

TOWN OF LAKEVILLE MEETING POSTING & AGENDA

Town Clerk's Time Stamp
received & posted:

LAKEVILLE TOWN CLERK
3000 2024 MAR 6 PM 2:22

K. DeCoy

48-hr notice effective
when time stamped

Notice of every meeting of a local public body must be filed and time-stamped with the Town Clerk's Office at least 48 hours prior to such meeting (excluding Saturdays, Sundays and legal holidays) and posted thereafter in accordance with the provisions of the Open Meeting Law, MGL 30A §18-22 (Ch. 28-2009). Such notice shall contain a listing of topics the Chair reasonably anticipates will be discussed at the meeting.

Name of Board or Committee:	Planning Board
Date & Time of Meeting:	Thursday, March 14, 2024 at 7:00 p.m.
Location of Meeting:	Lakeville Police Station 323 Bedford Street, Lakeville, MA 02347
Clerk/Board Member posting notice:	Cathy Murray

Cancelled/Postponed to: _____ (circle one)

Clerk/Board Member Cancelling/Postponing: _____

A G E N D A

1. Public Hearing (7:00) Site Plan Review -2 & 4 Bedford St., continued – upon the application for a Site Plan Review and Approval submitted by Twin Boys, LLC for proposed contractor bays-presented by Zenith Consulting Engineers-possible vote
2. Public Hearing (7:00) Site Plan Review -210 Kenneth Welch Dr. – upon the application for a Site Plan Review and Approval submitted by Metan Marine Restoration/RH Marine Group LLC, for a proposed 60' x 120' addition-possible vote
3. Review the following Zoning Board of Appeals petition:
 - a. Dixon – 36 Main Street
 - b. Joyce – 51 Shore
 - c. Rocky Woods
4. Discuss update of regulations
5. OSRD update
6. Request to release funds-Joshua Estates & Deerfield Estates-possible vote
7. 3A/MBTA Zoning - update
8. Approve the February 8, 2024 Meeting Minutes
9. Next meeting. . . March 28, 2024 at the Lakeville Police Station
10. Any other business that may properly come before the Planning Board.
11. Adjourn

Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the Planning Board arise after the posting of this agenda, they may be addressed at this meeting

Town of Lakeville

PLANNING BOARD
346 Bedford Street
Lakeville, MA 02347



NOTICE OF PUBLIC HEARING LEGAL NOTICE

The LAKEVILLE PLANNING BOARD pursuant to §270-6.7 Site Plan Review of the Town of Lakeville Code will hold a Public Hearing on **THURSDAY, March 14, 2024, at 7:00 PM** at the Lakeville Police Station, 323 Bedford Street. The purpose of the Public Hearing will be to receive information and public comment on the following Site Plan Review application:

210 Kenneth Welch Drive – The applicant, Metan Marine Restoration Inc./RH Marine Group LLC, seeks Site Plan Review and Approval for a proposed 60' x 120' (7,200 SF) addition to the existing building to provide additional covered storage space for boat manufacturing and associated site improvements.

Mark Knox, Chairman

March 7, 2024



Lakeville Fire Department

346 Bedford Street

Lakeville, Massachusetts 02347

TEL 508-947-4121

FAX 508-946-3436

MICHAEL O'BRIEN
FIRE CHIEF
mobrien@lakevillema.org

PAMELA GARANT
DEPUTY CHIEF
pgarant@lakevillema.org

To: Lakeville Planning Board
From: Michael O'Brien, Fire Chief
RE: 210 Kenneth Welch Drive
Date: March 4, 2024

This document has been prepared as comment on the proposed construction project located at 210 Kenneth Welch Drive, Lakeville.

The Department wishes to communicate to the Board that the plan, as submitted, appears to be compliant with 527 CMR 1:00 Massachusetts Comprehensive Fire Safety Code.

This property has a history of exterior boat storage that is capable of encroaching on fire department access requirements. It is requested that the Planning Board emphasize the need for clearly marked fire lanes on at least three sides of the building. The configuration of the building must allow for fire department access to be within 150 ft of any portion the exterior of the building.

