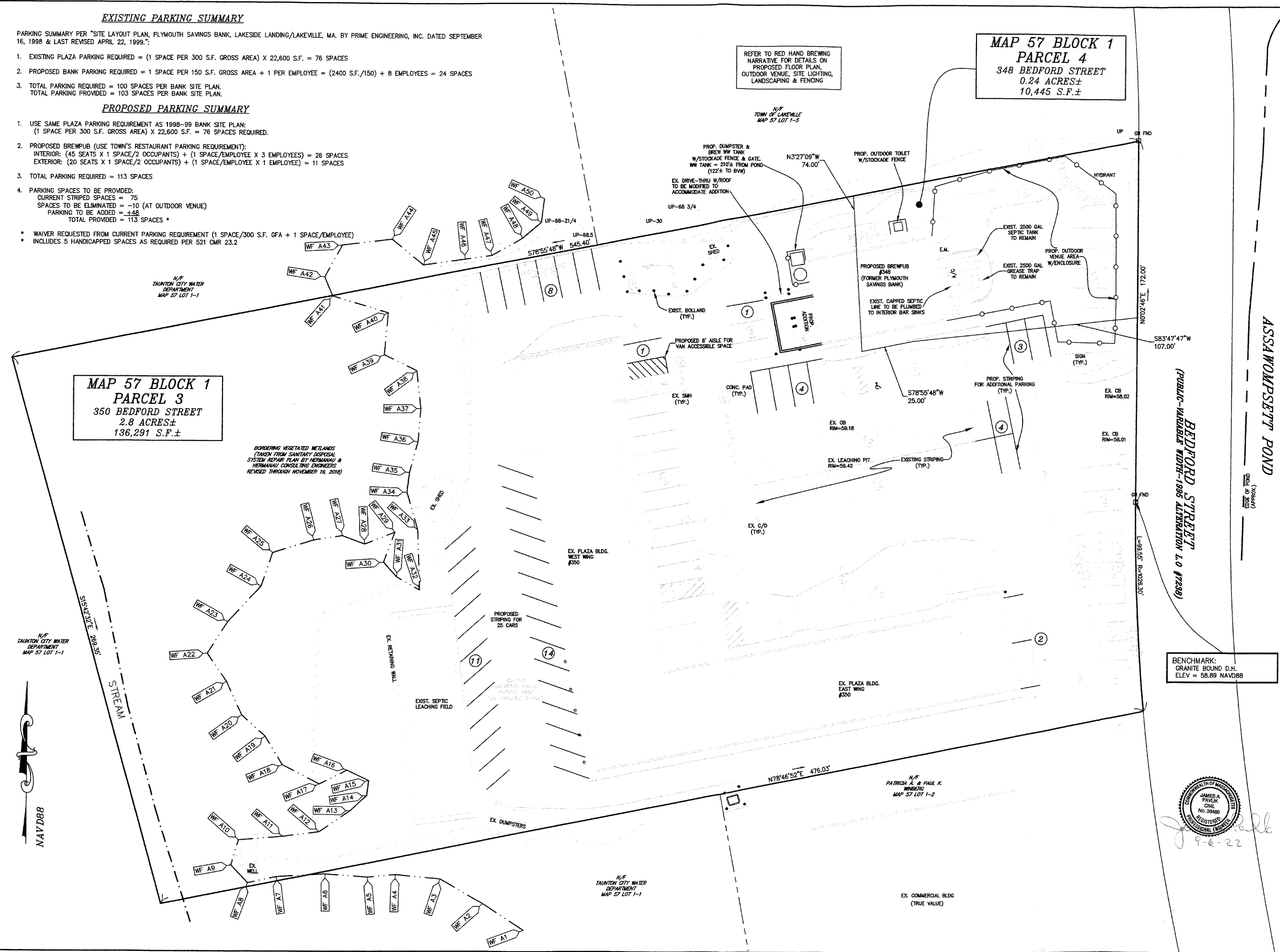
**MAP 57 BLOCK 1
PARCEL 3
350 BEDFORD STREET
2.8 ACRES±
136,291 S.F.±**



LOCUS
N.T.S.

GENERAL NOTES

- PLAN REFERENCE:
 - FOR PLAN REFERENCE SEE PLAN BOOK: 42 PAGE: 1023 IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.
 - THE TOPOGRAPHIC INFORMATION SHOWN HEREON WAS COMPILED FROM A FIELD SURVEY BY OUTBACK ENGINEERING, INC. ON MAY 5, 2022 AND BY MADDIGAN LAND SURVEYING, LLC. ON MARCH 8, 2017. ELEVATIONS ARE BASED ON NAVD83 DATUM.
 - WETLAND DELINEATION AND SEPTIC INFORMATION TAKEN FROM "SANITARY DISPOSAL SYSTEM REPAIR PLAN, FOR LAKESIDE LANDING, INC. 348 & 350 BEDFORD STREET LAKEVILLE, MA BY HERMENAU & HERMENAU CONSULTING ENGINEERS DATED NOVEMBER 7, 2016" AND "SANITARY DISPOSAL SYSTEM AS BUILT PLAN, FOR LAKESIDE LANDING, INC. 348 & 350 BEDFORD STREET LAKEVILLE MA BY HERMENAU & HERMENAU CONSULTING ENGINEERS DATED AUGUST 26, 2019".
- THE SITE FALLS WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2 ANNUAL CHANCE FLOODPLAIN, AS SCALED FROM THE FLOOD INSURANCE RATE MAP (MAP NUMBER: 2502300334J, EFFECTIVE DATE: 07/16/2015).
- THE SITE IS LOCATED WITHIN ZONE A SURFACE WATER SUPPLY PROTECTION AREA. THIS SITE IS NOT LOCATED WITHIN A ZONE II GROUNDWATER PROTECTION AREA.
- THE SITE IS NOT LOCATED WITHIN A PRIORITY HABITAT AND IS NOT LOCATED WITHIN AN ESTIMATED HABITAT ACCORDING TO THE LATEST NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM ONLINE MAPS.
- ALL EXISTING UTILITY INFORMATION IS FROM THE BEST AVAILABLE INFORMATION SUPPLIED BY FIELD SURVEY PERFORMED BY OUTBACK ENGINEERING, INC. AND IS TO BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL NOTIFY DISAFAE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO THE ONSET OF ANY CONSTRUCTION TO HAVE ALL EXISTING UTILITIES LOCATED AND CLEARLY MARKED.



ASSAWOMPSETT POND
SOURCE OF POND (APPROX.)

BEDFORD STREET
(PUBLIC-VARIABLE WIDTH-1986 ALTERNATION L.O #7389)

BENCHMARK:
GRANITE BOUND D.H.
ELEV = 58.89 NAVD88



APPROVED AND ENDORSED BY THE LAKEVILLE PLANNING BOARD.

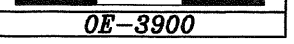
DATE: _____

APPLICANT
SHAWN & BRIAN DONNELLY
13 QUAIL RUN
LAKEVILLE, MA 02347

OWNER
350 BEDFORD STREET LANDING, LLC.
168 COTTONTAIL DRIVE
PORTSMOUTH, RI 02871

**RED HAND BREWPUB
SITE PLAN
AT
LAKESIDE LANDING
348 BEDFORD STREET
IN
LAKEVILLE, MASS.**

DATE: AUGUST 25, 2022
DRAWN BY: J.J.S. CHECKED BY: J.A.P.
SCALE: 1"=20' SHEET 1 OF 1



0E-3900

Town of Lakeville

PLANNING BOARD

346 Bedford Street
Lakeville, MA 02347
774-776-4350



NOTICE OF PUBLIC HEARING LEGAL NOTICE

The LAKEVILLE PLANNING BOARD pursuant to the Lakeville Zoning Bylaw, Section 6.7, will hold a Public Hearing on **THURSDAY, December 8, 2022** at 7:00 PM at the Lakeville Public Library, 4 Precinct Street. The purpose of the Public Hearing will be to receive information and public comment on the following Site Plan Review application:

415 Millennium Circle – The applicant, D F C of Lakeville 415 LLC, seeks Site Plan Review and Approval for a change in use of an existing building from industrial/warehouse to a marijuana growing facility. The proposed project is to include interior and exterior building improvements, as well as site improvements which will result in drainage improvements and a reduction in impervious surfaces.

Mark Knox, Chairman

December 1, 2022



Town of Lakeville
PLANNING DEPARTMENT
346 Bedford Street
Lakeville, MA 02347
774-776-4350

Date: December 5, 2022

Memo To: Lakeville Planning Board

Memo From: Marc Resnick, Town Planner

Re: DFC of Lakeville 415 LLC

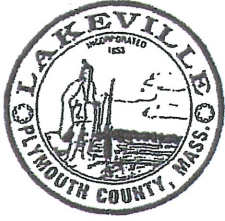
I have reviewed the Site Plan Review submission for DFC of Lakeville 415 LLC and have the following comments about the proposal.

My primary concern for this site relates to parking. The plans show 21 parking spaces on property with the total number of employees at 20. The Special Permit granted by the Zoning Board on June 3, 2021, permits a maximum of 25 employees. Recent Planning Board experience with marijuana cultivation operations have shown that they often require more employees than planned and parking becomes an issue. Plans to address this possibility should be discussed with the Board. There is a large gravel area to the east of the building which could accommodate additional parking however it is currently used for tractor trailer parking. Will this use continue, or will this area be available for overflow parking?

A lighting plan should be submitted showing exterior building and parking lot lighting. As stated in the special permit, as well as required by Site Plan Review by-law, the lights should be downward facing and night sky compliant.

Drywell installations should be wrapped in filter fabric to prevent the clogging of the stone and failure of the system.

The chain link fence should be vinyl coated.



Town of Lakeville
Planning Board
346 Bedford Street
Lakeville, MA 02347
508-946-3473



APPLICATION FOR SITE PLAN REVIEW

Name of Applicant: D F C of Lakeville 415 LLC

Street: 920 South Colony Road

City/Town: Wallingford State: CT Zip: 06492

Telephone: 203-410-7649 Email: dominick@demartinorealty.com

Property Owner Name: D F C of Lakeville 415 LLC

Street: 920 South Colony Road

City/Town: Wallingford State: CT Zip: 06492

Telephone: 203-410-7649 Email: dominick@demartinorealty.com

Contact Person's Name: Dominick Demartino

Telephone: 203-410-7649 Email: dominick@demartinorealty.com

SITE INFORMATION

Street and number: 415 Millennium Circle

Zoning District: Industrial Map 022 Block 001 Lot 003-02

Lot size: +/- 314,345 s.f. Frontage: 292.35'

Current use: industrial/warehouse

PLAN INFORMATION

Plan Title: Commercial Site Plan - 415 Millennium Circle - Lakeville, Massachusetts

Prepared by: Zenith Consulting Engineers, LLC

Date prepared: 10-27-2022 Revision date (s): _____

Detailed Description of proposed work: Change in use of existing building from industrial/warehouse to a marijuana growing facility. Project to include interior and exterior building improvements as well as site improvements which will result in a reduction in impervious surfaces and drainage improvements.

TO THE LAKEVILLE PLANNING BOARD:

The undersigned, being the APPLICANT named above, hereby applies for review of the above SITE PLAN by the Planning Board and certifies that, to the best of the APPLICANT'S knowledge and belief, the information contained herein is correct and complete and that said PLAN conforms with the requirements of the Rules and Regulations of the Lakeville Planning Board and the Zoning By-Law of the Town of Lakeville.

Applicant's Signature: _____ Date: _____

Property Owner's Signature: _____ Date: _____
(if not Applicant)

Will you have a representative other than yourself? _____ Yes _____ No

Name: _____

Telephone: _____ Email: _____

To be completed by Planning Board staff:

Distributed to: Board of Health, Board of Selectmen, Building Department, Conservation Commission, Fire Chief, Highway Surveyor, Open Space Committee, Police Chief

Date/initials: _____



3 Main Street Lakeville, MA 02347
(508) 947-4208 - www.zcellc.com

- Civil Engineering
- Septic Design (Title 5)
- Septic Inspections (Title 5)
- Commercial and Industrial Site Plans
- Chapter 91 Permitting

October 27, 2022

Town of Lakeville Planning Board
Mark Knox, Chairman
346 Bedford Street
Lakeville, MA 02347

RE: Stormwater Memo
Site Plan Review
415 Millennium Circle
Lakeville, Massachusetts

Dear Mr. Knox and Board Members:

This memo is written to summarize that the proposed redevelopment project located at 415 Millennium Circle shall be in compliance with the MassDEP Stormwater Management Standards (the Standards) as required by Section 6.7.6.11.3 of the Town of Lakeville Zoning Bylaws. The project proposes a change in use of the existing commercial/industrial site to a marijuana grow facility. The project is considered a redevelopment from a stormwater management perspective in that it will include building and site improvements resulting in a reduction in impervious surfaces in the final condition. As such, the project is subject to Standards 2, 3 along with pretreatment and structural BMP requirements of Standards 4, 5, and 6 to the maximum extent practicable.

Stormwater Management Standards:

1. **Untreated Stormwater Discharges:** The project proposes one new stormwater discharge in addition to utilizing the existing stormwater infrastructure. The newly graded pavement areas will be directed to the new discharge through a Stormceptor Water Quality unit which will treat the inflow by removing 80% of the total suspended solids (TSS) from flows. The discharge will be provided with a rip rap apron to prevent scour or erosion of the downstream soils. Thus, this Standard is satisfied.
2. **Post Development Recharge Rates:** As a redevelopment, the project is subject to Standard 2 to the maximum extent practicable. The project proposes to reduce impervious surfaces by approximately 7,400 sf which will result in the reduction in

post-development runoff rates and volumes by allowing runoff to infiltrate into the ground on the new pervious areas. Thus, this Standard is satisfied to the maximum extent practicable.

3. **Recharge to Groundwater:** As a redevelopment, the project is subject to Standard 3 to the maximum extent practicable. The project proposes to reduce impervious surfaces by approximately 7,400 sf which will result in an increase of groundwater recharge volume by allowing runoff to infiltrate into the ground on the new pervious areas. Thus, this Standard is satisfied to the maximum extent practicable.
4. **Removal of 80% of Total Suspended Solids:** The newly-graded areas of pavement will be directed to the proposed Stormceptor water quality unit which is designed to remove 80% TSS for inflows. The remaining existing paved areas shall utilize the existing drainage infrastructure. Thus, this Standard is satisfied to the maximum extent practicable.
5. **Uses with Higher Potential Pollutant Loads:** The Project is not considered a Land Use with Higher Potential Pollutant Load. Thus, this Standard is satisfied.
6. **Stormwater Discharges to Critical Areas:** This project does discharge to a critical area. Since the project improves on the existing condition by reducing impervious surfaces, and by providing additional water quality measures, this Standard is satisfied.
7. **Redevelopment of Previously Developed Sites:** This project is a redevelopment and as such, certain Standards have been met to the maximum extent practicable as noted herein.
8. **Erosion and Sediment Control:** Erosion and sedimentation control measures shall be installed and adhered to as shown on sheet E of the site plans. Additionally, a construction period pollution prevention plan has been included in Appendix A. As such, Standard 8 is satisfied.
9. **Operation and Maintenance Plan:** An Operation and Maintenance Plan is attached hereto in Appendix A to comply with Standard 9.
10. **Prohibition of Illicit Discharges:** An Illicit Discharge Statement is attached hereto as Appendix B to comply with Standard 10.

Revised design plans reflecting the items detailed in this letter are attached. Should you have any questions, please do not hesitate to contact our office at 508-947-4208.

Sincerely,
Zenith Consulting Engineers, LLC



Rene L. Gagnon, PE
Senior Engineer

Appendix A

OPERATIONS AND MAINTENANCE PLAN

Commercial development, 415 Millennium Circle, Lakeville MA

The following is the proposed operation and maintenance plan for the storm water management systems at the commercial development located at 415 Millennium Circle, Lakeville, MA:

- Owner: D F C of Lakeville 415 LLC
920 South Colony Road
Wallingford, CT 06492
- Parties responsible for Operation and Maintenance:
Same as above

CONTENTS

1. Stormwater Management Systems Operations and Maintenance Plan
2. Construction Period Pollution Prevention Plan
3. Source Control and Long-term Pollution Prevention Plan

STORMWATER MANAGEMENT SYSTEMS

OPERATIONS AND MAINTENANCE PLAN

Commercial redevelopment, 415 Millennium Circle, Lakeville MA

The storm water management facilities were designed to require little or no intervention in the operation and to require little or no maintenance once the project is built and stable vegetative cover is established. However, the drainage improvements shall be subject to the following maintenance schedule:

A. Routine Maintenance

1. **Debris:** All debris and litter are to be removed from all catch basins, drains, and surrounding areas at least twice per year.
2. **Re-seeding:** Embankments that have excessive erosion or slumping are to be re-graded and seeded (with canary grass or tall fescue grass) during the spring or fall growing seasons as needed.
3. **Inspect:** Catch basins and roof drains shall be inspected on a monthly basis. Any potential blockages in the down spouts will be removed if discovered. Gutters will be cleaned at least twice per year.

B. Periodic Maintenance

1. Accumulated sediment in the water quality units will be inspected and removed in accordance with the manufacturer's recommendations (attached hereto). If the accumulated sediment is equal to 15% of the capacity of the device, the sediment shall be cleaned out using a vacuum truck. All catch basins and the outlet control structure will be inspected, at a minimum, four times per year.

C. Non-routine Maintenance

1. **Structural:** All catch basins, water quality units, underground infiltration system, and pipes shall be inspected once every four (4) years for proper function, clogging, signs of deterioration and structural inadequacy. Any adverse situations are to be repaired as needed. Any proprietary stormwater management BMPs shall be inspected and maintained per manufacturer's recommendations. Based on the results of all inspections, the subsequent inspection & maintenance schedules/frequencies may be adjusted as necessary.

D. Non-periodic Inspection

1. The storm water management system shall be inspected after two years of full operation by a Massachusetts Registered Professional Civil Engineer to confirm its adequacy. The inspection shall include an examination of all components of the system including catch basins, manholes, water quality unit(s) and infiltration systems. Based on the results of this inspection, the subsequent inspection & maintenance schedules/frequencies may be adjusted as necessary.

E. Annual Budget

1. The estimated annual budget for the O & M is \$500-\$1,000.

OPERATION AND MAINTENANCE PLAN LOG FORM

Refer to Site Plan for details on the drainage system. Use Log Form that follows as required upon completion of inspections and maintenance tasks, and file.

