



# TOWN OF LAKEVILLE MEETING POSTING & AGENDA

Town Clerk's Time Stamp  
received & posted:

*K. DeCoy*

LAKEVILLE TOWN CLERK  
RCUD 2023 FEB 7 AM 11:43

48-hr notice effective  
when time stamped

Notice of every meeting of a local public body must be filed and time-stamped with the Town Clerk's Office at least 48 hours prior to such meeting (excluding Saturdays, Sundays and legal holidays) and posted thereafter in accordance with the provisions of the Open Meeting Law, MGL 30A §18-22 (Ch. 28-2009). Such notice shall contain a listing of topics the Chair reasonably anticipates will be discussed at the meeting.

Name of Board or Committee:	Planning Board
Date & Time of Meeting:	Thursday, February 9, 2023 at 7:00 p.m.
Location of Meeting:	Lakeville Police Station 323 Bedford Street, Lakeville, MA 02347
Clerk/Board Member posting notice:	Cathy Murray

Cancelled/Postponed to: \_\_\_\_\_ (circle one)

Clerk/Board Member Cancelling/Postponing: \_\_\_\_\_

## A G E N D A

1. Discuss Zoning Overlay of existing Smart Growth Overlay on the former Lakeville Hospital site
2. Review the following Zoning Board of Appeals petitions:
  - a. K & J Doggy Palace – 330 Bedford Street
3. Review correspondence
4. Next meeting. . . February 23, 2023 at the Lakeville Police Station
5. Any other business that may properly come before the Planning Board.
6. Adjourn

Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the Planning Board arise after the posting of this agenda, they may be addressed at this meeting



**Welcome**

## **Overview of M.G.L. Chapter 40R**

**760 CMR 59.00**

Department of Housing and Community Development



## Content

- What is Smart Growth / 40R?
- Why was 40R created?
- How does it work? What's the process?
- What are the application requirements?
- What are the characteristics of a local 40R bylaw?
- How many communities have created 40R districts?
- What are some of the characteristics of these districts?





# Chapter 40R

## Smart Growth Zoning & Housing Production

### Emphasizes...

- mixing land uses
- range of housing
- compact design
- distinctive communities
- resource preservation
- existing communities
- transportation choices
- fair + cost effective process
- stakeholder collaboration

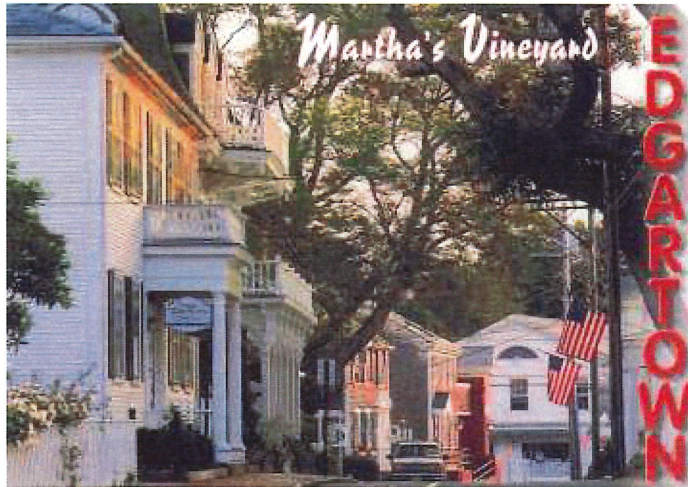


Source: [urban-advantage.com](http://urban-advantage.com)





# Outlaw Development







## Chapter 40R: The Basic Concept

THIS...