Please find the relevant code requirements related to fire department access.

- *527 CMR 1:00 18.2.3.2.2 Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 ft (46m) from fire department access roads as measured by an approved route around the exterior of the building or facility.*
- *527 CMR 1:00 18.2.3.2.2.1 When buildings are protected throughout with an approved automatic sprinkler system that is installed in accordance with NFPA 13, the distance in 18.2.3.2.2 shall be permitted to be increased to 250 ft.*
- *527 CMR 1:00 18.2.3.4.1.1 Fire department access roads shall have an unobstructed width of not less than 20 feet (6.1 m). Fire department access roads constructed in the boulevard-style shall be allowed where each lane is less than 20, but not less than 10, when they do not provide access to a building or structure.*
- *527 CMR 1:00 18.2.3.4.1.2 Fire department access roads shall have an unobstructed vertical clearance of not less than 13 ft 6 in. (4.1 m).*
- *527 CMR 1:00 18.2.3.4.2 Surface. Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface.*



Town of Lakeville

*Board of Health
346 Bedford Street
Lakeville, MA 02347*

Board of Health
(508) 946-3473
(508) 946-8805
(508) 946-3971 fax

February 28, 2024

Town of Lakeville
Planning Board
Attn: Mark Knox, Chairman
346 Bedford Street
Lakeville, MA 02347

Re: 210 Kenneth Welch Drive

Dear Chairman Knox:

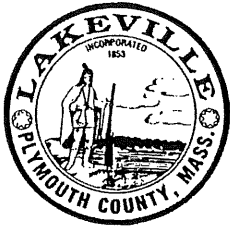
We received a copy of the site plan for 210 Kenneth Welch Drive. The plan proposes an addition to the rear of the building. The proposed addition will not interfere with the footprint of the existing septic system, which is located in front of the building. The flow for the septic system is based on the number of employees, so providing the addition will not result in an increase in employees the septic system will not be affected.

Therefore, based on the information provided, the Board of Health has no objections to the proposed addition.

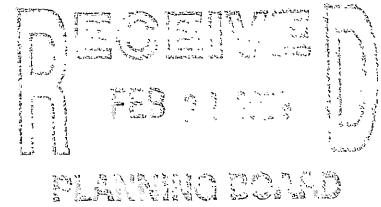
If you should have any further questions feel free to contact this office.

Sincerely yours,
For the Board of Health

Edward Cullen
Health Agent



Town of Lakeville
Planning Board
346 Bedford Street
Lakeville, MA 02347
508-946-3473



APPLICATION FOR SITE PLAN REVIEW

Name of Applicant: Metan Marine Restoration Inc. / RH Marine Group LLC.

Street: 210 Kenneth Welch Drive

City/Town: Lakeville State: MA Zip: 02347

Telephone: 781-733-5387 Email: mike@metanmarine.com

Property Owner Name: (SAME)

Street: _____

City/Town: _____ State: _____ Zip: _____

Telephone: _____ Email: _____

Contact Person's Name: Michael Borrelli

Telephone: 781-733-5387 Email: mike@metanmarine.com

SITE INFORMATION

Street and number: 210 Kenneth Welch Drive

Zoning District: Industrial Map 60 Block 8 Lot 14B

Lot size: 4.09 acres Frontage: 230.39'

Current use: Manufacturing/Warehouse

PLAN INFORMATION

Plan Title: Site Plan Approval for Building Addition at #210 Kenneth Welch Drive

Prepared by: Outback Engineering, Inc.

Date prepared: November 15, 2023 Revision date (s): _____

Detailed Description of proposed work: _____

A proposed 60'x120' (7,200 SF) addition to the existing building to provide additional covered storage space for boat manufacturing. No increase in storm-water runoff

is proposed.