Commercial redevelopment, 415 Millennium Circle, Lakeville MA

Drainage System

Operation & Maintenance Log Form

STORMWATER BMP'S

STRUCTURE	DATE INSPECTED	SEDIMENT BUILDUP (YES/NO)	IF SEDIMENT BUILDUP, DATE CLEANED
EX-CB			
Stormceptor STC450i-CB			
Flared end / Rip Rap			
OTHER:			

Note: Sediment to be removed from catch basins once the depth reaches 24".

REQUIRED

MAINTENANCE: _____

TO BE PERFORMED BY: _____ ON _____

INSPECTION BY: _____ DATE _____

CONSTRUCTION PERIOD POLLUTION PREVENTION PLAN

Commercial Redevelopment

415 Millennium Circle, Lakeville, MA

1.0 INTRODUCTION

It is proposed to convert the existing commercial structure at the above-referenced facility into a medical clinic. The existing gravel areas will be converted into additional parking for the proposed facility. The following erosion and sediment control program material management practices and spill control program have been developed to that end.

2.0 PRECONSTRUCTION MEASURES

Prior to the initiation of any construction, erosion control measures shall be installed as shown on the plans. In addition, silt sacks shall be placed in all existing and proposed catch basin inlets. A preconstruction conference shall then be held with the Lakeville Planning Department's Agent in order to confirm that sediment control conditions are adequate for construction to start.

3.0 CONSTRUCTION PERIOD MEASURES

The following are the minimal measures required for erosion and sediment control, material handling and for spill control.

3.1 EROSION AND SEDIMENTATION CONTROL

The following measures shall be maintained throughout the site construction phase of the project.

Catch Basin Protection

Proposed catch basins shall be protected with silt sacks prior to the completion of paving. If excessive siltation is discovered to be entering the catch basin inlets, then hay bales shall also be placed around grates and catch basins within the construction/demolition areas to ensure that runoff entering the catch basin has been filtered through the bales prior to discharge.

Stabilized Construction Entrance

A temporary stabilized construction entrance shall be installed at the locations shown on the erosion control plan. The purpose of the construction entrance is to remove sediment attached to vehicle tires and minimize

its transport and deposition onto public road surfaces. The construction entrance shall be composed of a 6-inch thick (minimum) bed of 2-inch diameter crushed stone that extends a minimum of 50 feet. The construction entrance shall be a minimum of 25 feet wide, and shall flare to a minimum width of 45 feet wide at the junction with the roadway. The crushed stone bed shall be removed and replenished as necessary to maintain the proper function.

Erosion and Sediment Control - Maintenance

The project general contractor shall have primary responsibility for implementing temporary and permanent controls described in the plan and shall be responsible for assuring Contractor compliance with contract documents including all erosion and sediment control measures.

- Damaged or deteriorated items shall be repaired or replaced immediately after identification.
- The underside of haybales should be kept in close contact with the earth and reset as necessary.
- Silt Socks shall be inspected after every major rainfall runoff event (over ½" depth of precipitation) or every 14 days, whichever occurs first. All damaged or misaligned fences shall be immediately repaired. Silt shall be immediately removed from all areas of the silt fence when depth of accumulation exceeds 9 inches. Each report shall be documented on the form enclosed herewith.
- Sumps shall be inspected after every major rainfall runoff event (over ½" depth of precipitation) or every 14 days, whichever occurs first. Silt shall be immediately removed from all sumps where the depth of accumulation exceeds 9 inches.
- All exposed construction areas shall be stabilized upon completion in order to minimize the time that these areas are unstabilized.

3.2 MATERIALS MANAGEMENT PRACTICES

The following are the material management practices that shall be used to reduce the risk of spills or other accidental exposure of materials and substances to stormwater runoff. The Contractor's Superintendent shall be responsible for ensuring that these procedures are followed:

1. *Good Housekeeping*

The following good housekeeping practices shall be followed on-site during construction:

- a. An effort shall be made to store only enough products required to do the job.
- b. All materials stored on-site shall be stored in a neat, orderly manner and, if possible, under a roof or in a containment area. At a minimum, all containers shall be stored with their lids on when not in use. Drip pans shall be provided under all dispensers.
- c. Products shall be kept in their original containers with the original manufacturer's label in legible condition.
- d. Substances shall not be mixed with one another unless recommended by the manufacturer.
- e. Whenever possible, all of a product shall be used up before disposing the container.
- f. Manufacturer's recommendations for proper use and disposal shall be followed.
- g. The Contractor's Superintendent shall be responsible for daily inspections to ensure proper use and disposal of materials.

2. *Hazardous Substances*

These practices shall be used to reduce the risks associated with Hazardous Substances. Material Safety Data Sheets (MSDS's) for each product with hazardous properties that is used at the Project shall be obtained and used for the proper management of potential wastes that may result from these products. An MSDS shall be posted in the immediate area where such product is stored and/or used and another copy of each MSDS shall be maintained in the job trailer at the Project. Each employee who must handle a Hazardous Substance shall be instructed on the use of MSDS sheets and the specific information in the applicable MSDS for the product he/she is using, particularly regarding spill control techniques.

- a. Products shall be kept in original containers with the original labels in legible condition.
- b. Original labels and MSDS's shall be procured and used for each product.
- c. If surplus product must be disposed, manufacturer's and local/state/federal required methods for proper disposal must be followed.
- d. Speedy Dry shall be kept onsite in the event of a spill.

3. *Hazardous Waste*

It is imperative that all Hazardous Waste be properly identified and handled in accordance with all applicable Hazardous Waste Standards, including the storage, transport and disposal of the Hazardous Wastes. There are significant penalties for the improper handling of Hazardous Wastes. It is important that the Site Superintendent seeks appropriate assistance in making the determination of whether a substance or material is a Hazardous Waste. For example, Hazardous Waste may include certain Hazardous Substances, as well as pesticides, paints, paint solvents, cleaning solvents, pesticides, contaminated soils, and other materials, substances or chemicals that have been discarded (or are to be discarded) as being out-of-date, contaminated, or otherwise unusable, and can include the containers for those substances; other materials and substances can also be or become Hazardous Wastes, however. The Contractor's Superintendent is also responsible for ensuring that all site personnel are instructed as to these Hazardous Waste requirements and also that the requirements are being followed.

4. *Product Specific Practices*

The following product specific practices shall be followed on the job site:

Petroleum Products

All on-site vehicles shall be monitored for leaks and receive regular preventative maintenance to reduce the chance of leakage. Petroleum products shall be stored in tightly sealed containers which are clearly labeled. Petroleum storage tanks shall be located at minimum 100 linear feet from

drainage ways, inlets and surface waters. Any petroleum storage tanks stored on-site shall be located within a containment area that is designed with an impervious surface between the tank and the ground. The secondary containment must be designed to provide a containment volume that is equal to 110% of the volume of the largest tank. Any mobile petroleum tank shall be parked in a vehicular service area surrounded by a berm that provides a containment volume that is equal to 110% of the volume of the largest tank. Containment must provide sufficient volume to contain expected precipitation and 110% volume of the largest tank. Accumulated rainwater or spills from containment areas are to be promptly pumped into a containment device and disposed properly by a licensed Hazardous Waste transporter. Drip pans shall be provided for all dispensers. Any asphalt substances used on-site shall be applied according to the manufacturer's recommendations. The location of any fuel tanks and/or equipment storage areas must be identified on the Erosion Control Plan by the Contractor once the locations have been determined. Speedy Dry shall be kept onsite in the event of a spill.

Fertilizers

Fertilizers shall be applied only in the minimum amounts recommended by the manufacturer. Once applied, fertilizer shall be worked in the soil to limit exposure to stormwater. The contents of any partially used bags of fertilizer shall be transferred to a sealable plastic bin to avoid spills.

Cleaning Solvents

All containers shall be tightly sealed and stored when not in use. Excess solvents shall not be discharged to the storm sewer system, but shall be properly disposed of according to manufacturer's instructions or state and federal regulations. Speedy Dry shall be kept onsite in the event of a spill.

Concrete Wastes

Concrete trucks shall be allowed to wash out or discharge surplus concrete or drum wash water on the project site, but only in specifically designated diked and impervious washouts which have been prepared to prevent contact between the concrete wash and stormwater. Waste generated from concrete wash water shall not be allowed to flow into drainage ways, inlets, receiving waters or any location other than the designated concrete washout. Waste concrete may be poured into forms to make rip-rap or other useful concrete products. Concrete washouts shall be located at minimum 100 linear feet from drainage ways, inlets, surface waters and wetland resource areas.

The hardened residue from the concrete washout diked areas shall be disposed in the same manner as other non-hazardous construction waste materials or may be broken up and used on site as deemed appropriate by the Contractor. Maintenance of the washout is to include removal of hardened concrete. Facility shall not be filled beyond 95% capacity and shall be cleaned out once 75% full unless a new facility is constructed. The Contractor's Superintendent shall be responsible

for seeing that these procedures are followed. Saw-cut Portland Cement Concrete (PCC) slurry shall not be allowed to enter storm drains or watercourses. Saw-cut residue should not be left on the surface of pavement or be allowed to flow over and off pavement. Residue from saw-cutting and grinding shall be collected by vacuum and disposed of in the concrete washout facility.

5. Solid and Construction Wastes

All waste materials shall be collected and disposed of at an appropriate solid waste disposal area.

6. Sanitary Wastes

A minimum of one portable sanitary unit shall be provided for every ten (10) workers on the site. All sanitary waste shall be collected from the portable units a minimum of one time per week by a licensed portable facility provider in complete compliance with local and state regulations.

All sanitary waste units shall be located in an area where the likelihood of the unit contributing to stormwater discharges is negligible. Additional containment BMPs must be implemented, such as gravel bags or specially designed plastic skid containers around the base, to prevent wastes from contributing to stormwater discharges.

7. Contaminated Soils

Any contaminated soils (resulting from spills of hazardous substances or oil or discovered during the course of construction) which may result from construction activities shall be contained and cleaned up immediately in accordance with the procedures given in the Material Management Plan and in accordance with applicable state and federal regulations. Contaminated soils not resulting from construction activities, or which pre-existed construction activities, but which are discovered by virtue of construction activities, should be reported in the same manner as spills, but with sufficient information to indicate that the discovery of an existing condition is being reported. If there is a release that occurs by virtue of the discovery of existing contamination, this should be reported as a spill, if it otherwise meets the requirements for a reportable spill.

SOURCE CONTROL AND LONG-TERM POLLUTION PREVENTION PLAN

Commercial Redevelopment

415 Millennium Circle, Lakeville, MA

1.0 INTRODUCTION

The development of the above referenced facility has been designed to provide improved stormwater quality compared to existing conditions. In order for this to continue in the long term, it is necessary to implement the following Source Control and Pollution Prevention Plan.

2.0 RESPONSIBLE PARTY

Responsible Party: D F C of Lakeville 415 LLC
920 South Colony Road, Wallingford, CT

Attention: TBD

3.0 SOURCE CONTROL MEASURES

The most effective means of providing clean runoff is to prevent pollutants from coming into contact with the stormwater in the first place. This involves the following:

1. Keeping de-icing agents, fertilizers, stockpiles, etc covered at all times. If practical, all such products shall be stored indoors or off-site.
2. All landscaping, fertilization and other grounds maintenance shall be done by professional groundkeepers who are trained at how to maintain the grounds.
3. Periodic parking lot sweeping program shall be implemented. This program shall include removal of windblown debris and litter from landscaped areas.
4. A supply of speedy dry type oil absorbent material shall be kept on-site to allow for the quick cleanup of minor spills.

4.0 SPILL PREVENTION AND RESPONSE PLAN

The Property Manager, shall train all personnel in the proper handling and cleanup of spilled Hazardous Substances or Oil. No spilled Hazardous Substances or Oil shall be allowed to come in contact with stormwater discharges. If such contact occurs, the stormwater discharge shall be contained on site until appropriate measures in compliance with state and federal regulations are taken to dispose such contaminated stormwater. It shall be the responsibility of the Property Manager to be properly trained, and

to train all personnel in spill prevention and cleanup procedures.

In order to prevent or minimize the potential for a spill of hazardous substances or oil to come into contact with stormwater, the following steps shall be implemented:

- a. All hazardous substances or oil (such as pesticides, petroleum products, fertilizers, detergents, chemicals, acids, paints, paint solvents, cleaning solvents, additives for soil stabilization, concrete curing compounds and additives, etc.) shall be stored in a secure location, with their lids on, preferably under cover, when not in use.
- b. The minimum practical quantity of all such materials shall be kept at the facility.
- c. A spill control and containment kit (containing, for example, absorbent materials such as Speedy Dry, acid neutralizing powder, brooms, dust pans, mops, rags, gloves, plastic and metal trash containers, etc.) shall be provided at the site.
- d. Manufacturer's recommended methods for spill cleanup shall be clearly posted and site maintenance personnel shall be trained regarding these procedures and the location of the information and cleanup supplies.
- e. It is the Property Manager's responsibility to ensure that all hazardous waste discovered or generated at the Project site are disposed properly by a licensed hazardous material disposal company. The Property Manager is responsible for not exceeding hazardous waste storage requirements mandated by the EPA or state and local authority.

A spill contingency plan shall be implemented including the following provisions:

Equipment necessary to quickly attend to inadvertent spills or shall be stored on-site in a secure but accessible location. Such equipment shall include:

1. Safety goggles.
2. Chemically resistant gloves and overshoe boots.
3. Water and chemical fire extinguishers.
4. Sand and shovels.
5. Suitable absorbent materials.
6. Storage containers.
7. First aid equipment.

In the event of a spill of hazardous substances or oil, the following procedures must be followed:

- a. All measures must be taken to contain and abate the spill and to prevent the discharge of the hazardous substance or oil to stormwater or off-site. (The spill area must be kept well

ventilated and personnel must wear appropriate protective clothing to prevent injury from contact with the hazardous substances.)

- b. For spills of less than five (5) gallons of material, proceed with source control and containment, clean-up with absorbent materials or other applicable means unless an imminent hazard or other circumstances dictate that the spill should be treated by a professional emergency response contractor.
- c. For spills greater than five (5) gallons of material immediately contact a Massachusetts Licensed Site Professional L.S.P. Provide information on the type of material spilled, the location of the spill, the quantity spilled, and the time of the spill and proceed with prevention, containment and/or clean-up if so desired.
- d. Spills of amounts that exceed reportable quantities of certain substances specifically mentioned in federal regulations 40 CFR 110, 40 CFR 117, and 40 CFR 302 must be immediately reported to the EPA National Response Center, Telephone (800) 242-8802.

The Property Manager shall be the spill prevention and response coordinator. He shall designate the individuals who shall receive spill prevention and response training. These individuals shall each become responsible for a particular phase of prevention and response. The names of these personnel should be posted in the material storage area and in the property office.

5.0 SNOW AND ICE REMOVAL

Snow removal shall be primarily done by mechanical removal rather than chemical application. The judicious use of sand and salt without chemical additives is allowed in order to protect the safety of the public. Snow shall be primarily stored onsite within landscaped areas along the southern property line and at the front of the property.



3 Main Street Lakeville, MA 02347
(508) 947-4208 - www.zcellc.com

- Civil Engineering
- Septic Design (Title 5)
- Septic Inspections (Title 5)
- Commercial and Industrial Site Plans
- Chapter 91 Permitting

APPENDIX B ILLICIT DISCHARGE STATEMENT (STANDARD #10)

RE: 415 Millennium Circle, Lakeville, MA

Standard 10 of the Massachusetts Stormwater Handbook prohibits illicit discharges to stormwater management systems. The following is an illicit discharge compliance statement based on existing conditions and design conditions for the proposed project.

EXISTING CONDITIONS

The existing site is a warehouse facility. Based on all the information available to the undersigned, and therefore, to the best of my knowledge, there are no current illicit discharges to the storm drainage system. If during construction, an illicit discharge is discovered, it shall be removed immediately.

PROPOSED DESIGN

The proposed project design does not include any illicit discharges. There are no points in the proposed storm drainage system where illicit discharges are likely to occur.

I hereby certify that the preceding is accurate.

Representative, D F C of Lakeville 415 LLC

SITE NOTES:

- THE SITE IS LISTED ON THE TOWN OF LAKEVILLE ASSESSORS PROPERTY RECORD CARDS AS MAP 022 BLOCK 001 LOT 003-02.
- PROPERTY LINE AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A FIELD SURVEY BY PRIME ENGINEERING, INC. AND ZENITH LAND SURVEYORS, LLC.
- PLYMOUTH COUNTY REGISTRY OF DEEDS:
PLAN REFERENCE BOOK 41 PAGE 449
- THE SUBJECT PROPERTY IS LOCATED IN ZONES X AND A, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF PLYMOUTH COUNTY, MASSACHUSETTS, MAP NUMBER 250230313K, MAP REVISED JULY 16, 2015.
- A PORTION OF THE SITE IS LOCATED IN A PRIORITY HABITAT AND ESTIMATED HABITAT AS SHOWN ON THE MASSACHUSETTS NATURAL HERITAGE ATLAS 15TH EDITION EFFECTIVE DATE AUGUST, 2021.
- WETLAND RESOURCE AREA WAS DELINEATED BY SABATTA, INC. ON OCTOBER 1, 2018 AND THE MEAN ANNUAL HIGH WATER WAS DETERMINED IN JULY OF 2022.
- THE PROJECT IS NOT LOCATED WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC).
- THE SITE IS NOT LOCATED IN A ZONE II OR IMPA TO A PUBLIC WATER SUPPLY WELL.
- THE SITE IS NOT IN A ZONE A TO A SURFACE WATER SUPPLY AREA.
- THE SITE IS NOT LOCATED IN AN OUTSTANDING RESOURCE WATER AREA (ORW).
- POOKOY BROOK IS DESIGNATED AS A COLD WATER FISHERY ON MASS GIS.
- POOKOY BROOK LOCATION WAS TAKEN FROM PLAN OF RECORD AT THE PLYMOUTH COUNTY REGISTRY OF DEEDS PLAN BOOK 41 PAGE 449 AND IS TO BE CONSIDERED APPROXIMATE.
- ONLY A SECTION OF THE MEAN ANNUAL HIGH WATER LINE WAS DELINEATED AND LOCATED.