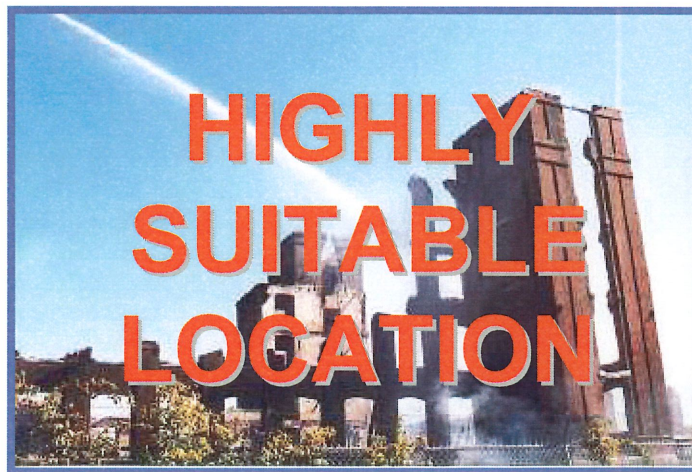
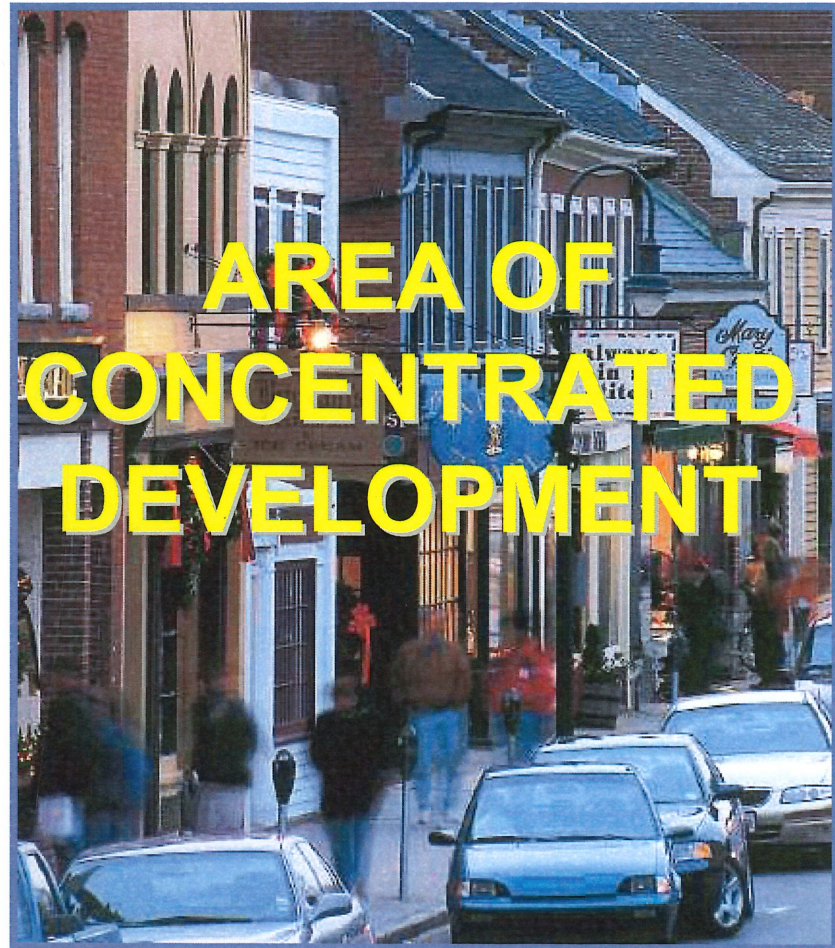
FOR THIS...







# Eligible Locations: Choose One!







## Minimum Allowable Densities

**SF @ 8 du/acre...**



**2-3F @ 12 du/acre...**



**4+ @ 20 du/acre...**

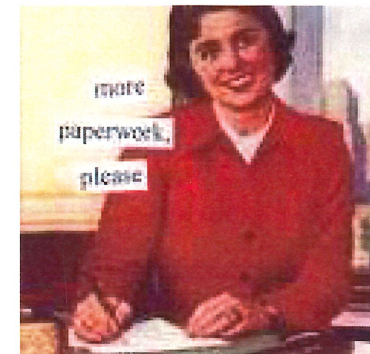
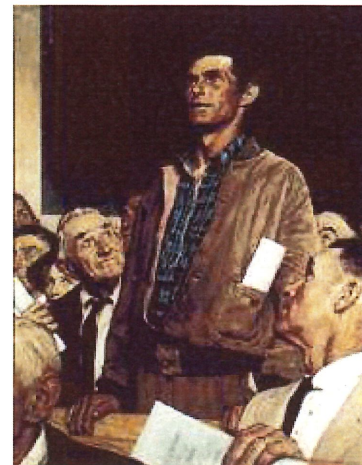
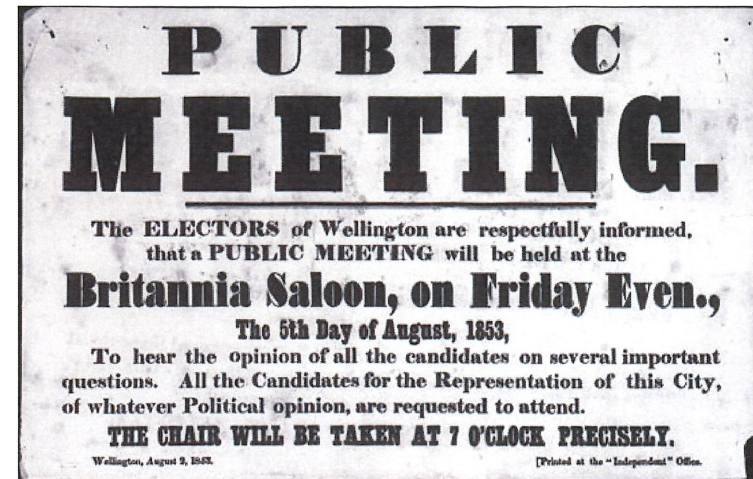