TO THE LAKEVILLE PLANNING BOARD:

The undersigned, being the APPLICANT named above, hereby applies for review of the above **SITE PLAN** by the Planning Board and certifies that, to the best of the APPLICANT'S knowledge and belief, the information contained herein is correct and complete and that said PLAN conforms with the requirements of the Rules and Regulations of the Lakeville Planning Board and the Zoning By-Law of the Town of Lakeville.

Applicant's Signature: _____ Date: 11/15/2023

Property Owner's Signature: _____ Date: 11/15/2023
(if not Applicant)

Will you have a representative other than yourself? Yes No

Name: Outback Engineering, Inc. - James Pavlik

Telephone: 508-946-9231 Email: jpavlik@outback-eng.com

To be completed by Planning Board staff:

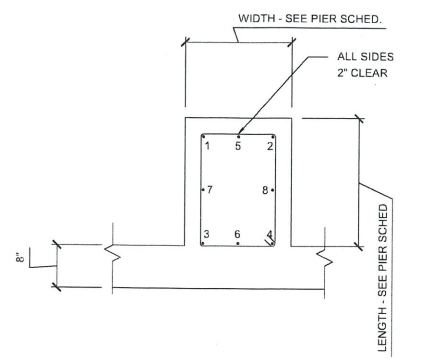
Distributed to: Board of Health, Board of Selectmen, Building Department, Conservation Commission, Fire Chief, and Open Space Committee

Date/initials: _____

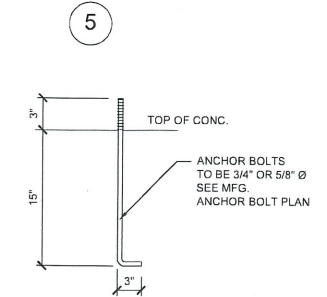
DO NOT SCALE DRAWINGS!

210 KENNETH WELCH DRIVE
LAKEVILLE, MA 02347

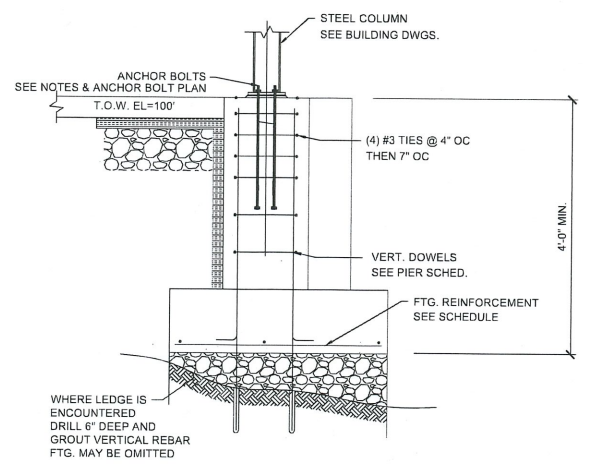
DRAWING NAME: FOUNDATION PLAN
 SCALE: 1/8" = 1'-0" INT: 12/21/23
 PROJECT NAME: METAN MARINE