CONSTRUCTION NOTES:

- A NPDES FILING MUST BE SUBMITTED FOR THIS PROJECT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY BENCHMARKS FOR CONSISTENCY PRIOR TO CONSTRUCTION AND SHALL NOTIFY ZENITH CONSULTING ENGINEERS, LLC, OF ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY WATER TABLE ELEVATIONS AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES FROM THE PLAN.
- IT IS THE CONTRACTORS' RESPONSIBILITY TO CONTACT DIG SAFE (1-888-DIG SAFE) PRIOR TO THE COMMENCEMENT OF WORK AND ALL UNDERGROUND UTILITY COMPANIES TO CONFIRM LOCATIONS AND ELEVATIONS.
- CONTRACTOR SHALL VERIFY ALL INVERTS PRIOR TO CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES FROM THE PLAN.
- SITE IS TO BE SERVED BY MUNICIPAL WATER AND ONSITE SEPTIC SYSTEM.
- ALL PAVEMENT MARKING AND SIGNAGE SHALL CONFORM TO MUTCD STANDARDS.
- PROPOSED UTILITIES AND CONSTRUCTION METHODS UNDER AREAS SUBJECT TO TRAFFIC LOADING SHALL BE INSTALLED TO WITHSTAND H-20 LOADING TRAFFIC STANDARDS. CONTRACTOR SHALL VERIFY THAT ALL STRUCTURES COMPLY TO THIS STANDARD.
- WHERE ALL CONCRETE STRUCTURES INTERCEPT THE SEASONAL HIGH GROUNDWATER TABLE, THE CONTRACTOR SHALL SEAL THE ENTIRE STRUCTURE WITH WATERPROOF SEALER.
- IF APPLICABLE, ANY RETAINING WALLS SHALL BE DESIGNED BY A MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.
- ALL WORK SHALL CONFORM TO THE TOWN OF LAKEVILLE RULES AND REGULATIONS AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY AND BRIDGES, MOST CURRENT VERSION OF PLAN SET.

ZONING SUMMARY AND COMPLIANCE TABLE (INDUSTRIAL)			
CRITERIA	REQUIRED	EXISTING	PROPOSED
LOT AREA	75,000 S.F. (52,500 S.F. IN CONTIGUOUS NON-WETLAND)	314,345± S.F.	314,345± S.F.
FRONTAGE	175'	292.35'	292.35'
FRONT BUILDING SETBACK	40'	63.3'	63.3'
SIDE BUILDING SETBACK	40'	63.7'	63.7'
REAR BUILDING SETBACK	40'	547.31'	547.31'
BUILDING HEIGHT	35'	<35'	<35'

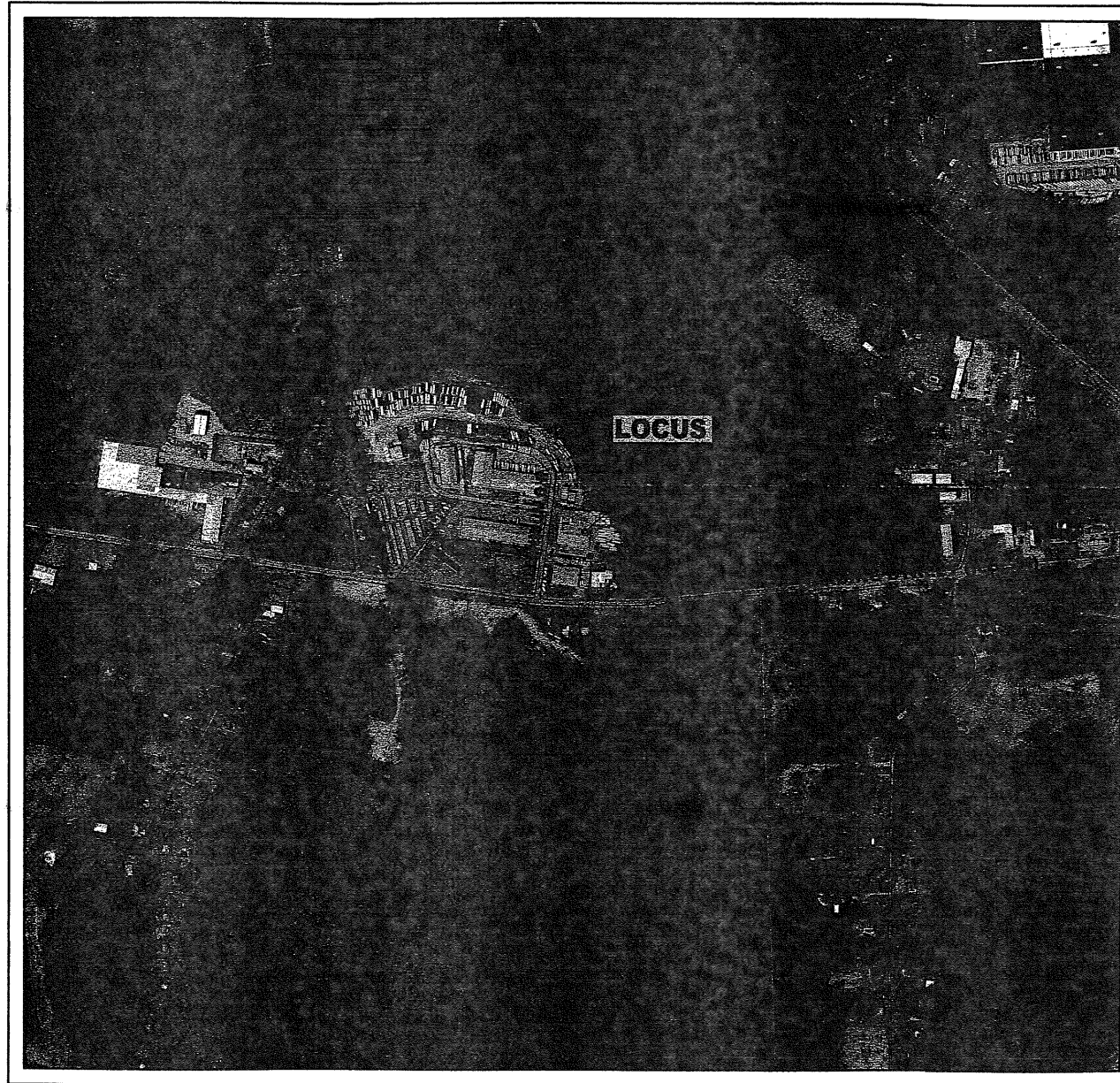
LOT COVERAGE TABLE			
CRITERIA	EXISTING	PROPOSED	
LOT AREA	314,345± S.F.	314,345± S.F.	
AREA OUTSIDE RESOURCE AREAS (WETLANDS & RIVERFRONT AREAS)	133,339± S.F.	133,339± S.F.	
IMPERVIOUS COVER	54.8% (73,000± S.F.)	46.2% (61,600± S.F.)	

SCHEDULE OF DRAWINGS		
SHEET ID	PLAN TITLE	LATEST REVISION DATE
C	COVER SHEET	11/3/2022
X	EXISTING CONDITIONS PLAN	11/3/2022
L	PROPOSED LAYOUT PLAN	11/3/2022
G	GRADING AND DRAINAGE PLAN	11/3/2022
V	LANDSCAPING PLAN	11/3/2022
E	EROSION CONTROL PLAN	11/3/2022
D1	DETAIL SHEET	11/3/2022
D2	DETAIL SHEET	11/3/2022

COMMERCIAL SITE PLAN

415 MILLENNIUM CIRCLE

LAKEVILLE, MASSACHUSETTS



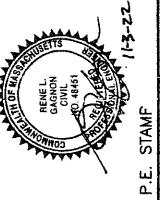
LOCUS PLAN
SCALE: 1"=500'

OWNER/APPLICANT
D F C OF LAKEVILLE 415 LLC
920 SOUTH COLONY ROAD
WALLINGFORD, CT 06492

LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



P.E. STAMP

ZCE
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
---	BUILDING	---
---	CONTOUR	---
---	SPOT GRADE	---
---	DRAINAGE BOUNDARY	---
---	TIME OF CONCENTRATION	---
---	SILT FENCE/SILT SOCK	---
---	HAYBALE LINE	---
---	CHAINLINK FENCE	---
---	STOCKADE FENCE	---
---	WIRE FENCE	---
---	GUARDRAIL	---
---	RAILROAD TRACKS	---
---	SIGN	---
---	MAILBOX	---
---	TEST PIT	---
---	UNKNOWN MANHOLE	---
---	DRAINAGE PIPE	---
---	ROOF DRAIN PIPE	---
---	CATCH BASIN	---
---	DOUBLE GRATE CATCH BASIN	---
---	CURB INLET	---
---	DRAIN MANHOLE	---
---	FLARED END	---
---	GAS MAIN	---
---	GAS SERVICE	---
---	GAS MANHOLE	---
---	GAS GATE/VALVE	---
---	GAS METER	---
---	CABLE	---
---	ELEC/TELE/CABLE	---
---	OVERHEAD WIRES	---
---	UNDERGROUND ELECTRIC	---
---	UNDERGROUND TELEPHONE	---
---	ELECTRIC MANHOLE	---
---	TELEPHONE MANHOLE	---
---	HANDHOLE	---
---	ELECTRIC METER	---
---	TRANSFORMER	---
---	UTILITY POLE	---
---	GUY POLE	---
---	GUY WIRE	---
---	LIGHT POLE	---
---	FLOOD LIGHT	---
---	TRAFFIC SIGNAL	---
---	GRAVITY SEWER MAIN	---
---	FORCE SEWER MAIN	---
---	SEWER SERVICE	---
---	SEWER MANHOLE	---
---	SEWER VALVE	---
---	FIRE SUPPRESSION SERVICE	---
---	WATER MAIN	---
---	WATER SERVICE	---
---	HYDRANT	---
---	WATER GATE/VALVE	---
---	WATER SHUTOFF	---
---	WELL	---
---	WATER MANHOLE	---
---	MONITORING WELL	---
---	TREELINE	---
---	STONEWALL	---
---	WETLAND LINE	---
---	TOP OF BANK	---
---	FLOOD ZONE	---
---	EDGE OF WATER	---
---	ZONE A BOUNDARY	---
---	NATURAL HERITAGE BOUNDARY	---
---	WRPD BOUNDARY	---
---	25' BUFFER	---
---	50' BUFFER	---
---	75' BUFFER	---
---	100' BUFFER	---
---	150' BUFFER	---
---	100' RIPARIAN ZONE	---
---	200' RIPARIAN ZONE	---
---	WETLAND FLAG	---
---	BENCHMARK	---
---	CONTROL POINT	---
---	MAG NAIL	---
---	DRILLHOLE	---
---	CONCRETE BOUND	---
---	STONE BOUND	---
---	IRON PIPE	---
---	REBAR	---



ZLS
ZENITH LAND SURVEYORS, LLC
1162 ROCKDALE AVE. NEW BEDFORD, MA 02740
PHONE: (508) 995-0100

THIS PLAN AND THE ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTIES DISPLAYED HEREON. THE NAMES SHOWN AS OWNERS ARE TAKEN FROM CURRENT TOWN ASSESSOR'S RECORDS.



11-03-22

PROFESSIONAL LAND SURVEYOR, PLS DATE

SHEET NAME: COVER SHEET

PROJECT SITE: 415 MILLENNIUM CIRCLE LAKEVILLE, MASSACHUSETTS

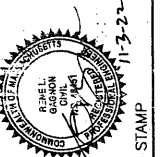
CLIENT INFO: DOMINICK DEMARTINO 920 SOUTH COLONY ROAD WALLINGFORD, CT 06492

DATE	REV.	DATE	DESCRIPTION	BY	APP.
11-3-2022 <td></td> <td></td> <td></td> <td></td> <td></td>					

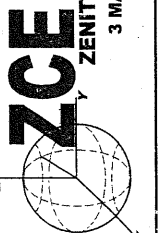
LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____

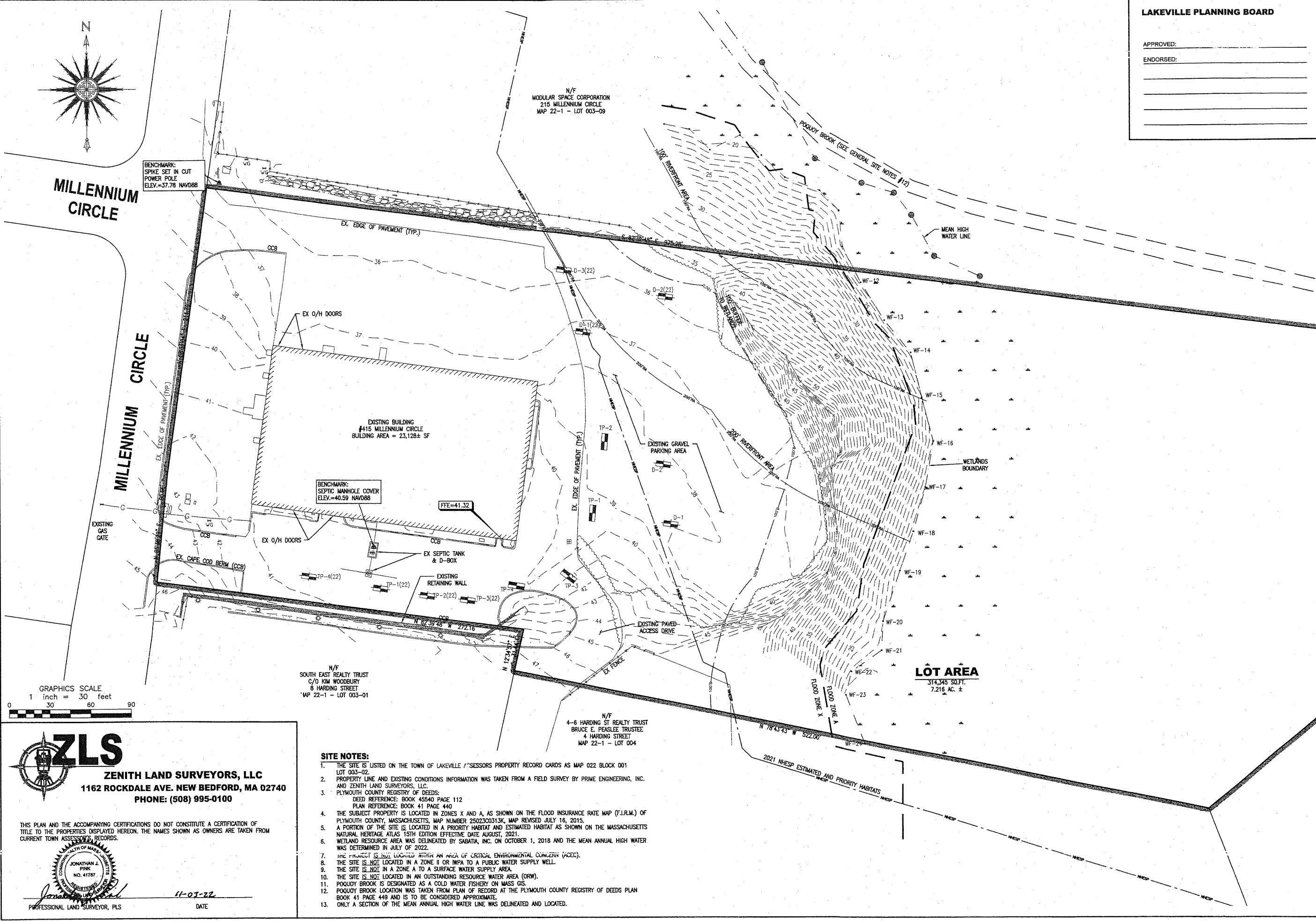


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 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208



REV.	DATE	DESCRIPTION

DATE	DESCRIPTION
11-3-2022	



GRAPHICS SCALE
 1 inch = 30 feet



ZLS
ZENITH LAND SURVEYORS, LLC
 1162 ROCKDALE AVE. NEW BEDFORD, MA 02740
 PHONE: (508) 995-0100

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11-03-22
 DATE

SITE NOTES:

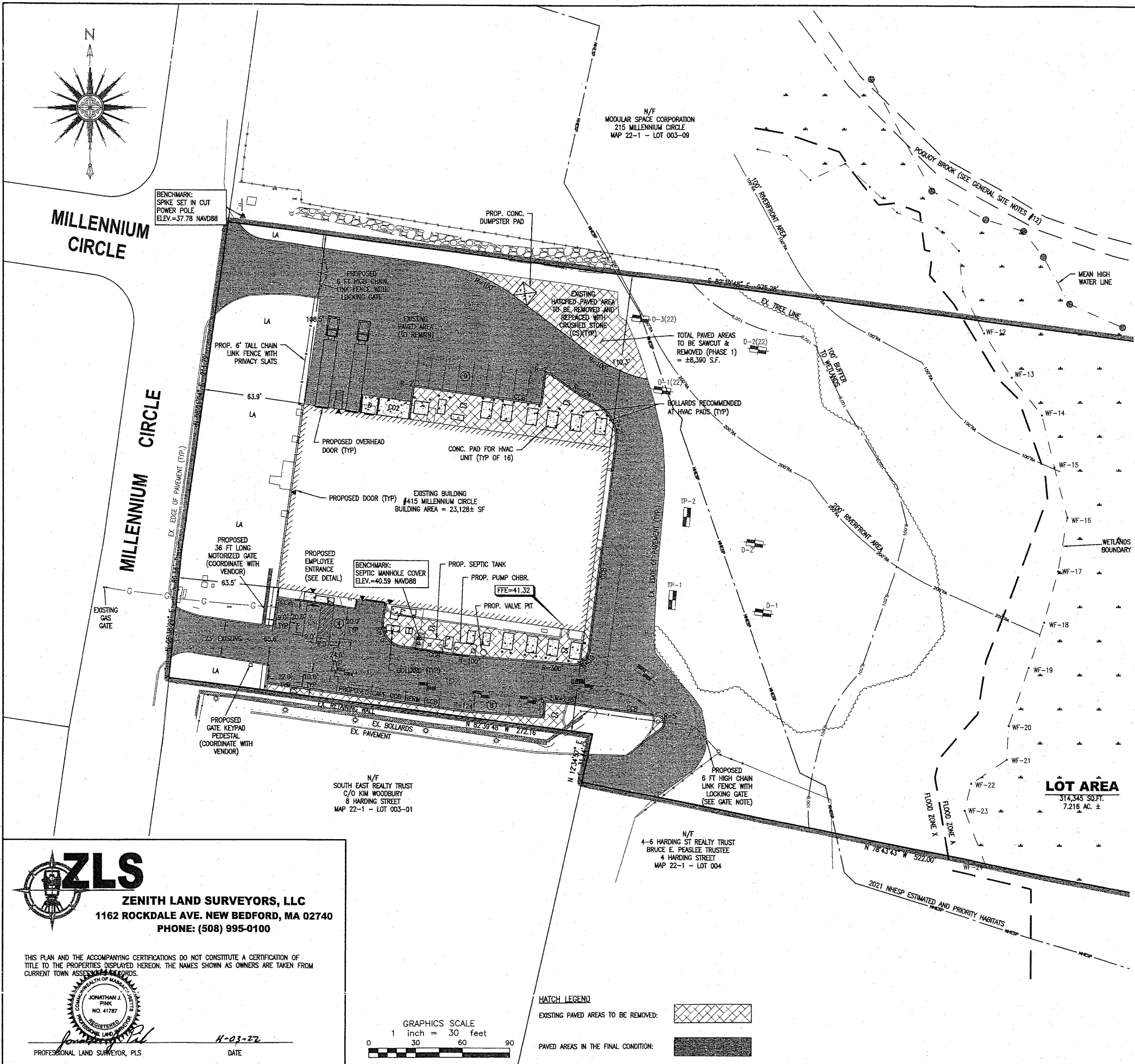
- THE SITE IS LISTED ON THE TOWN OF LAKEVILLE / SESSORS PROPERTY RECORD CARDS AS MAP 022 BLOCK 001 LOT 003-02.
- PROPERTY LINE AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A FIELD SURVEY BY PRIME ENGINEERING, INC. AND ZENITH LAND SURVEYORS, LLC.
- PLYMOUTH COUNTY REGISTRY OF DEEDS:
 DEED REFERENCE BOOK 45540 PAGE 112
 PLAN REFERENCE BOOK 41 PAGE 440
- THE SUBJECT PROPERTY IS LOCATED IN ZONES X AND A, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF PLYMOUTH COUNTY, MASSACHUSETTS, MAP NUMBER 250230313K, MAP REVISED JULY 16, 2015.
- THE SITE IS NOT IN A ZONE A TO A SURFACE WATER SUPPLY AREA.
- THE SITE IS NOT LOCATED IN AN OUTSTANDING RESOURCE WATER AREA (ORWA).
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- ONLY A SECTION OF THE MEAN ANNUAL HIGH WATER LINE WAS DELINEATED AND LOCATED.