## The Process

- Local public hearing
- Application to DHCD
- **DHCD Letter of Eligibility**
- **Local Zoning Adoption**
- Evidence of Adoption
- **DHCD Letter of Approval**
- Local Project Approval





- Locator Map
- Developable Land Plan
- Existing Zoned Units Plan
- Smart Growth Plan
- Smart Growth Zoning
- Underlying Zoning
- Comprehensive Housing Plan







## The Smart Growth Zoning

- All-Inclusive
- As-of-right
- Residential/Mixed Use
- Mix of Housing
- No Moratorium/Bldg Cap
- No Age Restrictions
- 20% Affordable





## Participation / Activity

### 27 Approved Districts

(9,780 units)

Amesbury <b>249</b>	Belmont <b>18</b>	Boston <b>578</b>	Bridgewater <b>594</b>
Brockton <b>1,096</b>	Chelsea <b>125</b>	Dartmouth <b>319</b>	Easton <b>280</b>
Grafton <b>240</b>	Haverhill <b>526</b>	Holyoke <b>296</b>	Kingston <b>730</b>
Lakeville <b>207</b>	Lawrence <b>1,031</b>	Lowell <b>250</b>	Lunenburg <b>204</b>
Lynnfield <b>180</b>	Natick <b>138</b>	N. Andover <b>530</b>	N. Reading <b>434</b>
Northampton <b>156</b>	Norwood <b>15</b>	Pittsfield <b>296</b>	Plymouth <b>675</b>
Reading <b>202</b>	Sharon <b>167</b>	Westfield <b>244</b>	

### 9 Eligible/Pending Districts

(2,017 units)

Georgetown <b>43</b>	Easthampton <b>935</b>	Hingham <b>126</b>	Marblehead <b>17</b>
Marblehead <b>47</b>	Newbury <b>98</b>	Randolph <b>457</b>	Reading <b>256</b>
Weymouth <b>38</b>			