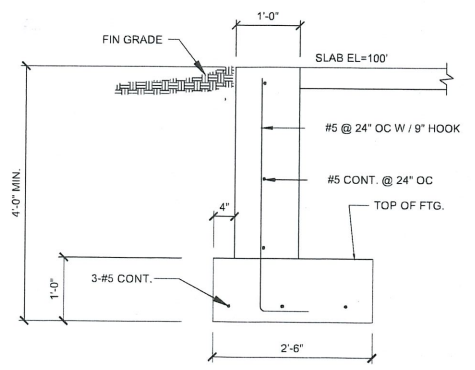
TYPICAL PIER REINFORCEMENT



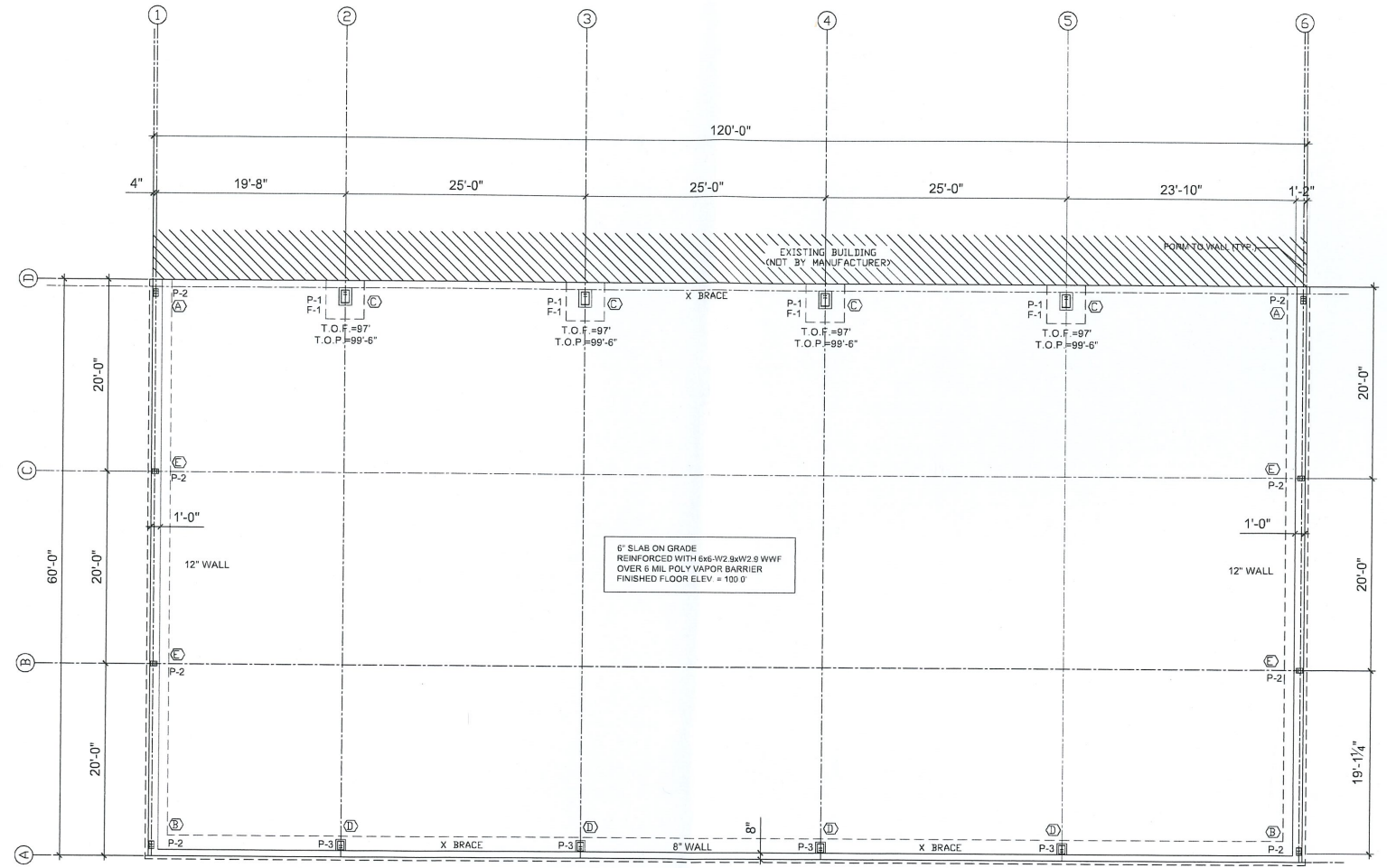
TYPICAL ANCHOR BOLT



TYPICAL PIER SECTION



TYPICAL FND. WALL SECTION



1 FOUNDATION PLAN
F-1 Scale: 1/8"=1'-0"

SPREAD FOOTING SCHEDULE

MARK	PLAN SIZE	THICKNESS	REINFORCEMENT
F-1	4'-0" SQ. FTG.	1'-6"	6-#5 EW - TOP & BOT

PIER SCHEDULE

MARK	VERT. DOWELS	PIER SIZE (W' x L')
P-1	(8) #8	18" x 22"
P-2	(4) #6	12" x 12"
P-3	(6) #7	12" x 14"