N/F
 SOUTH EAST REALTY TRUST
 C/O KIM WOODBURY
 8 HARDING STREET
 MAP 22-1 - LOT 003-01

N/F
 MODULAR SPACE CORPORATION
 215 MILLENNIUM CIRCLE
 MAP 22-1 - LOT 003-09

N/F
 4-6 HARDING ST REALTY TRUST
 BRUCE E. PEASLEE TRUSTEE
 4 HARDING STREET
 MAP 22-1 - LOT 004

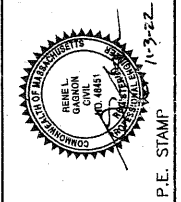
LOT AREA
 314,345 SQ.FT.
 7.216 AC. ±



LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



ZCE
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

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 - PLYMOUTH COUNTY REGISTRY OF DEEDS:
DEED REFERENCE: BOOK 45540 PAGE 112
PLAN REFERENCE: BOOK 41 PAGE 440
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 - POQUOY BROOK LOCATION WAS TAKEN FROM PLAN OF RECORD AT THE PLYMOUTH COUNTY REGISTRY OF DEEDS PLAN BOOK 41 PAGE 449 AND IS TO BE CONSIDERED APPROXIMATE.
 - ONLY A SECTION OF THE MEAN ANNUAL HIGH WATER LINE WAS DELINEATED AND LOCATED.

- CONSTRUCTION NOTES:**
- A NPDES FILING MUST BE SUBMITTED FOR THIS PROJECT PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY BENCHMARKS FOR CONSISTENCY PRIOR TO CONSTRUCTION AND SHALL NOTIFY ZENITH CONSULTING ENGINEERS, LLC. OF ANY DISCREPANCIES.
 - CONTRACTOR SHALL VERIFY WATER TABLE ELEVATIONS AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES FROM THE PLAN.
 - IT IS THE CONTRACTORS' RESPONSIBILITY TO CONTACT DIG SAFE (1-888-DIG SAFE) PRIOR TO THE COMMENCEMENT OF WORK AND ALL UNDERGROUND UTILITY COMPANIES TO CONFIRM LOCATIONS AND ELEVATIONS.
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 - ALL PAVEMENT MARKING AND SIGNAGE SHALL CONFORM TO MUTCD STANDARDS.
 - PROPOSED UTILITIES AND CONSTRUCTION METHODS UNDER AREAS SUBJECT TO TRAFFIC LOADING SHALL BE INSTALLED TO WITHSTAND H-20 LOADING TRAFFIC STANDARDS. CONTRACTOR SHALL VERIFY THAT ALL STRUCTURES COMPLY TO THIS STANDARD.
 - WHERE ALL CONCRETE STRUCTURES INTERSECT THE SEASONAL HIGH GROUNDWATER TABLE, THE CONTRACTOR SHALL SEAL THE ENTIRE STRUCTURE WITH WATERPROOF SEALER.
 - IF APPLICABLE, ANY RETAINING WALLS SHALL BE DESIGNED BY A MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.
 - ALL WORK SHALL CONFORM TO THE TOWN OF LAKEVILLE RULES AND REGULATIONS AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY AND BRIDGES, MOST CURRENT VERSION OF PLAN SET.

GATE NOTE:
THE PROPERTY OWNER'S ATTORNEY TO CONFIRM THAT THE PROPOSED SECURITY GATE ON THE SOUTHERLY SIDE OF THE PROPERTY IS ALLOWED PER EXISTING ACCESS EASEMENT. IF IT IS DETERMINED THAT THE GATE IS NOT ALLOWED, THE DESIGN ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION AND THE PROPERTY OWNER/DEVELOPER IS TO WORK WITH COUNSEL, DESIGN TEAM, AND THE TOWN TO FIND A SOLUTION.

PARKING REQUIREMENTS:
PER THE TOWN OF LAKEVILLE ZONING BYLAW SECTION 6.6.3.3

REQUIRED:
FOR LAND USE/CATEGORY: WHOLESALE, WAREHOUSE, OR STORAGE ESTABLISHMENT AND/OR MANUFACTURING OR INDUSTRIAL WORKING ESTABLISHMENTS:
1 SPACE PER EMPLOYEE IN THE LARGEST SHIFT
20 EMPLOYEES X 1 SPACE/EMPLOYEE = 20 SPACES

PROPOSED:
TOTAL SPACES PROVIDED: 21
TOTAL HANDICAP SPACES PROVIDED: 1 (VAN ACCESSIBLE)

LOADING/ACCESS NOTE:
PAVED ACCESS DRIVE AND LOADING AREA DESIGN BASED ON WB-50 TRUCK TURNING RADIUS.

CRITERIA	REQUIRED	EXISTING	PROPOSED
LOT AREA	75,000 S.F. (52,500 S.F. IN CONTIGUOUS NON-WETLAND)	314,345± S.F.	314,345± S.F.
FRONTAGE	175'	292.35'	292.35'
FRONT BUILDING SETBACK	40'	63.3'	63.3'
SIDE BUILDING SETBACK	40'	63.7'	63.7'
REAR BUILDING SETBACK	40'	547.31'	547.31'
BUILDING HEIGHT	35'	<35'	<35'

CRITERIA	EXISTING	PROPOSED
LOT AREA	314,345± S.F.	314,345± S.F.
AREA OUTSIDE RESOURCE AREAS (WETLANDS & RIVERFRONT AREAS)	133,339± S.F.	133,339± S.F.
IMPERVIOUS COVER	54.8% (73,000± S.F.)	46.2% (61,600± S.F.)

PROPOSED LAYOUT PLAN

PROJECT SITE: 415 MILLENNIUM CIRCLE LAKEVILLE, MASSACHUSETTS

CLIENT INFO: DOMINICK DEMARTINO 920 SOUTH COLONY ROAD WALLINGFORD, CT 06492

REV.	DATE	DESCRIPTION	BY	APP.

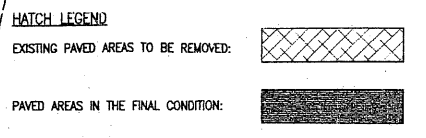
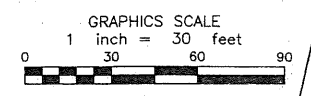
DRAWN BY: RLG DATE: 11-3-2022
DESIGNED BY: RLG PROJECT NUMBER: 0399-01-01
CHECKED BY: NCZ DRAWING SCALE: 1" = 30'
APPROVED BY: JLB SHEET ID: L

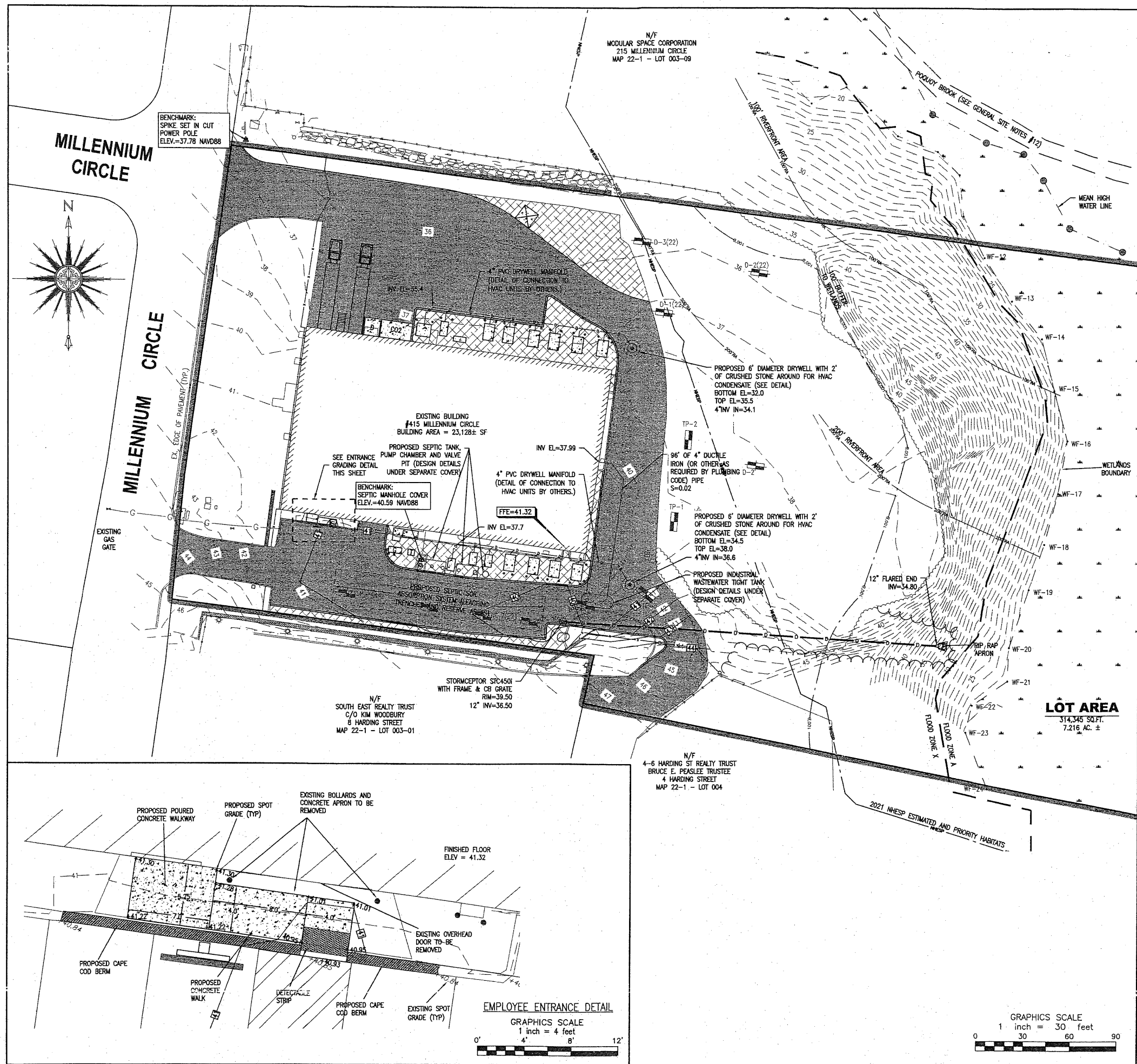
ZLS
ZENITH LAND SURVEYORS, LLC
1162 ROCKDALE AVE. NEW BEDFORD, MA 02740
PHONE: (508) 995-0100

THIS PLAN AND THE ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTIES DISPLAYED HEREON. THE NAMES SHOWN AS OWNERS ARE TAKEN FROM CURRENT TOWN ASSESSOR RECORDS.

JONATHAN J. PINK
NO. 41787
REGISTERED PROFESSIONAL LAND SURVEYOR, PLS

DATE: 11-03-22

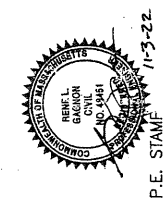




LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



ZCE
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

- SITE NOTES:**
- THE SITE IS LISTED ON THE TOWN OF LAKEVILLE ASSESSORS' PROPERTY RECORD CARDS AS MAP 022 BLOCK 001 LOT 003-02.
 - PROPERTY LINE AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A FIELD SURVEY BY PRIME ENGINEERING, INC. AND ZENITH LAND SURVEYORS, LLC.
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DATE	REV.	DATE	DESCRIPTION
11-3-2022			

DRAWN BY	DATE	PROJECT NUMBER	DRAWING SCALE	VARIABLES	SHEET ID
RLG	11-3-2022	0369-01-01	VARIABLES		G

SOIL LOGS:

DATE: 8/11/2022
PERFORMED BY: TOM MORRIS, ZENITH CONSULTING ENG, LLC.

DEPTH (INCHES)	ELEV. (FEET)	DEPTH (INCHES)	ELEV. (FEET)	DEPTH (INCHES)	ELEV. (FEET)
0	37.3	0	36.2	0	36.5
12	36.3	10	20.0	10	20.0
		80	13.5	80	13.5
120	27.3	126	25.7	126	25.0

TP-D1(22)
FILL
C MEDIUM SAND 2.5Y 6/3

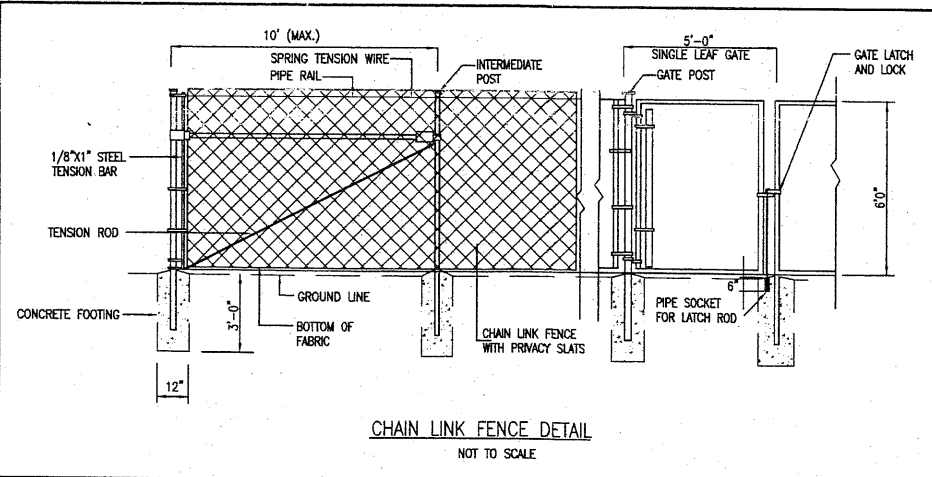
TP-D2(22)
FILL
C1 COARSE SAND 2.5Y 6/3
C2 FINE-MED SAND 2.5Y 6/3

TP-D3(22)
FILL
C1 COARSE SAND 2.5Y 6/3
C2 FINE SAND 2.5Y 6/3

MOTTLING: NONE
WEPPING: NONE
STANDING: NONE
ESHW EL.: NONE

GRADING & DRAINAGE PLAN
415 MILLENNIUM CIRCLE
LAKEVILLE, MASSACHUSETTS
DOMINICK DEMARTINO
920 SOUTH COLONY ROAD
WALLINGFORD, CT 06492

Site Plan Set/eng Pro: ceh/Lakeville/Millennium_Circle/415_Millennium_Circle/2022



CHAIN LINK FENCE DETAIL
NOT TO SCALE

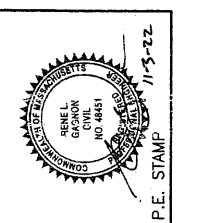
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PLANT KEY				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
TREES	CUPRESSUS LEPIDIFOLIA	LEYLAND CYPRESS	6' HT	11
	CORNUS JOUSA (MULTI STEM)	KOUSA DOGWOOD	7' HT	4
	ACER RUBRUM ARMSTRONG	ARMSTRONG RED MAPLE	2" CALIPER	3
	ILEX GLABRA COMPACTA	COMPACT INKBERRY	18" - 24" HT	6
SHRUBS	JUNIPERUS PFTIZERIANA	PFTIZER JUNIPER	18" - 24" HT	6
	RHODODENDRON SCINTILLATION	SINTILLATION RHODODENDRON	2 GALLON	10