# Approved 40R Districts: Norwood & Belmont

## St. George

- .78 acres
- 15 Units
- Adaptive Reuse
- Completed in 2008



## Our Lady of Mercy / Oakley

- 18 Units / 1.5 acres
- 4 Subdistricts / Hsg. Mix
- Belmont Housing Trust

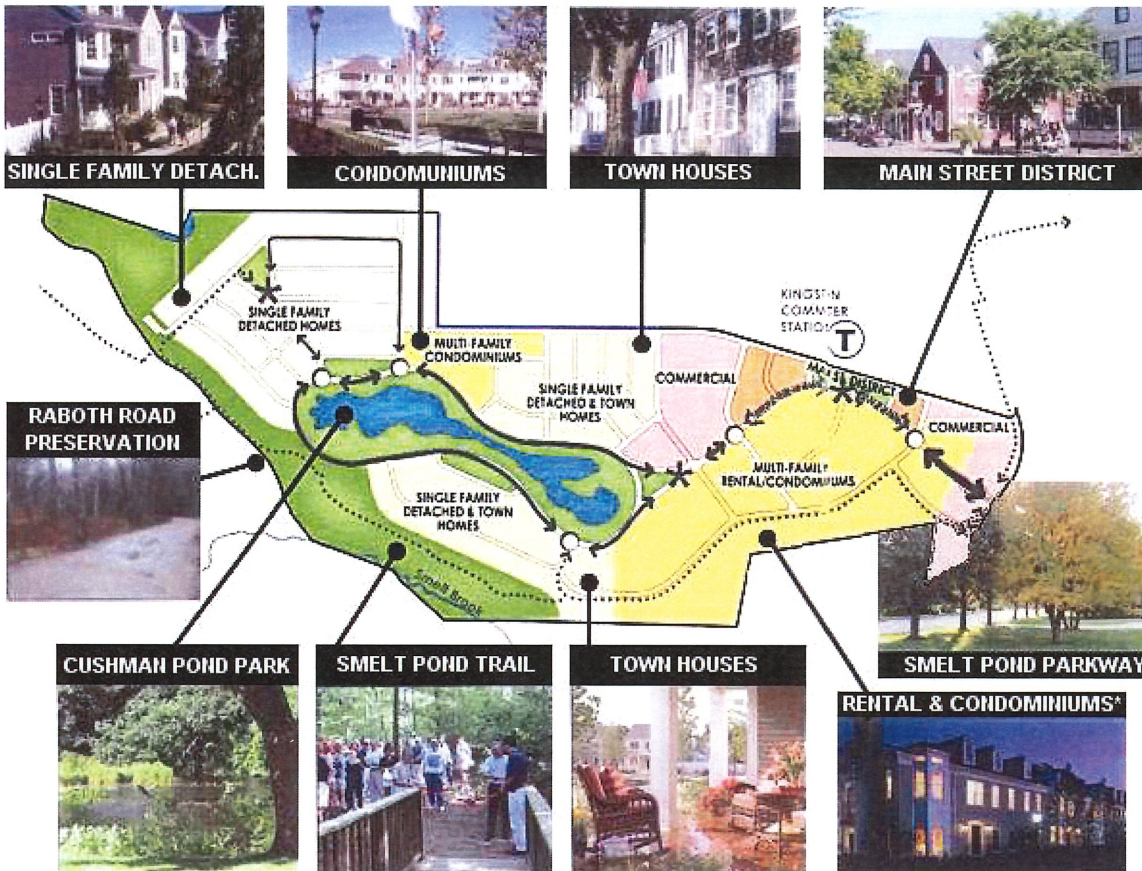




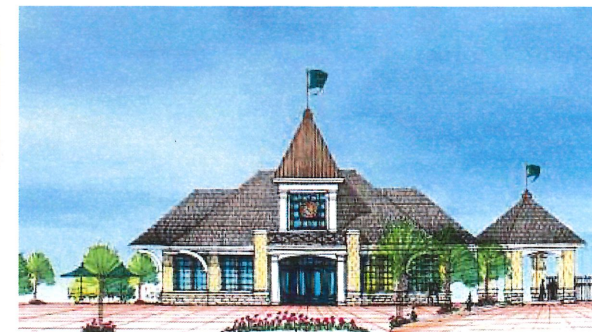


# 1021 Kingston's Place, Kingston

1021 kingston's place SITE PLAN - May 2006



- 730 Units
- Mixed-Use
- Transit-Oriented
- Variety of Housing
- New Urbanism



Center Station - 1021 Kingston's Place

Editor's Note: Graphic layout and photo titles modified slightly for web display.





# Approved 40R Districts: Lynnfield



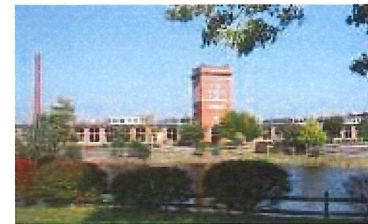
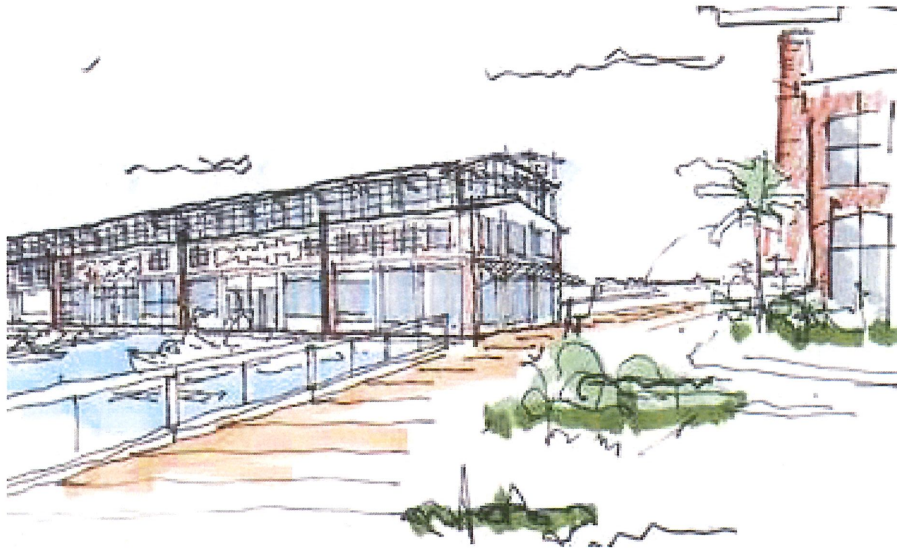
- **180 Units**
- **Mixed-Use / Lifestyle Ctr.**
- **Housing Production Plan**
- **Economic Development**