- NOTES:**
- COORDINATE THIS DRAWING WITH BUILDING MFG. ANCHOR ROD SETTING PLAN.
 - ALL FOOTINGS SHALL BE CENTERED UNDER COLUMNS.
 - TOP OF ALL EXTERIOR PIERS @ ELEV. = TOP OF WALL (T.O.W. = 100'-0) UNO.
 - T.O.F. = TOP OF FOOTING ELEVATION, T.O.P. = TOP OF PIER ELEVATION.
 - (A) = BASE PLATE DETAIL - SEE MFG. DRAWINGS

CONCRETE

- C1 UNLESS OTHERWISE NOTED ALL CONCRETE SHALL BE NORMAL WEIGHT, 34" STONE CONCRETE WITH 3000 PSI 28 DAY COMPRESSIVE STRENGTH. ALL CONCRETE EXPOSED TO WEATHER AND CONCRETE FOR FOUNDATIONS SHALL BE AIR ENTRAINED. SLABS ON GRADE SHALL BE 4000 PSI. SLABS ON METAL DECK SHALL BE 3500 PSI.
- C2 ALL STEEL REINFORCING SHALL BE ASTM A-615 GRADE 60. WELDED WIRE FABRIC SHALL BE ASTM A-185.
- C3 ALL REINFORCEMENT, INCLUDING DOWELS FOR MASONRY, SHALL BE SECURELY HELD IN PLACE BEFORE CONCRETE PLACEMENT. ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED FOR SUPPORT OF ALL BARS AS NECESSARY.
- C4 LAP CONTINUOUS REINFORCEMENT AS FOLLOWS, U.N.O. (ASSUMES CONCRETE COVER GREATER THAN ONE BAR DIAMETER. CENTER-TO-CENTER BAR SPACING GREATER THAN THREE BAR DIAMETERS):

4000 PSI CONCRETE:

BAR SIZE	TOP BARS*	OTHER BARS
#3	18"	18"
#4	24"	24"
#5	30"	23"
#6	40"	31"
#7	54"	42"
#8	71"	55"
#9	90"	69"

3000 PSI CONCRETE:

BAR SIZE	TOP BARS*	OTHER BARS
#3	21"	16"
#4	28"	22"
#5	35"	27"
#6	46"	35"
#7	63"	48"
#8	82"	63"
#9	104"	80"

- *TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE CAST BELOW THE BARS. TERMINATE ALL CONTINUOUS BARS WITH STANDARD HOOKS. MINIMUM CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
- C5 CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
 - C6 CAST AGAINST FORMS AND EXPOSED TO EARTH OR WEATHER:
 - NO. 6 AND LARGER: 2"
 - NO. 5 AND SMALLER: 1 1/2"
 - NOT EXPOSED TO WEATHER OR EARTH-SLABS, WALLS, AND JOISTS--
 - NO. 14 AND LARGER: 1 1/2"
 - NO. 11 AND SMALLER: 3/4"
 - BEAMS AND COLUMNS: 1 1/2"