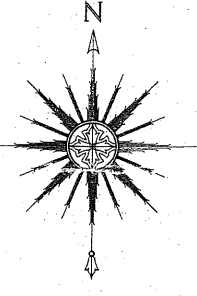
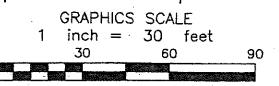
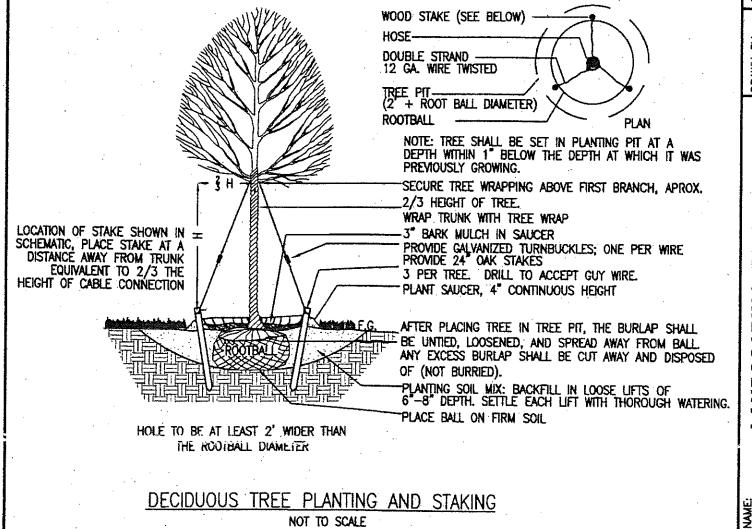
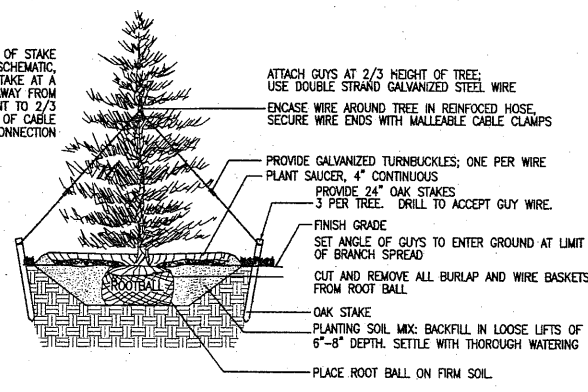
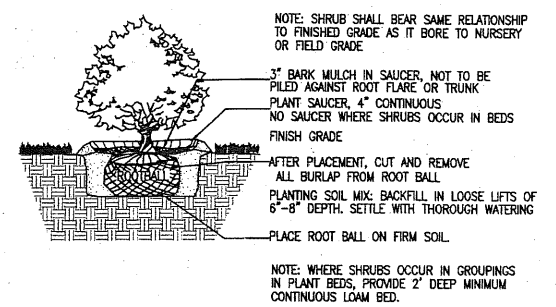
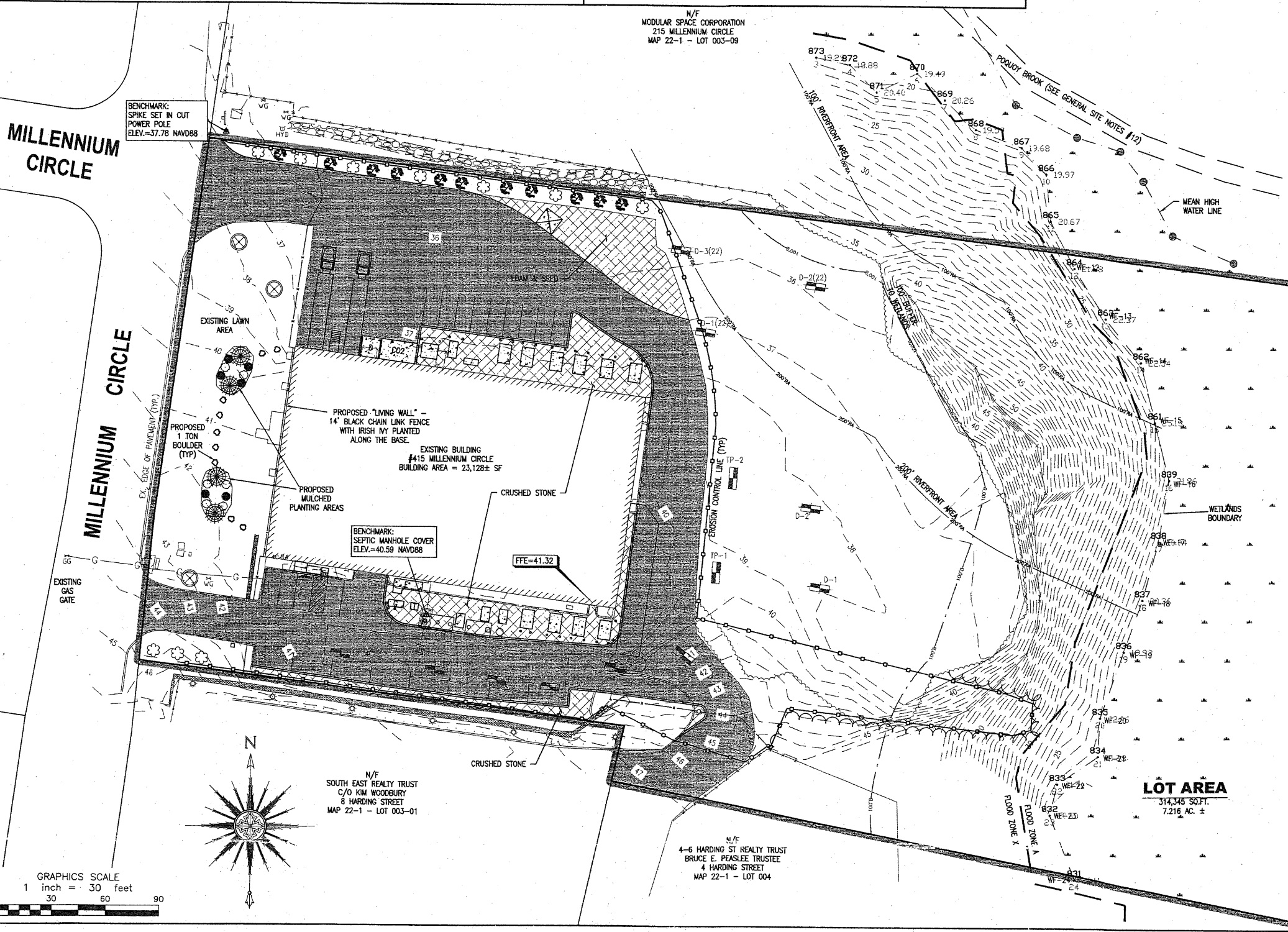
LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



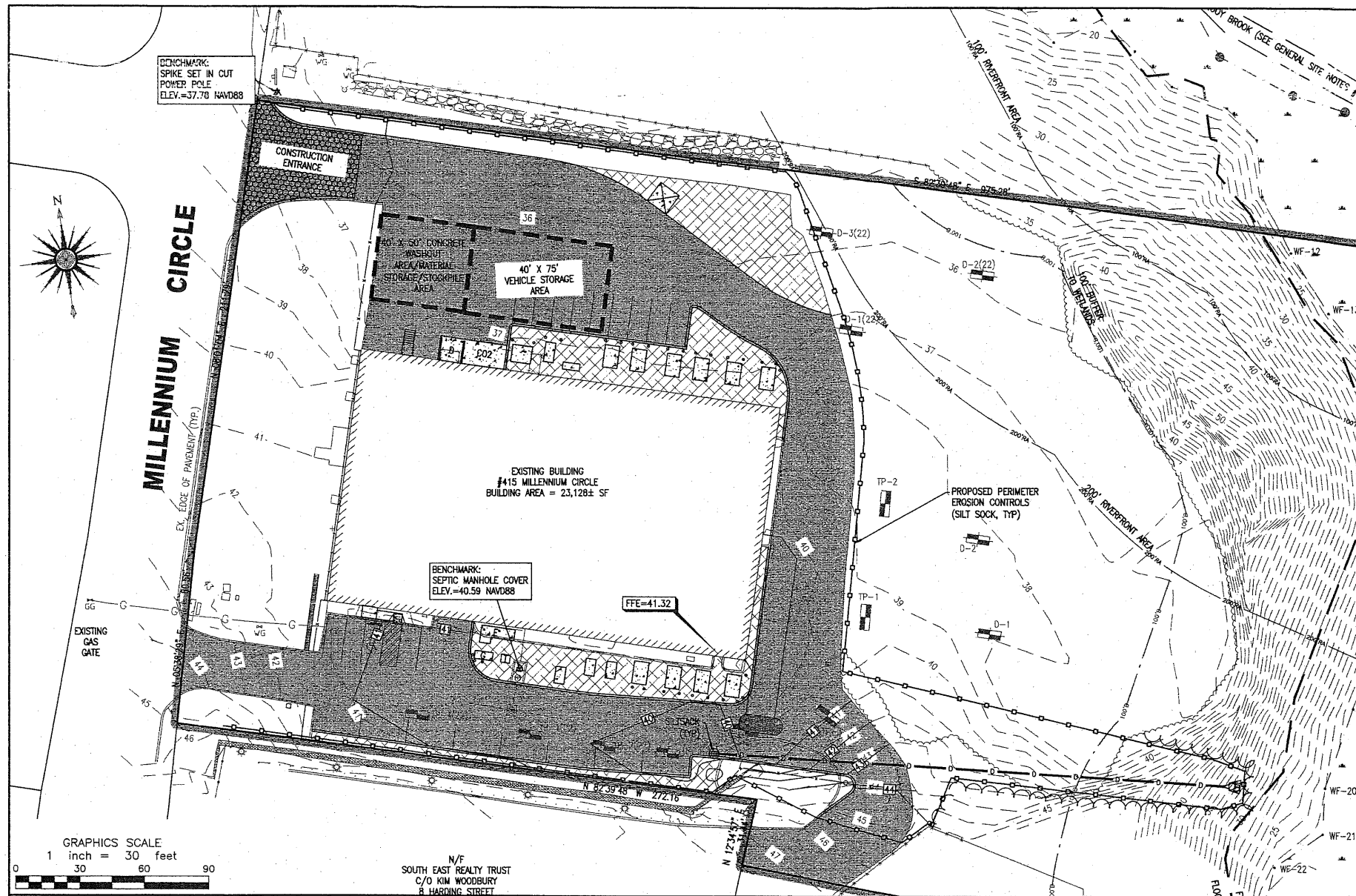
ZCE
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PHONE: (508) 947-4208



REV.	DATE	DESCRIPTION	BY	APP.
11-3-2022	11-3-2022			

LANDSCAPING PLAN	DATE: 11-3-2022	PROJECT NUMBER: 0369-01-01	DRAWING SCALE: 1" = 30'	SHEET ID: V
PROJECT SITE: 415 MILLENNIUM CIRCLE LAKEVILLE, MASSACHUSETTS	DRAWN BY: RLG	DESIGNED BY: RLG	CHECKED BY: RLG	APPROVED BY: JLB
CLIENT INFO: DOMINICK DEMARTINO 920 SOUTH COLONY ROAD WALLINGFORD, CT 06492				

S:\Civil\Engineering\Projects\Lakeville\Millennium Circle\415 Millennium Circle\DWG\2022 Site Plan Set.dwg

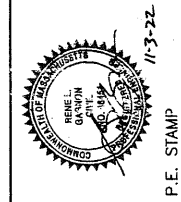


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LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



ZCE
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

EROSION & SEDIMENT CONTROL NOTES:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL EROSION AND PREVENT SEDIMENTATION BEYOND THE LIMIT OF WORK OR OFFSITE PROPERTIES. IT IS INTENDED THAT THE IMPLEMENTATION OF THE FOLLOWING MEASURES WILL MEET THIS GOAL. WHEN IT IS CLEAR TO THE DESIGNER THAT EROSION AND SEDIMENTATION HAVE BEEN ADEQUATELY CONTROLLED WITHOUT THE IMPLEMENTATION OF EVERY MEASURE, ADDITIONAL MEASURES NEED NOT BE IMPLEMENTED. ALTERNATIVELY, IF ALL OF THE FOLLOWING MEASURES HAVE BEEN IMPLEMENTED AND THE CONTROL OF EROSION AND SEDIMENTATION IS INADEQUATE, THE CONTRACTOR MUST EMPLOY SUFFICIENT SUPPLEMENTAL MEASURES BEYOND THE SCOPE OF THIS PLAN.

- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO STUMP REMOVAL AND CONSTRUCTION. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL MUNICIPAL REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION. A STAKED SILT SOCK SHALL BE INSTALLED DOWN GRADIENT OF ALL DRAINAGE OUTFALLS.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE OWNER OR AGENTS OF THE OWNER.
- CATCH BASINS WILL BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SILT SOCKS SHOULD BE INSTALLED UNDER GRATE OPENING UNTIL PAVEMENT IS IN PLACE AND GROUND SURFACE IS STABILIZED.
- SEEDING MIXTURE FOR FINISHED GRASSED AREAS WILL BE AS FOLLOWS:

KENTUCKY BLUE GRASS	45%
CREeping RED FESCUE	45%
PERENNIAL RYEGRASS	10%

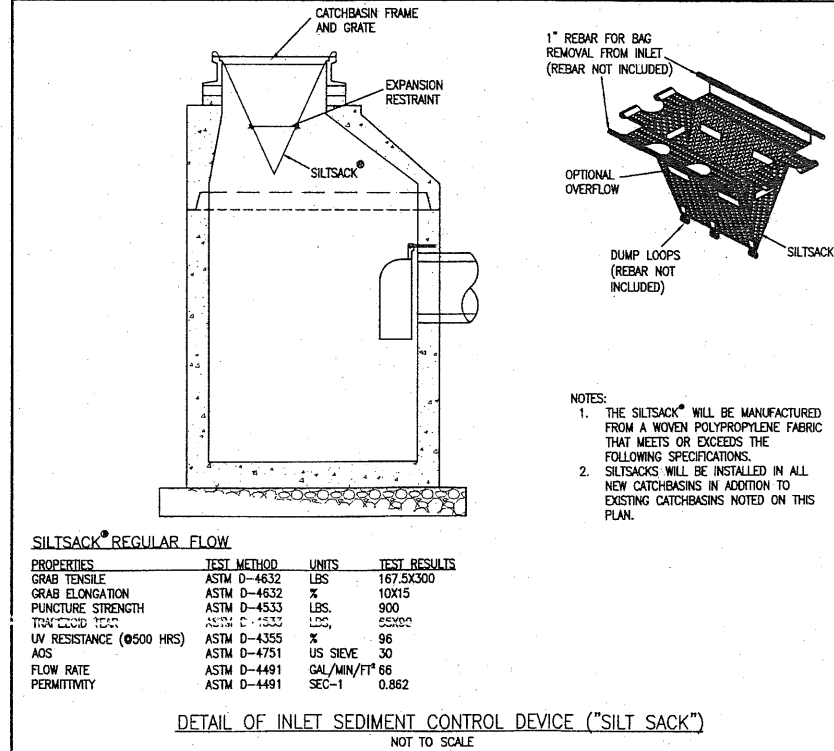
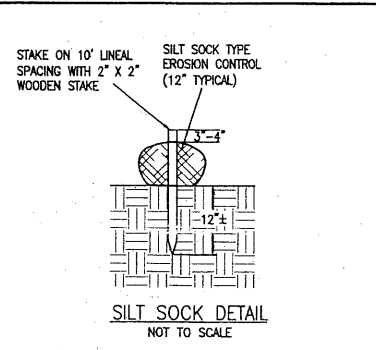
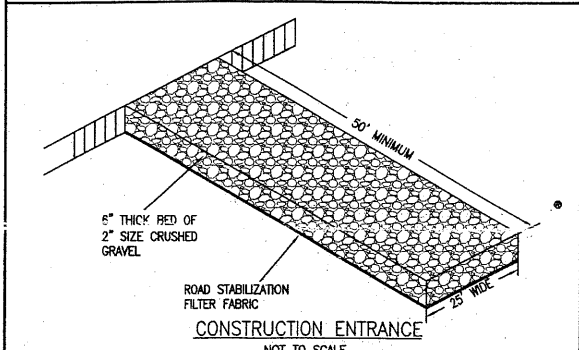
SEED TO BE APPLIED AT A RATE OF 4 LBS./1000 SQ. FT.
PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15. AFTER OCTOBER 15, AREAS WILL BE STABILIZED WITH HAYBALE CHECK, FILTER FABRIC, OR WOODCHIP MULCH, AS REQUIRED, TO CONTROL EROSION.

- AREAS THAT ARE NOT THE LOCATION OF ACTIVE CONSTRUCTION WHICH ARE TO BE LEFT BARE FOR OVER ONE MONTH BEFORE FINISHED GRADING AND SEEDING IS ACHIEVED, SHALL BE MULCHED OR RECEIVE TEMPORARY STABILIZATION SUCH AS JUTE NETTING OR SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYEGRASS APPLIED TO A RATE OF 2 LBS./1,000 SQ. FT. LIMESTONE (EQUIVALENT TO BE 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 90 LBS./1,000 SQ. FT. PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 1. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COARSE MATTER.
- AT ALL PROPOSED FILL AREAS WHICH ARE NOT CURRENTLY SHOWN ON THESE PLANS, THE CONTRACTOR SHALL ESTABLISH AN EROSION CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) ABOUT TEN (10) FEET FROM TOE TO SLOPE OF PROPOSED FILL AREAS PRIOR TO BEGINNING FILL INSTALLATION. STABILIZATION OF SLOPES IN FILL AREAS (USING MULCH OR GRASS) SHALL BE INITIATED WITHIN THIRTY (30) DAYS OF COMMENCEMENT OF FILL INSTALLATION.
- STABILIZATION OF SLOPES IN CUT AREAS (USING MULCH OR GRASS) AND THE INSTALLATION OF CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) AT THE TOE OF SLOPE SHALL BE INITIATED WITHIN THIRTY (30) DAYS OF COMPLETION.
- SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN. ALL HAYBALES OR SILT FENCE RETAINING SEDIMENT OVER 1/2 THEIR HEIGHT SHALL HAVE THE SEDIMENT REMOVED AND ALL DAMAGED EROSION CONTROLS SHALL BE REPAIRED OR REPLACED.
- CONTRACTOR WILL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- THE CONTRACTOR SHALL SECURE THE SERVICES OF A PROFESSIONAL ENGINEER, WHO SHALL VERIFY IN THE FIELD THAT THE CONTROLS REQUIRED BY THIS PLAN ARE PROPERLY INSTALLED, SHALL MAKE INSPECTION OF SUCH FACILITIES NOT LESS FREQUENTLY THAN EVERY 14 DAYS OR AFTER A RAINFALL IN EXCESS OF 1/2 INCH, WHICHEVER OCCURS FIRST.
- STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN THIRTY (30) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF SOIL STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAYBALES. SIDE SLOPES SHALL NOT EXCEED 2:1.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO SPRINKLING OF WATER ON EXPOSED SOILS AND HAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC.
- IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN THIRTY (30) DAYS AFTER LAND DISTURBANCES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZE SOIL.
- WHERE DEWATERING IS NECESSARY, THERE SHALL NOT BE A DISCHARGE DIRECTLY INTO WETLANDS OR WATERCOURSES. PROPER METHODS AND DEVICES SHALL BE UTILIZED TO THE EXTENT PERMITTED BY LAW, SUCH AS PUMPING WATER INTO A TEMPORARY SEDIMENTATION BOWL, PROVIDING SLURGE PROTECTION AT THE INLET AND THE OUTLET OF PUMPS, OR FLOATING THE INTAKE OF THE PUMP, OR OTHER METHODS TO MINIMIZE AND RETAIN THE SUSPENDED SOLIDS. IF A PUMPING OPERATION IS CAUSING TURBIDITY PROBLEMS, SAID OPERATION SHALL CEASE UNTIL SUCH TIME AS FEASIBLE MEANS OF CONTROLLING TURBIDITY ARE DETERMINED AND IMPLEMENTED. SAID DISCHARGE POINTS SHALL BE LOCATED OVER 100 FEET FROM THE DELINEATED WETLANDS AS INDICATED ON THIS PLAN.

CONSTRUCTION OPERATION AND MAINTENANCE SCHEDULE

THE OPERATION AND MAINTENANCE (O&M) SCHEDULE DURING THE CONSTRUCTION PHASE IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR. THE OUTLINE BELOW SHALL BE ADHERED TO AS CLOSELY AS POSSIBLE TO ENSURE THE PROPER CONSTRUCTION AND FUNCTION OF THE DRAINAGE SYSTEM.