# Cordage Park, Plymouth



- **675 Units**
- **Mixed-Use**
- **Redevelopment**
- **Transit-Oriented**





# Sharon Commons

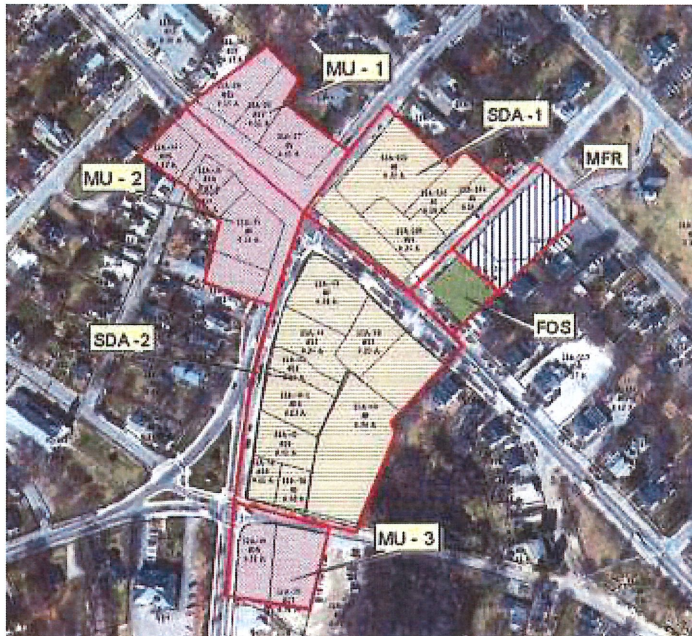


- **167 Units / 11.6 acres**
- **Adjacent to planned lifestyle center**
- **Near existing supermarket**
- **Conditioned on new sidewalks**



# Georgetown Square

- 43 Units
- Village Infill / Redevelopment
- Locally-Driven







## Queset Commons, Easton



- 167 Units
- Mixed-Use
- [www.Queset.com](http://www.Queset.com)







# Kensington, Lakeville



*Live in the country. Ride to the city.*

**KENSINGTON COURT**  
*The Lakeville Station*

Features and Benefits  
Floor Plans  
The Community  
Map and Directions  
Contact Information

**Now Leasing!**  
Kensington Court, a brand new community in Lakeville offering 100 spacious affordable apartments with balcony or patio, located in a country setting with city conveniences.

1BR/1 SBA from \$759\*  
2BR/2BA from \$918\*

For income limits and FAQs see the last page of this print-out.

Marketing materials and the features and amenities described herein are conceptual in nature and based on current development plans, which are subject to change without notice. No guarantee is made that the features, amenities and services described in this marketing material, plans or letters as described herein will be provided, or if provided will be of the same type, size or amount as depicted or described.