FOUNDATIONS AND BACKFILL

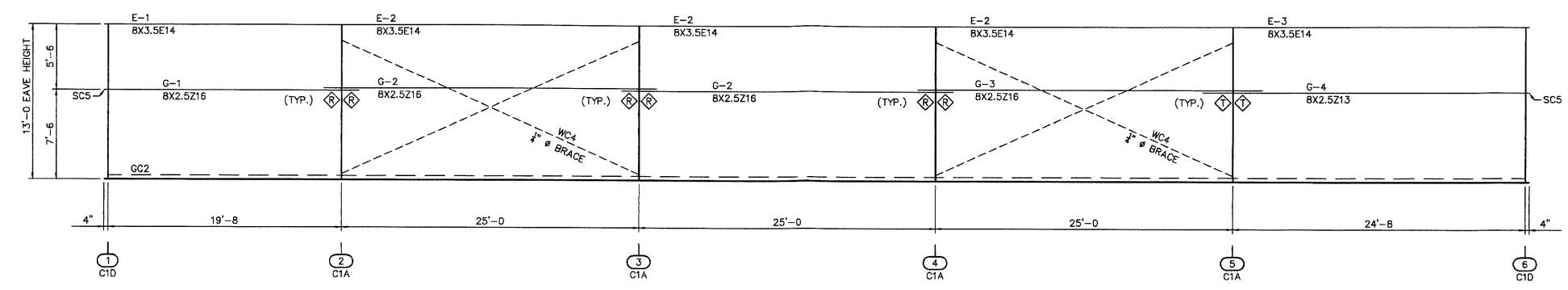
- F1 FOUNDATION DESIGN BASED ON AN ASSUMED BEARING CAPACITY OF 4,000 PSF. A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF MASSACHUSETTS SHALL BE HIRED TO PREPARE A SOILS REPORT. IF UPON EXCAVATION, DEVIATIONS FROM THE ASSUMED CONDITIONS ARE DISCOVERED, THE AFFECTED AREA SHALL BE REPORTED TO THE ARCHITECT AND THE SIZES AND ELEVATIONS MAY BE CHANGED AT THE ARCHITECT'S DIRECTION.
- F2 ALL FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED GRANULAR FILL. THE ARCHITECT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE OF CONCRETE PLACEMENT SO THAT THE BOTTOM OF EXCAVATION CAN BE OBSERVED.
- F3 NO FOOTINGS SHALL BE PLACED IN WATER, NOR UPON FROZEN GROUND. WATER LEVEL SHALL BE MAINTAINED BELOW BOTTOM OF EXCAVATION.
- F4 MATERIAL ADJACENT TO AND BELOW FOOTINGS SHALL BE KEPT FROM FREEZING AT ALL TIMES. IF ANY MATERIAL IS FOUND TO BE FROZEN IT SHALL BE REMOVED AND REPLACED WITH CONCRETE. IF ANY FROZEN MATERIAL IS FOUND BELOW THE SLAB-ON-GRADE, IT SHALL BE REMOVED AND REPLACED WITH ENGINEERED STRUCTURAL FILL.
- F5 HAND EXCAVATE THE FINAL 6 INCHES OF MATERIAL TO THE BEARING LEVEL AT ALL FOOTINGS.
- F6 ALL FOUNDATION WALLS SHALL BE BRACED DURING BACKFILL OPERATIONS AND SHALL REMAIN BRACED UNTIL PERMANENT RESTRAINTS HAVE BEEN INSTALLED. SEE THE CONCRETE NOTES FOR ADDITIONAL REQUIREMENTS.
- F7 ALL FOOTINGS AND PIERS SHALL BE CENTERED UNDER MEMBERS SUPPORTED UNLESS OTHERWISE NOTED.
- F8 BACKFILL SHALL BE PLACED IN 6" LIFTS AND COMPACTED IN A MANNER THAT ACHIEVES A MINIMUM OF 95% MAXIMUM DENSITY.
- F9 FOUNDATIONS AT THE EXTERIOR SHALL BE SET AT OR BELOW A DEPTH OF 4'-0" BELOW FINISHED GRADE.
- F10 EXCAVATIONS SHALL NOT UNDERMINE EXISTING FOUNDATIONS.