- PRIOR TO CONSTRUCTION, SILT SOCK SHALL BE INSTALLED PER THE APPROVED PLANS. THE SILT FENCE SHALL BE INSPECTED PRIOR TO A LARGE STORM EVENT TO ENSURE THAT THE EROSION CONTROL WILL FUNCTION AS REQUIRED AND FOLLOWING A STORM TO INSPECT FOR DAMAGE TO THE EROSION CONTROL ELEMENTS. ANY DAMAGE OR IMPROPER INSTALLATION THAT IS NOTICED PRIOR TO OR FOLLOWING A STORM EVENT SHALL BE PROMPTLY REPLACED OR REPAIRED IN A SATISFACTORY MANNER SO AS TO PREVENT SEDIMENT FROM BYPASSING THE EROSION CONTROL BARRIER.
- THE LIMIT OF CLEARING SHOWN ON THE APPROVED PLAN SHALL BE STRICTLY ADHERED TO. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LEVEL OF SAFETY OF STANDING TREES.
- IN CONJUNCTION WITH THE SITE CONSTRUCTION, ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED AND STABILIZED AS SOON AS POSSIBLE. METHODS OF STABILIZATION INCLUDE, BUT ARE NOT LIMITED TO, HYDROSEED, LOAM AND SEED, STRAW MULCH, EROSION CONTROL BLANKETS, ETC.
- THE CATCH BASINS, DRAINAGE MANHOLES AND WATER QUALITY DEVICES SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. ANY SEDIMENT BUILDUP OF EIGHT (8) INCH DEPTH IN EITHER OF THE STRUCTURES SHALL BE PROMPTLY REMOVED BY HAND OR MECHANICAL METHODS AND ALL DEBRIS REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.



STORMWATER MANAGEMENT SYSTEMS LONG-TERM OPERATION AND MAINTENANCE PLAN:

1.0 INTRODUCTION
THE 415 MILLENNIUM CIRCLE DRAINAGE SYSTEM HAS BEEN DESIGNED TO ENSURE STORMWATER QUALITY. IN ORDER FOR THIS TO CONTINUE IN THE LONG TERM, IT IS NECESSARY TO IMPLEMENT THE FOLLOWING LONG TERM OPERATION AND MAINTENANCE PROGRAM.

2.0 RESPONSIBLE PARTY
OWNER:
D F C OF LAKEVILLE 415 LLC
920 SOUTH COLONY ROAD
WALLINGFORD, CT 06492

RESPONSIBLE FOR OPERATION AND MAINTENANCE:
OWNERS OF RECORD / HOME OWNERS ASSOCIATION

3.0 MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES
THE STORM WATER MANAGEMENT FACILITIES WERE DESIGNED TO REQUIRE LITTLE OR NO INTERVENTION IN THE OPERATION AND TO REQUIRE LITTLE OR NO MAINTENANCE ONCE THE PROJECT IS BUILT AND STABLE VEGETATIVE COVER IS ESTABLISHED. HOWEVER, THE DRAINAGE IMPROVEMENTS SHALL BE SUBJECT TO THE FOLLOWING MAINTENANCE SCHEDULE:

3.1 ROUTINE MAINTENANCE

- DEBRIS: ALL DEBRIS AND LITTER ARE TO BE REMOVED FROM ALL PAVED AREAS, CATCH BASINS, DETENTION BASINS, OUTFALLS AND SURROUNDING AREAS AT LEAST TWICE PER YEAR.
- RE-SEEDING: EMBANKMENTS THAT HAVE EXCESSIVE EROSION OR SLUMPING ARE TO BE RE-GRADED AND SEEDED (WITH CANARY GRASS OR TALL FESCUE GRASS) DURING THE SPRING OR FALL GROWING SEASONS AS NEEDED.

3.2 PERIODIC MAINTENANCE
ALL CATCH BASIN SLUMPS AND SWALES WILL BE CLEANED A MINIMUM OF ONCE PER YEAR AND INSPECTED MONTHLY DURING THE ACTIVE CONSTRUCTION STAGE. THE FIRST DEFENSE UNITS SHALL BE CLEANED AND MAINTAINED PER MANUFACTURERS SPECIFICATIONS, IN THIS CLEANING, THE ENTIRE CONTENTS OF THE SLUMPS WILL BE REMOVED.

3.3 NON-ROUTINE MAINTENANCE
STRUCTURAL: ALL FLARED END SECTIONS, PIPES, SIDESLOPES AND OUTLET DEVICES SHALL BE INSPECTED ONCE EVERY FOUR (4) YEARS FOR PROPER FUNCTION, CLOGGING, SIGNS OF DETERIORATION AND STRUCTURAL INADEQUACY. ANY ADVERSE SITUATIONS ARE TO BE REPAIRED AS NEEDED.

3.4 NON-PERIODIC INSPECTION
THE STORM WATER MANAGEMENT SYSTEM SHALL BE INSPECTED AFTER TWO YEARS OF FULL OPERATION BY A REGISTERED PROFESSIONAL CIVIL ENGINEER TO CONFIRM ITS ADEQUACY. THE INSPECTION SHALL INCLUDE AN EXAMINATION OF ALL COMPONENTS OF THE SYSTEM INCLUDING CATCH BASINS, WATER QUALITY UNITS AND INFILTRATION SYSTEMS.

4.0 PUBLIC SAFETY FEATURES
THE STORMWATER MANAGEMENT FACILITIES WERE DESIGNED TO BE INHERENTLY SAFE. ALL OF THE ACCESSIBLE STORMWATER CONTROLS (I.E., LOW POINTS, ETC.) WERE DESIGNED WITH 3:1 MINIMUM SIDE SLOPES TO ALLOW FOR PEDESTRIAN ACCESS IN AND OUT OF THE STORMWATER CONTROLS.

5.0 ESTIMATED O&M BUDGET
THE ESTIMATED ANNUAL BUDGET TO CONDUCT THE SPECIFIED OPERATION AND MAINTENANCE IS APPROXIMATELY \$599.00.

DATE	REV.	DESCRIPTION	BY	APP.
11-3-2022 <td></td> <td></td> <td></td> <td></td>				

EROSION CONTROL PLAN

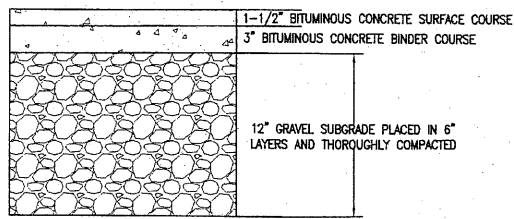
PROJECT SITE: 415 MILLENNIUM CIRCLE LAKEVILLE, MASSACHUSETTS

CLIENT INFO: DOMINICK DEMARTINO 920 SOUTH COLONY ROAD WALLINGFORD, CT 06492

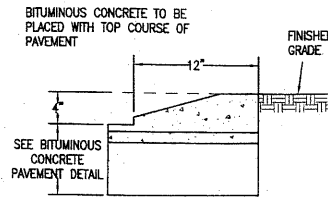
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PROJECT NUMBER: 0369-01-01
DRAWING SCALE: 1" = 30'
SHEET ID: E

Drawn By: RLG
Designed By: RLG
Checked By: NCZ
Approved By: JLB

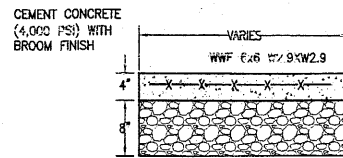
Site Plan Set.dwg



BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE

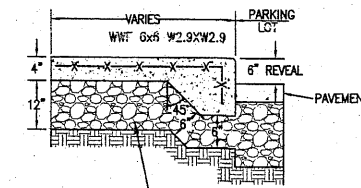


CAPE COD BERM DETAIL
NOT TO SCALE



CEMENT CONCRETE
(4,000 PSI) WITH
BROOM FINISH

CONCRETE SIDEWALK
NOT TO SCALE

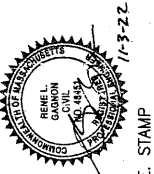


MINIMUM OF 12" GRAVEL SUB
BASE - M1.03.0 TYPE B
(MAX. 3" STONES) GRAVEL
SUBBASE PLACED IN 4" LAYERS
AND THOROUGHLY COMPACTED

CONCRETE WALK/MONOLITHIC CONCRETE CURB
NOT TO SCALE

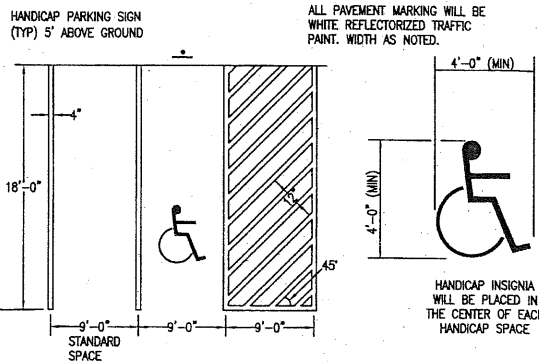
LAKEVILLE PLANNING BOARD

APPROVED: _____
ENDORSED: _____

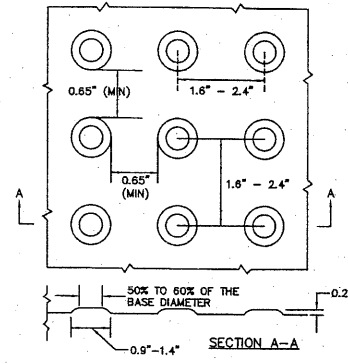


P.E. STAMP

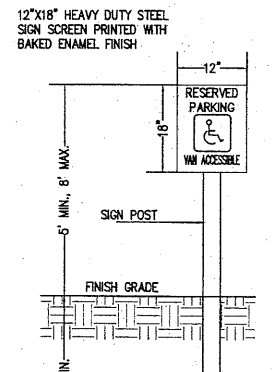
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208



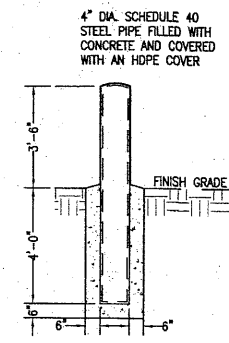
TYPICAL PAVEMENT MARKINGS
NOT TO SCALE



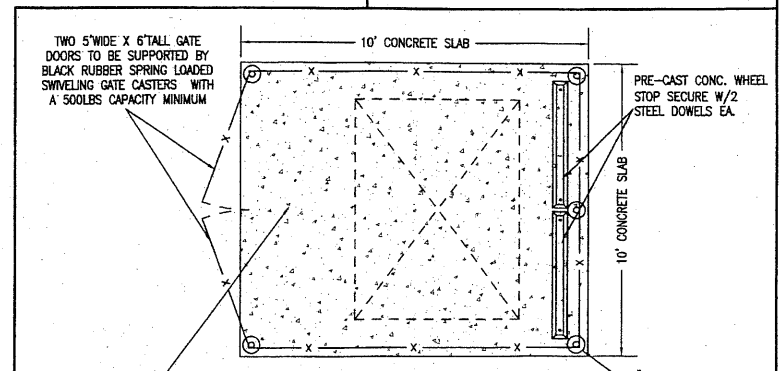
DETECTABLE WARNING PANEL
NOT TO SCALE



HANDICAPPED PARKING SIGN
NOT TO SCALE



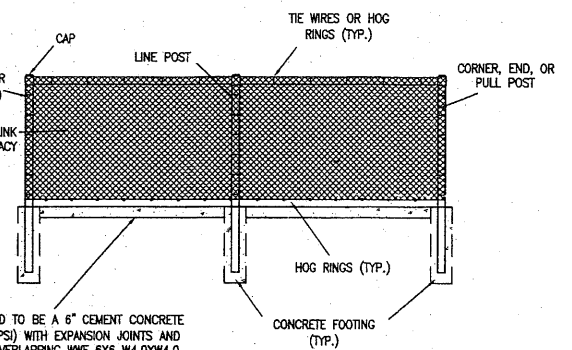
BOLLARD DETAIL
NOT TO SCALE



TWO 5'WIDE X 6'TALL GATE
DOORS TO BE SUPPORTED BY
BLACK RUBBER SPRING LOADED
SWIVELING GATE CASTERS WITH
A 500LBS CAPACITY MINIMUM

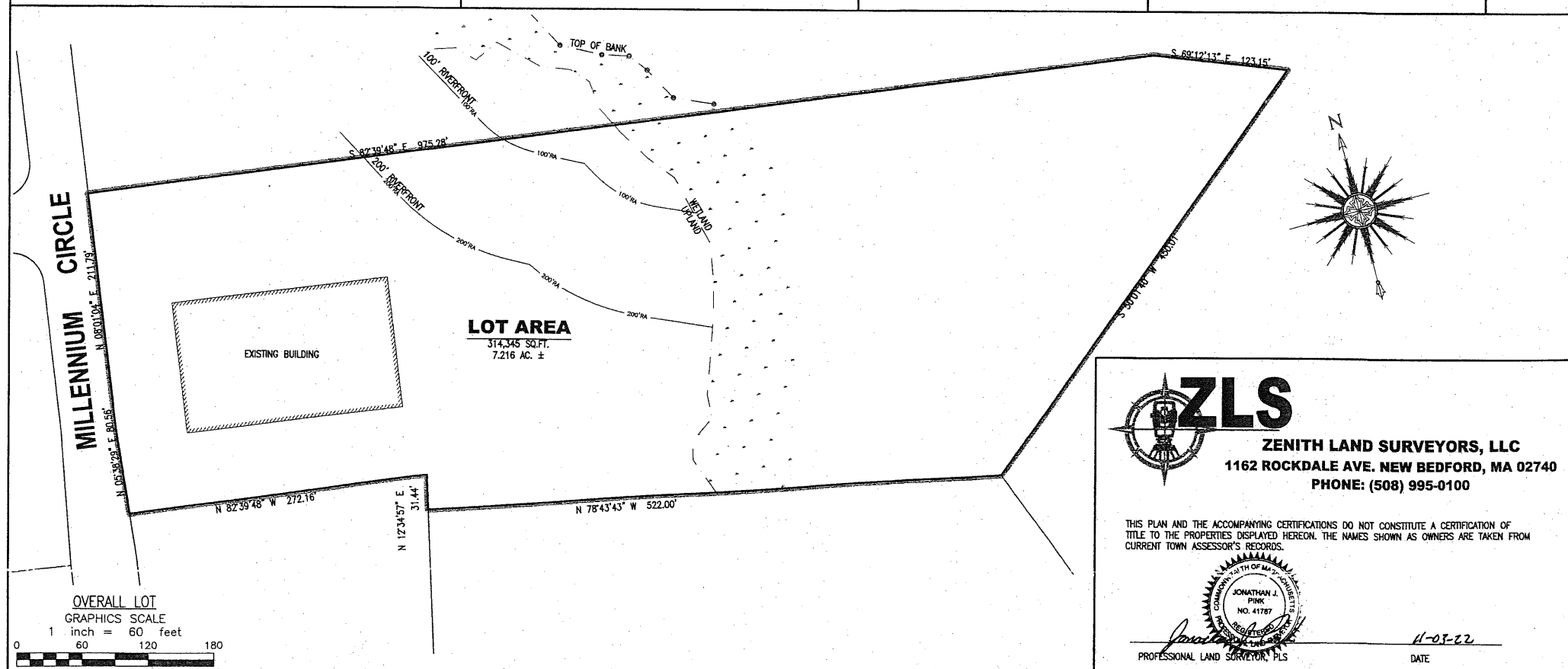
PRE-CAST CONC. WHEEL
STOP SECURE W/2
STEEL DOWELS EA.

DUMPSTER PAD TO BE A 6"
CEMENT CONCRETE PAD (4,000 PSI)
WITH EXPANSION JOINTS AND
SHEETS OF OVERLAPPING
WWF 6x6 W4.0XW4.0

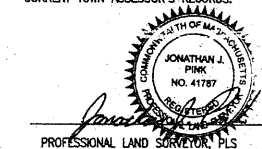


DUMPSTER PAD TO BE A 6" CEMENT CONCRETE
PAD (4,000 PSI) WITH EXPANSION JOINTS AND
SHEETS OF OVERLAPPING WWF 6X6 W4.0XW4.0
ON A GRAVEL SUBBASE PLACED IN 4" LIFTS
AND THOROUGHLY COMPACTED

CONCRETE DUMPSTER PAD
NOT TO SCALE



ZLS
ZENITH LAND SURVEYORS, LLC
1162 ROCKDALE AVE. NEW BEDFORD, MA 02740
PHONE: (508) 995-0100

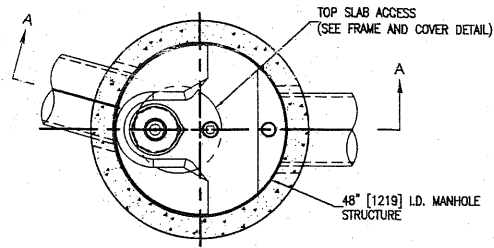


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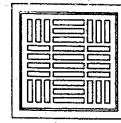
REV.	DATE	DESCRIPTION	BY	APP.