- 207 Units / 11 acres
- Near transit
- Under construction
- [www.kensington-court.net](http://www.kensington-court.net)





## Contact Information

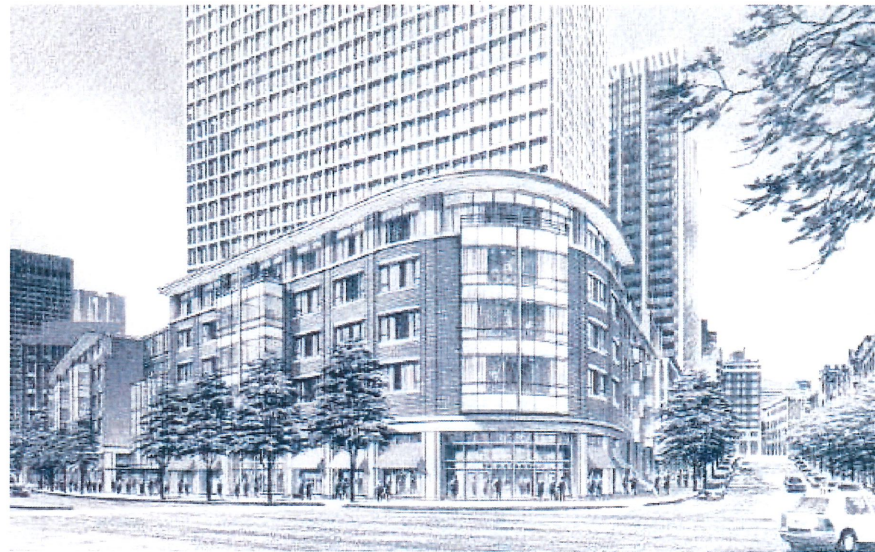
**MA Dept. of Housing & Community Dev.**

**100 Cambridge St.**

**Boston, MA 02114**

**617.573.1355**

**[www.mass.gov/dhcd](http://www.mass.gov/dhcd)**





Petition to be filed with Town Clerk

EXHIBIT "A" #2a  
RECEIVED  
JAN 23 2022

TOWN OF LAKEVILLE  
MASSACHUSETTS

ZONING BOARD OF APPEALS  
PETITION FOR HEARING

BOARD OF APPEALS

Name of Petitioner: Key Doggy Palace LLC - Kimmy + John Tarans

Mailing Address: 10 Woodrow Lane West Bridgewater, MA

Name of Property Owner: Nitant (Nick) Raval 02379

Location of Property: 330 Bedford Street Lakeville, MA

Property is located in a residential  business \_\_\_\_\_ industrial (zone) \_\_\_\_\_

Registry of Deeds: Book No. 50275-10271 Page No. \_\_\_\_\_

Map 057 Block 001 Lot 012

Petitioner is: \_\_\_\_\_ owner  tenant \_\_\_\_\_ licensee \_\_\_\_\_ prospective purchaser \_\_\_\_\_

Nature of Relief Sought:

- Special Permit under Section (s) \_\_\_\_\_ of the Zoning Bylaws
- \_\_\_\_\_ Variance from Section (s) \_\_\_\_\_ of the Zoning Bylaws.
- \_\_\_\_\_ Appeal from Decision of the Building Inspector/Zoning Enforcement Officer
- \_\_\_\_\_ Date of Denial

Brief to the Board: (See instructions on reverse side - use additional paper if necessary.)

Looking to review my Kennel Lic for Boarding. Transferring my business from Rayham to Lakeville Mass.

I HEREBY REQUEST A HEARING BEFORE THE ZONING BOARD OF APPEALS WITH REFERENCE TO THE ABOVE PETITION OR APPEAL. ALL OF THE INFORMATION ON THIS PETITION, TO THE BEST OF MY KNOWLEDGE, IS COMPLETE AND ACCURATE AND CONFORMS TO THE REQUIREMENTS ON THE BACK OF THIS PETITION FORM.

Petitioner: \_\_\_\_\_

Date: Jan 20, 2023

Signed: Kimmy Tarans  
John M. Tarans

Telephone: 781-267-0161

Owner Signature: \_\_\_\_\_  
(If not petitioner)

Owner Telephone: 781-267-0726

Email: Kimmytar73@gmail.com

WILL YOU HAVE A REPRESENTATIVE OTHER THAN YOURSELF?

\_\_\_\_\_ Yes \_\_\_\_\_ No

\_\_\_\_\_  
(Name and Title)



K&J DOGGY PLACE  
BUSINESS PLAN:

We are looking to Relocate our Business  
for Daycare / Grooming / Boarding. We focus on  
Small Breeds. Boarding only 4 Dogs only.  
We offer. Grooming / Daycare for Small  
Dog  
35lb  
under

10 a Day. is max for our  
facility.

We offer Boarding overnights Max 15  
(4 Dogs only) max weight 80lbs.