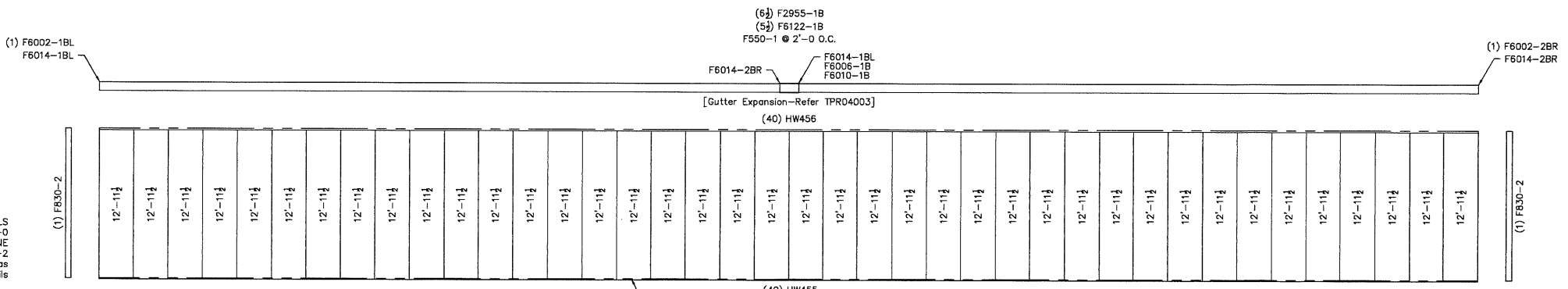
NOTE: Use LA1-1, RA1-1 angles for liner system and insulation by others in roof. Refer Details - RL01010X, RL01008X.
Use F29-1, F30-1 Insulation trim angles in walls. Refer Detail - GD03001

SCHEDULE OF ACCESSORIES	
NO. REQD	DESCRIPTION
2	12'-0" X 12'-0" FACTORY LOCATED FRAMED OPENINGS
2	3070 PRE-ASSEMBLED WALK DOORS FIELD LOCATED

REFER TO DETAILS ON INSTALLATION OF WALK DOORS.
REFER TO DETAILS ON INSTALLATION OF FRAMED OPENINGS.
USE STANDARD WALL PROCEDURES TO ERECT THE SIDEWALL AND ENDWALL PANELS.

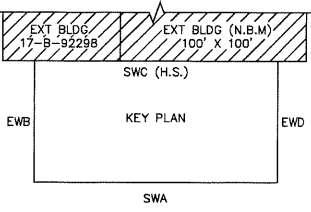


ELEVATION "SWA"



WALL SHEETING ELEVATION "SWA"
BLDG "C"

NOTE: FOR SEALED WALL REQUIREMENTS, REFER DETAILS - GD16001, GD16002 & PW05004



ZEE SECTION LAP TABLE			
SYMBOL	LAP LENGTH	SYMBOL	LAP LENGTH
⊕	-0'-0 1/4"	⊕	2'-5 3/4"
⊕	0'-3 3/4"	⊕	3'-1 1/4"
⊕	1'-5 3/4"	⊕	REFER TO CF01122

Non-Standard PBR Wall Panel Fasteners

#58 member fasteners are to be used for panel to secondary attachment in lieu of #17A shown on the R Drawings
#4 lap fasteners are to be used for panel to panel and panel to trim attachment in lieu of #4A shown on the R Drawings

Revision	Date	Description	By		Ck'd	
			PSR	MOS	PSR	MOS
A	12/06/23	FOR CONSTRUCTION PERMIT				
0	12/06/23	FOR ERECTOR INSTALLATION				

speed
economy
quality
bids
SPACER
280 CAVENHURST RD. SUITE 2A & 3
EAST FAIRBANKS, ALASKA 99709-5522 TEL: 907-485-2777

Project Name & Location:
METAN MARINE RESTORATION INC.
210 WENNETT WELCH DR
LAKEVILLE, MA 02347-1348 US

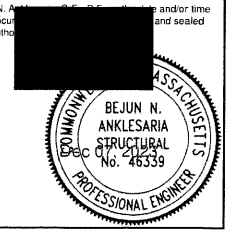
Customer:
MIKE BORELLI
210 WENNETT WELCH DR
LAKEVILLE, MA 02347-1348 US

Drawing Status:
 Preliminary
 For Approval
 For Construction Permit
 For Erector Installation

Scale: NOT TO SCALE
 Drawn by: PSR 11/30/23
 Checked by: MOS 12/6/23
 Project Engineer: JDM
 Job Number: 19-B-52440
 Sheet Number: E4 of 11

The engineer whose seal appears hereon is an employee for the manufacturer, Cornerstone Building Brands or one of its affiliates, for the materials described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.