DATE:	11-3-2022
DRAWN BY:	RLG
DESIGNED BY:	RLG
CHECKED BY:	INZ
APPROVED BY:	JLB
PROJECT NUMBER:	0369-01-01
DRAWING SCALE:	AS NOTED
SHEET ID:	D

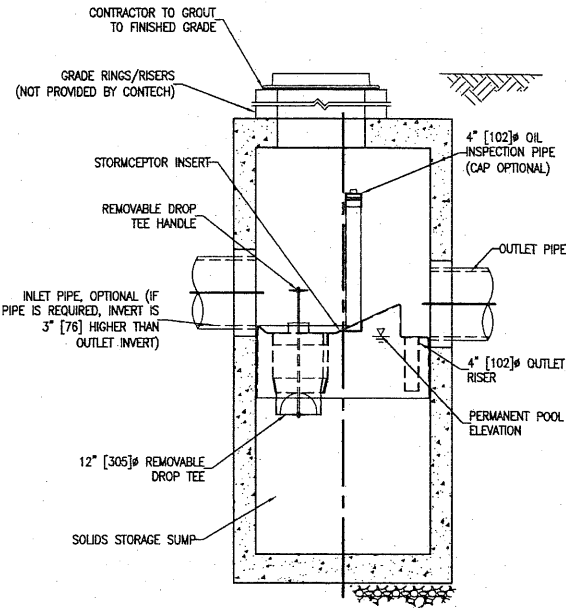
DETAIL SHEET
PROJECT SITE: 415 MILLENNIUM CIRCLE, LAKEVILLE, MASSACHUSETTS
CLIENT INFO: DOMINICK DEMARTINO, 920 SOUTH COLONY ROAD, WALLINGFORD, CT 06492



PLAN VIEW
TOP SLAB NOT SHOWN



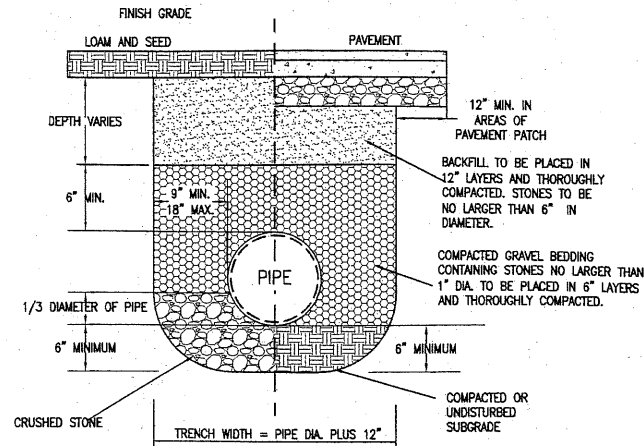
FRAME AND GRATE
(MAY VARY)
NOT TO SCALE



SECTION A-A

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE www.ContechES.com
 - STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STORMCEPTOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2' [610], AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
 - STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
 - ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

STORMCEPTOR STC450i DETAIL
NOT TO SCALE



DRAINAGE PIPE TRENCH DETAIL
NOT TO SCALE

LAKEVILLE PLANNING BOARD

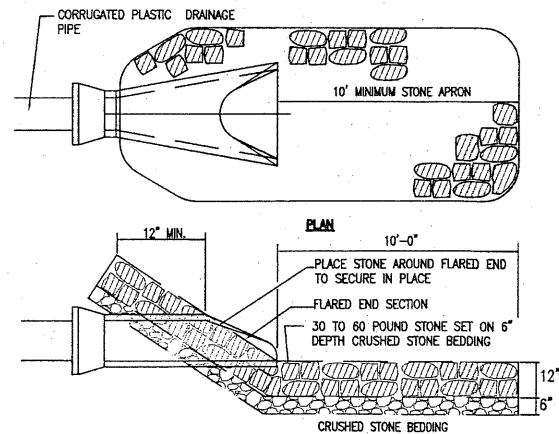
APPROVED: _____
 ENDORSED: _____



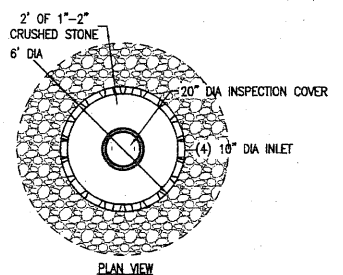
P.E. STAMP

ZCE ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208

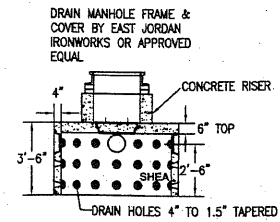
REV.	DATE	DESCRIPTION	BY	APP.
	11-3-2022			



STONE APRON AT PIPE END
NOT TO SCALE



PLAN VIEW



SECTION VIEW

SHEA CONCRETE 6" CYLINDRICAL DRY WELL
NOT TO SCALE

DRYWELL CALCULATIONS:
 MAX CONDENSATE FLOW = 2800 GALLONS PER DAY (GPD)
 (PROVIDED BY CLIENT)

USE 2 DRYWELLS = 1400 GPD EACH

1400 GPD => 187.15 CUBIC FEET (CF) PER DAY

187.15 CF/DAY => 0.13 CF/MIN

SOIL PERCOLATION RATE = 2MIN/IN = 0.5 IN/MIN
 (SEE SEPTIC DESIGN PLAN FOR SOIL LOSS)

BOTTOM OF LEACHING AREA (6 FT DIAMETER DRYWELL WITH
 2' STONE AROUND) =
 5' RADIUS => $\pi r^2 = 78.54$ SF

CONDENSATE LOADING RATE:
 0.13 CF/MIN = 0.02 IN/MIN
 78.54 SF

SAFETY FACTOR (FS):
 $\frac{0.5 \text{ IN/MIN (SOIL PERCOLATION RATE)}}{0.02 \text{ IN/MIN (CONDENSATE LOADING RATE)}} = 25.0$ FS

DETAIL SHEET

PROJECT SITE:
 415 MILLENNIUM CIRCLE
 LAKEVILLE, MASSACHUSETTS

CLIENT INFO:
 DOMINICK DEMARTINO
 920 SOUTH COLONY ROAD
 WALLINGFORD, CT 06492

**Planning Board
Lakeville, Massachusetts
Minutes of Meeting
Thursday, October 13, 2022**

On October 13, 2022, the Planning Board held a meeting at the Lakeville Police Station. The meeting was called to order by Chairman Knox at 7:00 p.m. LakeCam was making a video recording of the meeting.

Members present:

Mark Knox, Chair; Peter Conroy, Vice-Chair; Nora Cline, Jack Lynch, Michele MacEachern

Public Hearing #1 (7:05) – To amend the Zoning By-Law Section 8, Administration, and change Sub-section 8.2 to read Planning Board Associate Member with a description and specific details regarding the position to follow. The remainder of the Section will be re-numbered accordingly.

Mr. Knox advised this hearing has been re-scheduled to October 27, 2022, at 7:05 p.m.

Public Hearing #2 (7:10) – To amend the Zoning By-Law Section 5.0, Intensity Regulations, Sub-section 5.2, Footnotes to Intensity Requirements, by adding Sub-section 5.2.8, allowing a reduced setback of 50% on one side yard or the rear yard in the Business District by Special Permit from the Planning Board.

Mr. Knox made a motion to open the public hearing. It was seconded by Mr. Conroy. The vote was **unanimous for**. Mr. Knox read the legal ad into the record. He advised this had been proposed by the Planning Board to allow for a little bit of leniency for business zoned properties with non-conforming lots. There were no comments from the Board or public.

Ms. MacEachern made a motion, seconded by Mr. Lynch, to recommend approval at Town Meeting, and to close the hearing. The vote was **unanimous for**.

Public Hearing #3 (7:15) – To amend the Town of Lakeville’s Zoning Map by re-zoning 155.4 acres located on County Street, as shown on a map entitled “Zoning Amendment Plan of Land in Lakeville, MA” from the Residential District to the Industrial District.

Mr. Knox made a motion to open the public hearing. It was seconded by Mr. Conroy. The vote was **unanimous for**. Mr. Knox read the legal ad into the record.

Mr. Knox said they were familiar with this parcel. It was challenging to develop because of the amount of ledge and other items on it. The current owner has come to them requesting a change to the zoning of this parcel. Mr. Conroy said they should be thinking about what could go there

when thinking about re-zoning. His instinct is without a plan or a building plan, he would not, personally, entertain passing this as a vote at Town Meeting. Without a plan, it is too open ended.

Ms. MacEachern also had multiple concerns about this such as the proximity to the schools, the Route 140 exit ramp, and the poor visibility. The natural features are described in the Open Space Plan and should be protected. Mr. Lynch was also not supportive. Mr. Knox then opened it up to public comment.

Ms. Cora Peirce, a representative of the Narragansett Indian Tribe Historic Preservation Office, was present. She advised they are located at 4425 South County Trail in Charlestown, Rhode Island. She stated this piece of land was extremely valuable. She thought the best thing that could be done with it is ecotourism. The ledge outcrops were a meeting place for numerous tribes throughout the region. It was a parcel of land that she spent a great deal of time with during the development of the East Freetown solar farm. That developer did not adhere to items that had been promised. She noted there are vernal pools throughout the site and two streams. It is an important watershed to Long Pond. There is also a tremendous amount of ceremonial stone landscapes on the site, where tribes would gather at certain times of the year.

Ms. Peirce noted it was a very sacred piece of land that she would hate to see become an industrial use. There would have to be a full archaeological survey of the 300 acres which would include two phases. That would be millions of dollars for that amount of acreage. Tribal monitors would be required from both Aquinnah, Mashpee, and the Narragansetts. It is an invaluable piece of land that Lakeville should try to protect.

Mr. Rodney Dixon of 39 Baker Lane said he would like to point to Chapter Two of the Master Plan, Land Use. He said it states one of the most common comments from the Master Plan workshops was a desire to see Lakeville grow but not at the expense of its small-town character and culture. This is a common theme for growing communities that he would like to echo. It is referenced in the Master Plan where future large-scale growth whether it be housing, industrial, etc., should be kept consolidated in certain parts of the Town. In addition to the archeological significance of the property, the position of the developer to change the zoning would contradict the desire of the people of Lakeville to maintain the character. For those reasons, he thought it went against what he has heard over the years working on the Master Plan.

Mr. Conroy made a motion, seconded by Ms. MacEachern, to not endorse this change at Town Meeting. The **vote** was **unanimous for**.

Mr. Knox made a motion, seconded by Mr. Conroy, to close the hearing. The **vote** was **unanimous for**.

Public Hearing #4 (7:20) – To amend the Zoning By-Law Section 7.4.6, Specific Uses by Special Permit, Signs, off-premise, by deleting this section in its entirety.

Mr. Knox made a motion, seconded by Ms. MacEachern, to open the hearing. The **vote** was **unanimous for**. Mr. Knox read the legal ad into the record. He asked if this was just a house keeping item to clean up something that was overlooked when they changed the bylaw previously. Mr. Resnick said that was correct. There was no other discussion from members or the public.

Mr. Knox made a motion, seconded by Ms. MacEachern, to recommend approval at Town Meeting, and to close the hearing. The **vote** was **unanimous for**.

Public Hearing #5 (7:25) – To amend the Zoning By-Law Section 4.1, Table of Use Regulations, Sub-section 4.1.3, Industrial Uses, and add warehouse, offices, or facilities for distributing merchandise over 100,000 sq. ft., and add to Section 7.4.6 Specific Uses by Special Permit, that the SPGA for these types of facilities will be the Planning Board.

Mr. Knox made a motion, seconded by Ms. MacEachern, to open the hearing. The **vote** was **unanimous for**. Mr. Knox then read the legal ad into the record. He advised that because of the potential warehouse use that has come to the Town in the past couple of years, and with the Planning Board vote to eliminate the Development Opportunities District, warehouses over 100,000 square feet in the Industrial or Industrial B Districts would now be by Special Permit. This allows the Planning Board to put conditions on said property to mitigate sound, control traffic, do traffic studies, etc., that would otherwise be a by right use. This puts some control for large scale development back in the Planning Board and the Town's hands.

Ms. MacEachern wanted to clarify that this was for warehouses proposed in the Industrial and Industrial B zones. This would not apply to anything in another zone. Mr. Conroy felt this was a safeguard that was needed. Mr. Lynch agreed. Mr. Dick Scott of 9 Rush Pond Road asked if this would apply to the Talbots in the Industrial Park. Mr. Knox said there would be some warehouses that would be pre-existing, non-conforming, but if they changed the building by a square foot, he thought it would then apply. Mr. Scott asked what if they just modernized the inside. Mr. Knox said it would depend on whether or not it was structural or substantial changes, which could then be the trigger even if the footprint did not change.

Mr. Knox made a motion, seconded by Mr. Conroy, to recommend approval at Town Meeting, and to close the hearing. The **vote** was **unanimous for**.

Housing Production Plan presentation by Taylor Perez of SRPEDD

Mr. Knox advised this item has been rescheduled to November 10, 2022.

Review the following Zoning Board of Appeals petitions:

- a. Sena – 103 Staples Shore Road

Mr. Conroy made a motion, seconded by Ms. MacEachern, to make no comment on the petition for Sena at 103 Staples Shore Road. The **vote** was **unanimous for**.

- b. North Bedford Crossing – 109 Bedford Street

Mr. Knox said this was a relatively small Comprehensive Permit. He asked if there were any comments regarding this application. Ms. MacEachern said that she would want these units to be

held in perpetuity. She asked if they knew how many affordable units are expected for the coming year. If the Town reached 19 units in a year, they then would reach a year of Safe Harbor. After further discussion, Ms. MacEachern made a motion, seconded by Mr. Knox, to recommend to the Zoning Board of Appeals that these units be held in perpetuity as affordable units. The **vote** was **unanimous for**.

Approve Meeting Minutes

Regarding the August 3, 2022, minutes, Ms. MacEachern noted the following corrections:

- Members present should have been the Board of Health members present, Chris Spratt, Derek Maxim, Bob Poillucci, Health Agent, Ed Cullen.
- It says joint meeting with Planning Board and says Open Space, rather than Conservation Commission and Board of Health to discuss the Open Space Residential Development bylaw.
- It does not mention there was not a quorum for Open Space.
- The Building Commissioner, Nate Darling, and Town Planner, Marc Resnick were also in attendance but not listed.
- Her name was spelled incorrectly.
- On page three, Fred Frodyma, Open Space, but he was there as a representative of ConComm because they did not have a quorum for Open Space.
- On the same page it says wondered 'it' and it should be if.

Mr. Knox made a motion, seconded by Ms. MacEachern, to approve the Minutes from the August 3, 2022, meeting with the changes as noted. The **vote** was **unanimous for**.

Ms. MacEachern made a motion, seconded by Mr. Conroy, to approve the Minutes from the August 25, 2022. The **vote** was **unanimous for**.

Review correspondence

There was no correspondence to discuss.

Next meeting

The next meeting is scheduled for October 27, 2022, at 7:00 p.m. at the Lakeville Police Station.

Adjourn

Ms. MacEachern made a motion, seconded by Mr. Conroy, to adjourn the meeting. The **vote** was **unanimous for**.

Meeting adjourned at 7:35.

**Planning Board
Lakeville, Massachusetts
Minutes of Meeting
Thursday, October 27, 2022**

On October 27, 2022, the Planning Board held a meeting at the Lakeville Police Station. The meeting was called to order by Chairman Knox at 7:00 p.m. LakeCam was making a video recording of the meeting.

Members present:

Mark Knox, Chair; Peter Conroy, Vice-Chair; Nora Cline, Jack Lynch, Michele MacEachern

Others present:

Atty. Amy Kwesell, Town Counsel

Approve Meeting Minutes

Ms. MacEachern made a motion, seconded by Mr. Lynch, to approve the Minutes from the September 8, 2022, meeting. The **vote was unanimous for.**

Site Plan Review – 156 Rhode Island Rd., continued – T. Sikorski Realty, LLC – applicant

In regards to this Site Plan Review, Mr. Knox advised he had a memo from the applicant requesting a continuance to their December 8th meeting. Ms. MacEachern made a motion, seconded by Mr. Conroy, to continue the Site Plan Review for 156 Rhode Island Road until December 8, 2022, at 7:00 p.m. The **vote was unanimous for.**

Next meeting

The next meeting is scheduled for November 10, 2022, at 7:00 p.m. at the Lakeville Police Station.

Public Hearing #1 (7:05) – To amend the Zoning By-Law Section 7.0, Special Regulations, Sub-section 7.4, Special Permits, and add 7.4.4.1, Planning Board Associate Member, with a description and specific details regarding the position to follow.

Mr. Knox made a motion, seconded by Ms. MacEachern, to open the public hearing. The **vote was unanimous for.** Mr. Knox read the legal ad into the record. He then read the language that would be added for a Planning Board Associate member. Ms. MacEachern said her concern was that it is an appointed position, rather than an elected position, and they could potentially vote on a Special Permit. Ms. Cline said they have Associate members on the Zoning Board which comes

in quite handy when members have to recuse themselves due to a conflict. Mr. Knox noted this was for Special Permits which the Planning Board does not have a lot of.

Mr. Conroy then made a motion, seconded by Mr. Lynch, to recommend approval of this Zoning Amendment.

VOTE: Mr. Knox, Mr. Conroy, Ms. Cline, Mr. Lynch – **Aye**; Ms. MacEachern – **Nay**

Mr. Russell Macomber of 124 Main Street asked if this was a paying position. Members advised it was not.

Mr. Knox then made a motion, seconded by Ms. Cline, to close the hearing. The **vote** was **unanimous for**.

Public Hearing #2 (7:10) – To amend the Zoning By-Law Section 2.0, Definitions, and add a definition for “Reusable Materials or Equipment”. It will also include how such materials may be stored.

Mr. Knox made a motion to open the public hearing and read the legal ad into the record. It was seconded by Mr. Conroy. The **vote** was **unanimous for**. Ms. MacEachern noted that because this would be a new bylaw, it may not include anything that is pre-existing. That is one of the lines that is going to be up for determination, whether something needs to be included or not. Her concern is if this is going into effect in the hopes of taking care of something existing, it will be pre-existing, non-conforming. Atty Kwesell said that was accurate, but it has to be part of a use to be protected. Is the residential use of a property include what the Board considers junk on the front lawn? That is somebody’s opinion.

Mr. Dick Scott of 9 Rush Pond Road asked if there was such a thing as an attractive nuisance, where the junk could potentially attract children and be a hazard. Atty. Kwesell replied that was a liability standard not a regulatory standard.

Ms. MacEachern made a motion, seconded by Mr. Lynch, to make a recommendation to approve.

Mr. Conroy noted that he would like to see this go to Town Meeting, but he saw a potential that it could be abused by neighbors complaining about each other. Ms. Brynna Donahue of 87 Crooked Lane asked who would you call to file a complaint on somebody. Atty. Kwesell replied it is the Building Commissioner who enforces the Zoning by-law. Ms. Donahue asked if some type of penalty could be placed on people who abused this. Mr. Knox said the simplest thing would be to not approve this and then let it come back with better language.

VOTE: Ms. MacEachern, Mr. Lynch – **Aye**; Mr. Conroy, Ms. Cline, Mr. Knox – **Nay**

Mr. Knox made a motion, seconded by Ms. Cline, to close the hearing. The **vote** was **unanimous for**.

Public Hearing #3 (7:15) – To amend the Zoning By-Law Section 4.0, Use Regulations, by adding to Sub-section 4.1.2, Business Uses, “Licensed Junk Dealers” which will be allowed in the Business Zone.

Mr. Knox made a motion to open the public hearing and read the legal ad into the record. It was seconded by Mr. Conroy. The **vote** was **unanimous for**.

Mr. Knox advised this would add and allow licensed junk dealers in the Business Zone. He confirmed with Atty. Kwesell that if there were any dealers in other zones they would be allowed to continue to operate as a pre-existing, non-conforming use. This would apply to any new business.

Mr. Jim Marra of 15 Pheasant Run asked if this would allow junk dealers at the Lakeville Country Club. Mr. Conroy said they are taking away residential; it is allowed in the Business Zone.