Hours. Operation are 7-7pm  
Monday - Fridays

Sat 8-2pm. Daycare / Grooming  
Sunday - Closed -

Retail - is Dog Sprays / Candles

BUSINESS PLAN:

We have Drop off from 7-9am  
for Daycare. Mon. Friday 7-7pm.

Grooming is by appointments we Do  
Mon. Wed. Thurs Friday Sat.  
10-5pm.

Boarding is By Request only 4 MIN max  
Dog eat lunch / Supper - Playtime all-day



All Dogs have to update with all shots  
to be able to come to the facility.  
Our Safety is our first Priority to  
our Staff/Families -

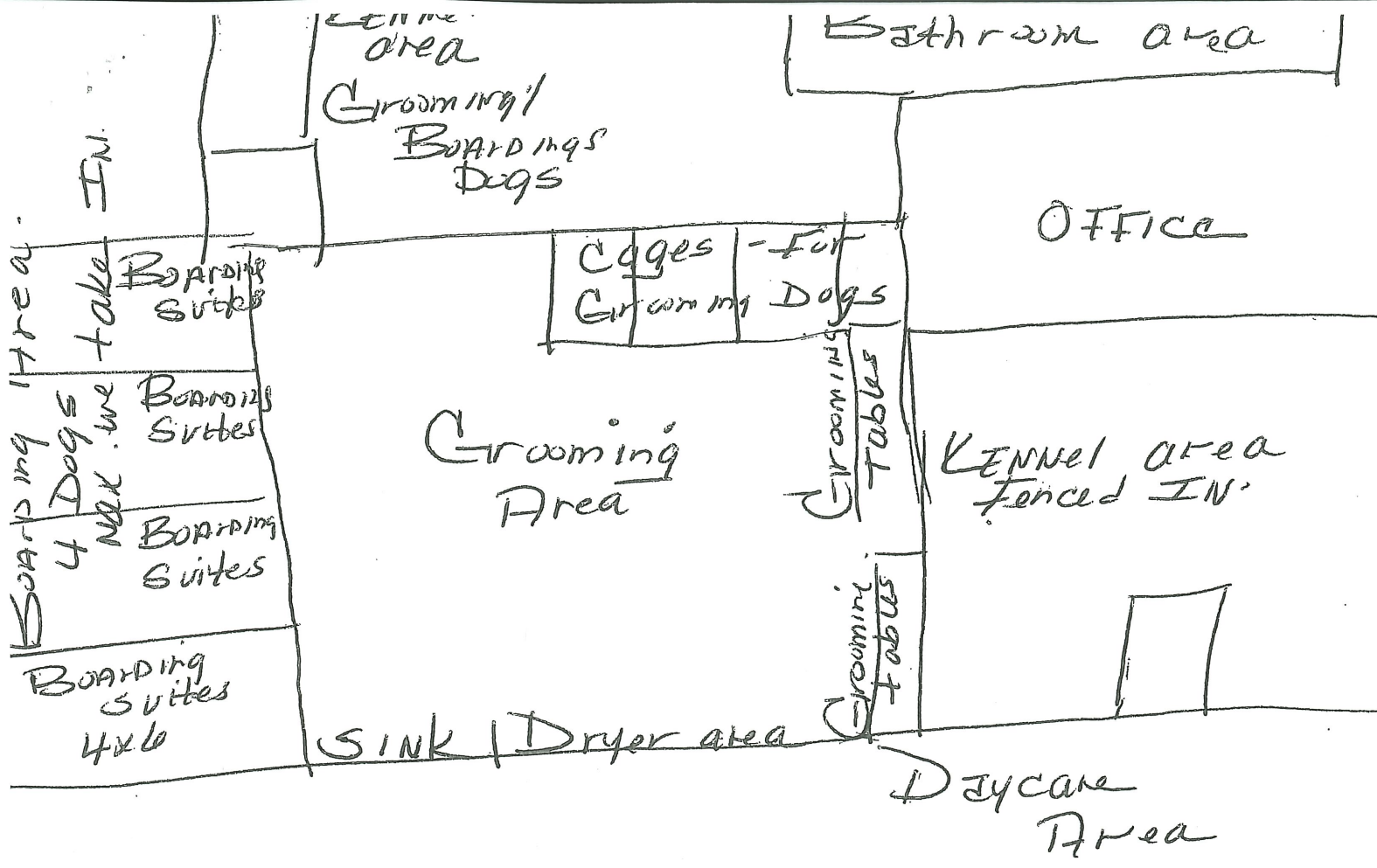
All Dogs needs to be leashed when  
coming & leaving K+S. Doggy Palace

We provide ~~Safety~~ all ours families  
with Safety for furry Pets. at all time

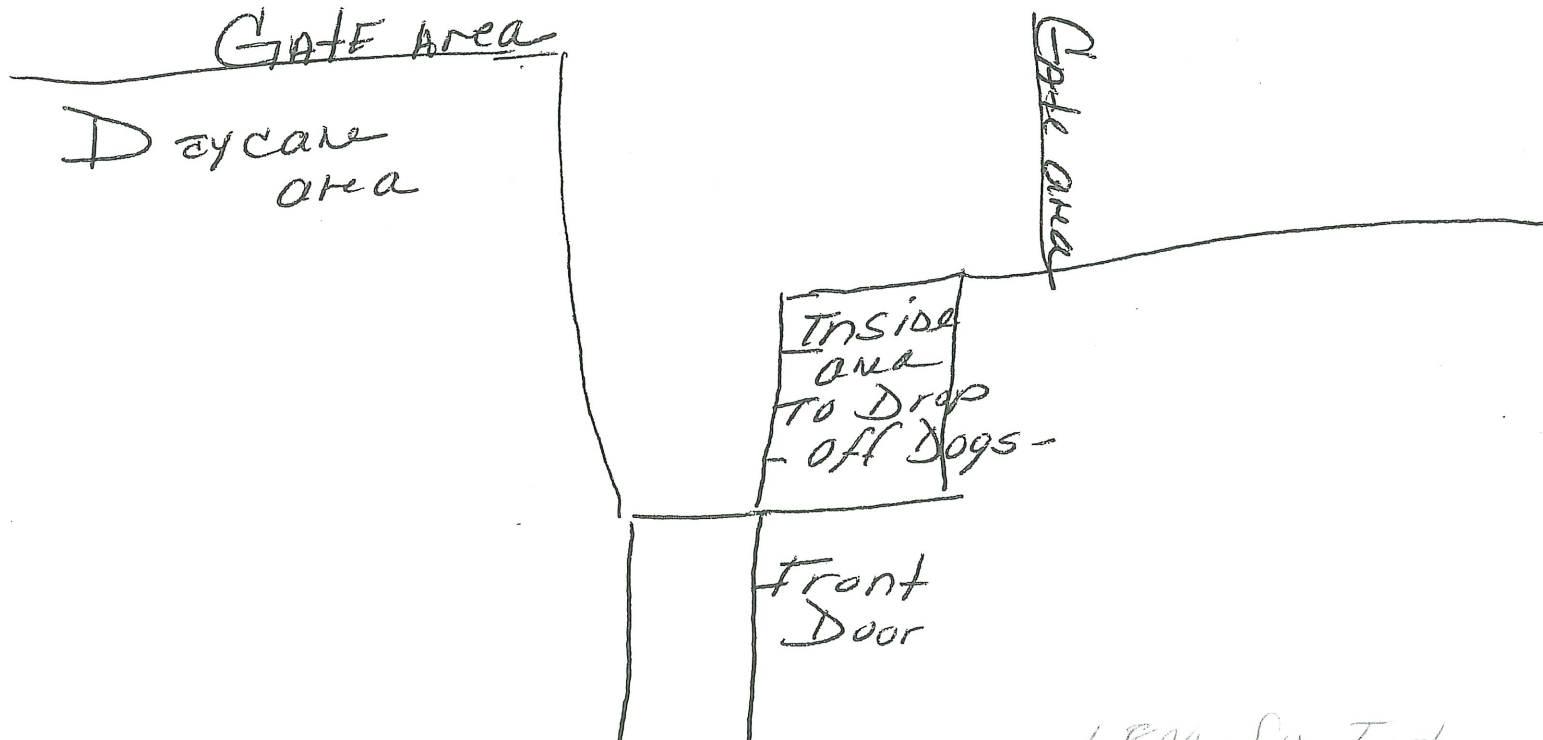
PLEASE Review and let us Relocate  
to Lakeville 330 Bedford St.  
Lakeville, Ma.

Thank you  
John & Kimberley  
Taranes





OPEN Play Area



1800 Sq Feet