Mr. Knox made a motion, seconded by Mr. Lynch to recommend approval of this amendment and close the hearing. The **vote** was **unanimous for**.

Public Hearing #4 (7:20) – To amend the Zoning By-Law Section 7.0, Special Regulations, Sub-section 7.5, Mixed Use Development District Regulations, by making various amendments to Sub-section 7.5.1, Title and Purpose, Sub-section 7.5.3, Permitted Principal Uses, Sub-section 7.5.5.2, Buffer Zones, Sub-section 7.5.5.3, Lot Coverage for Office and R & D Uses, Sub-section 7.5.5.7, Site Plan Approval, and Sub-section 7.5.5.8.

Mr. Knox made a motion to open the public hearing. It was seconded by Mr. Conroy. Mr. Knox read the legal ad with the proposed changes into the record. He asked members if they had any comments. Ms. MacEachern wanted to point out that this change would allow a warehouse in the Mixed Development Zone without a Special Permit. Right now, Mixed Use only applies to one area, but what would stop it from going to Town Meeting and being placed in another area. They have 11 pages of conditions that go along with this one item, but they may not have a chance to do that if there is another Mixed-Use Zone created in another area. This could be opening up potential development that could be a challenge. Mr. Knox replied the challenge would be to try to move that zone, and to apply that type of zoning to anywhere else on the zoning map. It would be an uphill battle to do that, but he did understand the concern.

Ms. Heather Bodwell of 13 Rush Pond Road, wanted to clarify that Mixed Use could be placed anywhere that there's a sub dividable lot in Lakeville. She advised that is not what had been stated at the last meeting. Mr. Knox said that anything can be placed anywhere, but it would be difficult. She then asked if zoning issues were allowed to be discussed in Executive Session. Mr. Knox said that was not related to this zoning change. She would have to request minutes pertaining to that from the Select Board.

Mr. Morgan Long of 166 Rhode Island Road said it was his experience in a Town that is heavily warehoused that if these changes are made, proper moves are needed by the Town to control it. Do they have regulations in place that will allow the Police Department to enforce the no overnight

parking of trucks, etc. If these trucks park in other business lots as has been his experience, it can have a major impact on those businesses and the Town. Mr. Long then discussed how this is an issue in Freetown, and noted having a plan for this to occur on the site. Mr. Knox replied that when they discuss the Development Agreement which is later in the agenda, he would ask that type of item be taken into consideration to be included.

Mr. Scott said that you do need to control the incoming and outgoing traffic. There is nowhere to do this in the bylaw or the Special Permit. This is in the operating plan of the tenants that are going to lease the warehouses from Rhino. There is nothing in the Development Agreement, but there was in the MEPA commitments that were made by Rhino to mitigate the harms that this operation might cause. He agreed that the lack of a Special Permit is relevant, because there were many things in it. For example, the bonding level, the noise management mitigation plan, and the post operation sampling are all absent from this agreement. He thought it was a mistake to throw away that special agreement without going through what protections could still be afforded by it. He did not see that this bylaw articulates the protections that are required for an industrial warehouse going into a mixed use, where the underlying districts are residential and business.

Ms. Karen Corbett of 54 Montgomery Street stated that if the Town really wants to have a warehouse and Rhino is the right path, she did not understand having the ability to have industrial as a primary use. It makes it difficult for people to understand the difference between mixed use and industrial and what is primary and secondary. What if people apply for a mixed-use zoning change for their property, and they go to Town Meeting. This hospital property has garnered a lot of attention, but she finds that the communication in Town is not really great unless you go looking for information. She thought it would be good for the Town to find a way to inform residents of things that are coming up. In regards to the zoning change, she felt if it was going to be industrial just make it industrial and the same with mixed use. She did not see the point in making the zoning change, but they ought to call it what it is.

Mr. John Jenkins of 82 Pickens Street said they had gone to Court, and the Judge found that the application of the DO District was inappropriate. There was nothing on the Town map to indicate where it was located. There is now an appeal of the standing of the plaintiffs. Atty. Kwesell clarified that all that was filed was a Notice of Appeal, which states they are appealing. There have been no briefs filed, so you would be unable to know what it is they are appealing. Mr. Jenkins did not know why instead of changing the mixed-use zoning, they hadn't just had the hospital property be the DO District. That was then discussed.

Mr. John O'Leary, Project Manager, from Rhino Capital then spoke. He advised he has been working on this project with Tyler Murphy since 2020. He would like to return the discussion to Article 15 that is proposed on the Town Warrant. He wanted to explain exactly what the proposed six amendments to the Mixed-Use Zoning District are. This District exists as a 73-acre parcel and includes CVS, the self-storage facility, the funeral home, and the residential subdivision. In regards to the concern that this Zoning District could end up in another area in Town was something he could assure them was an uphill battle, and that he was currently fighting. There are a lot of checks and balances in place, and there are Town officials that protect the interests of the residents. The following was an explanation of each amendment:

- 1) A deletion of a reference to the 2003 bylaw. It's a clerical correction.
- 6) This is a reference to Notice for Public Hearings so that it aligns with Mass General Law. This is another clerical item.
- 2) Warehouse, Offices, or Facilities for distributing merchandise will be moved from a permitted accessory use to a permitted principal use.
- 3) This is related to buffer zones. Current permitted uses have buffer zones that allow building up to 20 feet from residential buffers. This amendment would put in place a 100-foot buffer for a warehouse use.
- 4) Lot coverage for Office and R & D is currently 60% maximum lot coverage. This would group warehousing into that.
- 5) This pertains to architectural standards that exist within the Site Plan Approval package which are not applicable to commercial construction. It allows flexibility around those specific architectural standards.

Mr. O'Leary noted that Article 15 is not a vote Yes for a warehouse. It is a vote Yes to allow Rhino to come back to the Planning Board with a Site Plan Approval package and a Development Agreement attached to it, and to then propose a plan. He urged anyone watching to come out and vote. He noted that they feel a warehouse development is the only financially viable solution to take on the burden of remediation of this property with the least impact.

Ms. Donahue asked if there was any way to prevent someone from coming in and doing 800 units of housing. Mr. Knox said that you cannot deny it if it is affordable housing. Atty. Kwesell added that the underlying district was residential. Mr. Knox stated that because of the cost to remediate the property, he would say that the housing would be as dense as possible, and probably affordable in order to achieve a density to make back enough to clean up the property. Ms. Donahue asked if there was a way for the Town to share some of the cost of the clean up to reduce the financial burden that prompts Rhino to put a warehouse there. Mr. Knox felt that would be a tough sell to the townspeople. He could not really speak to that question.

Mr. Marra said they are here tonight because the DO District did fail, and that is why they want to make these amendments. Right now, they are only focused on the 49 acres that are not developed but if they made a deal to buy all the other properties around there, they could locate a larger warehouse if this Article passes. Mr. Knox replied that was very hypothetical to say that every business on that property is going to close or be bought out. He then questioned how much they were required to do for the environmental cleanup because that was causing the problem. Mr. Knox asked for the discussion to return to the zoning article. Mr. Marra said that there are no principal use warehouses, to his knowledge, in Lakeville but in the Industrial Park. If you want an industrial use, why isn't it in an Industrial Zone area instead of a Mixed-Use area. He felt this zoning change was setting a precedent and opening the up door for more of this.

Mr. Scott advised that over a year had been spent working with National on an agreement that led to this Mixed-Use Zone being approved at Town Meeting. They had a Development Agreement, but when National sold the property, that agreement went away. Mr. Scott then discussed the history of how they got to where they are now. He noted with the DO District, the Judge ruled that there were still enough harms to have standing. That was notice from the backup alarms and

emissions from idling trucks. He has spent a lot of money on technical experts on noise, diesel emissions, etc., and he did not have a very high comfort zone. He was worried that the Development Agreement does not have the same stature of enforceability that a Special Permit has. Mr. Scott asked who had written this bylaw. Atty. Kwesell said that she had worked with the Select Board Chair, Planning Board Chair, the Town Administrator, and Atty. Mather. Mr. Scott added that if you go to Section 2, he was not sure what the difference was between a warehouse and a facility for distributing merchandise, so they are going to write it in the bylaw. He thought it was important for the townspeople to understand what those definitions are.

Mr. O'Leary responded that he did not want to speak for that language, but he thought the idea was to cast a net as wide as possible so that they can attract a tenant. Mr. Scott said if they knew who the tenant was, it would be much easier to sell this bylaw change. Will it be a benign warehouse that doesn't operate at night? They just don't know. He's concerned the Development Agreement is not the proper way to make this work, but it should be a Special Permit augmented with some design engineering that talks about economic feasibility, best available current technology, etc. Once you know the tenant, you know the real volumes, real operating hours, etc.

Mr. Scott then discussed buffer zones. He felt that 100 feet between industrial and residential was not enough. He also noted the noise from backup alarms. There is ambient sensing non-tonal backup alarms that can't be heard more than 150 feet away. Rhino's proposed new building is closer, and they have created an opening making a place for sound to migrate.

Ms. Donahue asked if they were to strike item two which allowed warehouses, would it keep the buffer zone adjustment or did that apply only to warehouses as primaries. Atty. Kwesell clarified it was not. It is for the Mixed-Use Development District. It's subject to 5.25 which says Business and Industrial uses have a 100-foot buffer. If it was a residential use, she did not think it would be 100 feet.

Mr. Mike Wilson, owner of Rhino Capital, then spoke. He thanked everyone present for all their hard work. He said there is no ill will, and they will be in the community moving forward until the vote. They are not here to change minds, but to spread information to allow people to make the most informed decision they can. The resounding feedback has been they want to see that site cleaned up. They went back to the drawing board and came back with what was the only financially viable option, and that was the warehouse that was proposed. Since then, they have looked at a mixed use, similar to what National Development did and reached back out to folks like that to discuss, but it is not financially viable.

Mr. Wilson said that people have asked what is Plan B, but he did not know what is going to happen if this gets voted down. He believed what would happen is they will have to sell the property. The only people interested are going to be 40B developers. That is not a threat, but a fact of what he thought was going to happen. He thought that everyone wanted that site cleaned up but those 40B developers don't have to. They could just cap that landfill. However, Rhino wants to clean it up. He did not see any type of precedent being set here, anything slipping through the cracks, or people getting complacent. For him, this is not a vote of warehouse to no warehouse, it's a vote of do you want the site cleaned up, or do you not want the site cleaned up. He does not

know how the vote is going to go, but wanted to be transparent so he can factor in people's decision making as the vote comes up. They will continue to make themselves available and look forward to speaking with everybody. Ms. Lynn Lidonni of 12 Apple House Road asked if it was true that if housing was put on that site, that it would not have to be cleaned up but only capped. Mr. Wilson said that was correct. They could build around it and cap it.

Ms. Bodwell said if the Town bought the site, to remediate the hazards as a municipality, they can apply for all these funds. That could be a possibility. She said the housing was just a scare tactic. Ms. Cline said it was difficult for her to vote on the Mixed-Use Amendment without having finalized the Memorandum of Agreement. Mr. Knox said his intention was to take down ideas and motion to send them to the Select Board. He said they could close this hearing and then begin the discussion of the Development Agreement.

Mr. Knox made a motion, seconded by Ms. MacEachern to close the hearing. The **vote** was **unanimous for**.

Discuss and review of the Lakeville State Hospital Development Agreement

Regarding the Development Agreement, Mr. Knox clarified this is a document that the Board of Selectmen sign, not something the Planning Board signs. However, they have been receptive to input from the Planning Board. He would like to hear any input that is relevant to this agreement only.

Mr. Scott noted the following items he felt should be in the agreement:

- The previous Special Permit should be in the agreement. Any provisions that no longer apply can be removed. Mr. Knox said they did that and eliminated parts that were site specific to the first plan.
- The Board of Health had recommended a post construction six-month operating noise sampling.
- Add the Mass Law in regards to 5-minute truck idling.
- Bonding of the cost of clean-up
- Require a hotline for complaints related to operations.
- Require 12 to 14 mature evergreens. Mr. Knox noted that would be a Site Plan Review item.
- Lights on the Rush Pond Road side will be turned off at night.
- Rhino will assure that all trucks, that are owned, leased, or otherwise under the control of the tenants will have low volume back up alarms.
- Tenants will have a noise mitigation and management plan.

Mr. Scott said it was those kinds of things that were in the MEPA, and they haven't really linked the MEPA back to the permitting and the Site Plan Review. Rhino made many commitments in the MEPA process.

Ms. MacEachern said she had compared the previous Special Permit conditions to what is proposed. There are a number of items that were removed because they refer to a Special Permit

but she has highlighted a few that she would like to see included. They include A12, A21, C1, C4, C5, and C9. She also would like to see something in there regarding landscaping. Atty. Kwesell said that some of the discussion will be done in Site Plan Review, where it can be determined with the Plan in front of them if it will be enough. She thought having it in the Development Agreement is not going to satisfy the residents. Having the final plan before the Board for Site Plan Review is the way to address these landscaping items.

Ms. Cline said she agreed with Ms. MacEachern on those items. She would like to add back in B10 which had to do with the infiltration basin. Atty. Kwesell said that item was site specific. They did not know where that infiltration basin would be located, but it could be added back in. Ms. Cline thought that item D9 should also be included, as well as an item to prohibit trucks from trailer dropping. Mr. Conroy said he agreed with expanding the paragraph related to the solid waste cleanup. He agreed with the items that had been mentioned so far and noted that this would be a very in-depth Site Plan Review that would catch a lot of the items that they might not have even thought of yet.

Mr. Jenkins said that in the Special Permit the point G2 applied to all successors in control or successors and interest of the property. He asked why they would not keep that in. Atty. Kwesell said under F it says the terms of this agreement shall be binding on the parties, their respective successor, heirs, assigns and any assignee of Rhino. It is in there, but just located someplace else. Mr. O'Leary noted that any condition included in the Site Plan Approval is incorporated within the Development Agreement, which Atty. Kwesell confirmed. He stated that there would be an in-depth Site Plan Approval package that will go along with this project. Any conditions will be included in this Development Agreement and in essence this Agreement functions as a Special Permit in sorts. Atty. Kwesell said it will function as the Special Permit that was granted before. Mr. O'Leary wanted to make sure that point is made clear, and the Site Plan Approval conditions will be included within a contractual agreement between the developer, Rhino Capital, their successors and interests, and the Town.

Ms. Cline clarified that they could propose these changes to the Select Board but they may or may not go along with them. However, if it is not adopted by the Select Board, they could still address it in Site Plan Review. Mr. Knox replied as long as it was a discipline that is reviewed in Site Plan. Mr. Knox said he would like to close this discussion and make a recommendation to send this language for these additions to the Development Agreement to the Board of Selectmen for consideration to be added. It was seconded by Mr. Lynch. The **vote** was **unanimous for**.

Public Hearing #4 - continued

Mr. Knox made a motion, seconded by Mr. Conroy, to make a recommendation to approve the zoning bylaw changes at Town Meeting.

VOTE: Mr. Knox, Mr. Conroy, Ms. Cline, Mr. Lynch – **Aye**; Ms. MacEachern – **Nay**

Site Plan Review - 310 Kenneth W. Welch Drive, continued - TAC VEGA MA Owner, LLC
Site Plan Review with a request for a density bonus of 70%.

Mr. Terrence Russell, representative of the owners of the property at 310 Kenneth W. Welch Drive was present. They were here to seek an agreement on the proposed Site Plan changes for this property. In May, when they originally presented this to the Town, the recommendation had been to seek a zoning change to increase the lot coverage. Over the summer, they had received that approval with the site coverage being increased from 70% to 77%. With that, they were able to accommodate parking for 250 cars. Right now, if the Board agrees, they would like to proceed and move forward with the final engineering.

Mr. Knox said for the record when this building was originally built, lot coverage was at 80% and that was allowed by right. They have provided them with a plan to rectify the parking issues. They have received relief from the Zoning Board of Appeals to allow the lot coverage. This is not a final plan but they have been asked if they generally like this plan, they can then begin the stormwater design and also go to the Conservation Commission. He noted this is not a formal approval, but they would have to come back with final plans for drainage, etc.

Ms. MacEachern said it looks like the parking lot is now extending into the area where they could do wetland replication. Did they still have area for that? Mr. Russell replied they have Goddard Consultants on board to take care of the Conservation Commission and the wetland replication work. Ms. MacEachern asked if there was any documentation that shows there are 250 employees at the max at any given time. Mr. Russell replied that each of the facilities have shifts and dividing that in half, you wouldn't have more than 200 or 250 cars on the site at any time, even during a harvest. That has been documented with information that the owner has provided. Mr. Knox noted that this is better than what they have now, and they are also proposing a guard rail on the other side of the road to stop the off-site parking.

Mr. Knox said they were generally satisfied with the plan. However, they would be doing a peer review on the storm water once the Board receives that information. After further discussion, Mr. Russell stated they were going from 153 spaces to 259 spaces which includes ADA parking. They are also not in the flood plain which had been an important consideration. Mr. Knox stated he would say that he has the Board's support to move forward with this plan and return back with the submittals. Mr. Russell said although they have all the contracts in place, it might not be for a while.

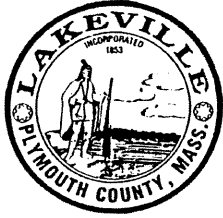
Review correspondence

There was no correspondence to review.

Adjourn

Mr. Knox made a motion, seconded by Mr. Lynch, to adjourn the meeting. The **vote was unanimous for.**

Meeting adjourned at 9:21.



Mark Knox, Chairman
Peter Conroy, Vice-Chair
Nora Cline
John Lynch
Michele T. Maceachern

Town of Lakeville

PLANNING BOARD
346 Bedford Street
Lakeville, MA 02347
774-776-4350

Planning Board Meeting Schedule 2023

Meetings of the Planning Board will be conducted on the following dates. Currently, meetings are held the Lakeville Police Station at 7:00 p.m. unless otherwise noted

Meeting Date	Deadline for submittals
1/12/23	1/2/23
1/26/23	1/16/23
2/9/23	1/30/23
2/23/23	2/13/23
3/9/23	2/27/23
3/23/23	3/13/23
4/13/23	4/3/23
4/27/23	4/17/23
5/11/23	5/1/23
5/25/23	5/15/23
6/8/23	5/30/23
6/23/23	6/12/23
7/13/23	7/3/23
7/27/23	7/17/23
8/10/23	7/31/23
8/24/23*	8/14/23
9/14/23	9/4/23
9/28/23	9/18/23
10/12/23	10/2/23
10/26/23	10/16/23
11/9/23	10/30/23
12/14/23	12/4/23
12/28/23 *	12/18/23

*if needed

Meeting dates may be added or changed at the discretion of the Planning Board.