BEJUN N. ANKLESARIA, S.E., P.E.
MASSACHUSETTS P.E. 46339



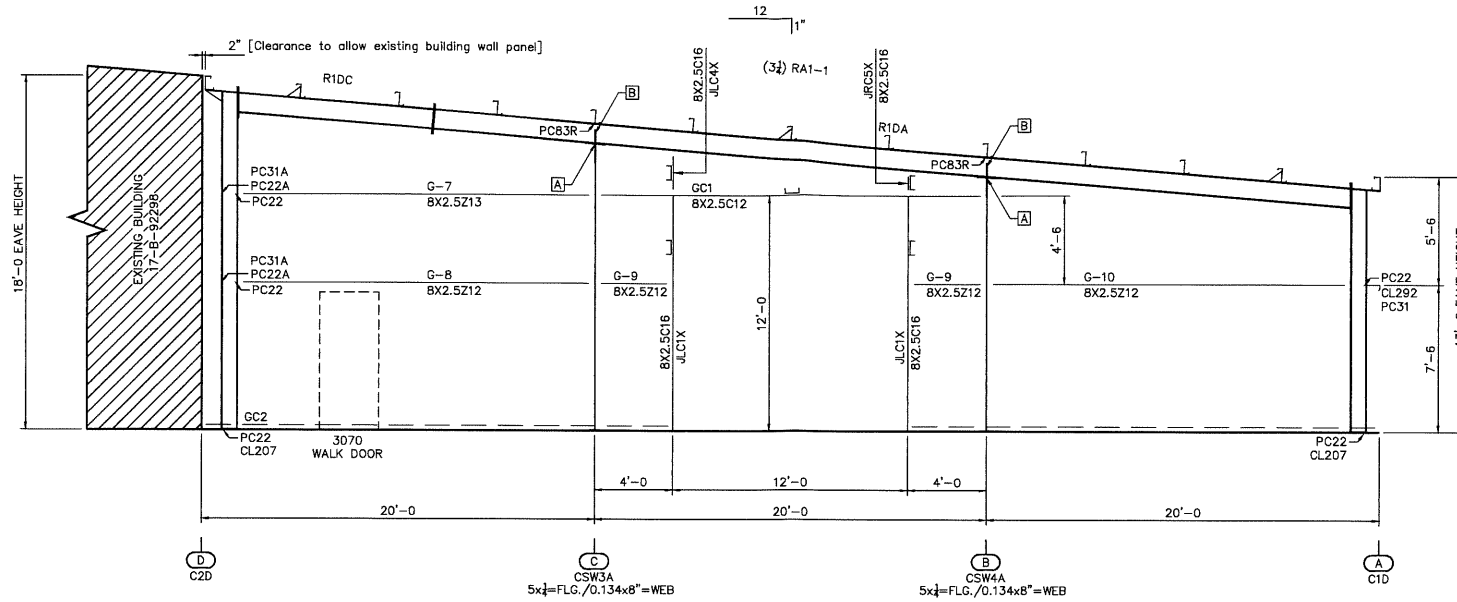
This item has been electronically signed and sealed by Bejun N. Anklesaria and/or time stamp shown using a digital signature. Printed copies of this document must be signed and sealed and the signature must be verified by a 3rd Party Certificate Authority.

SPLICE BOLT TABLE					
CONN.	QTY.	SIZE	TYPE	HARDENED WASHERS	BEVELLED WASHERS
A	(4)	1/2" X 1 1/2"	A325 B&N	4	0
B	(4)	1/2" X 1 1/2"	A325 B&N	0	0

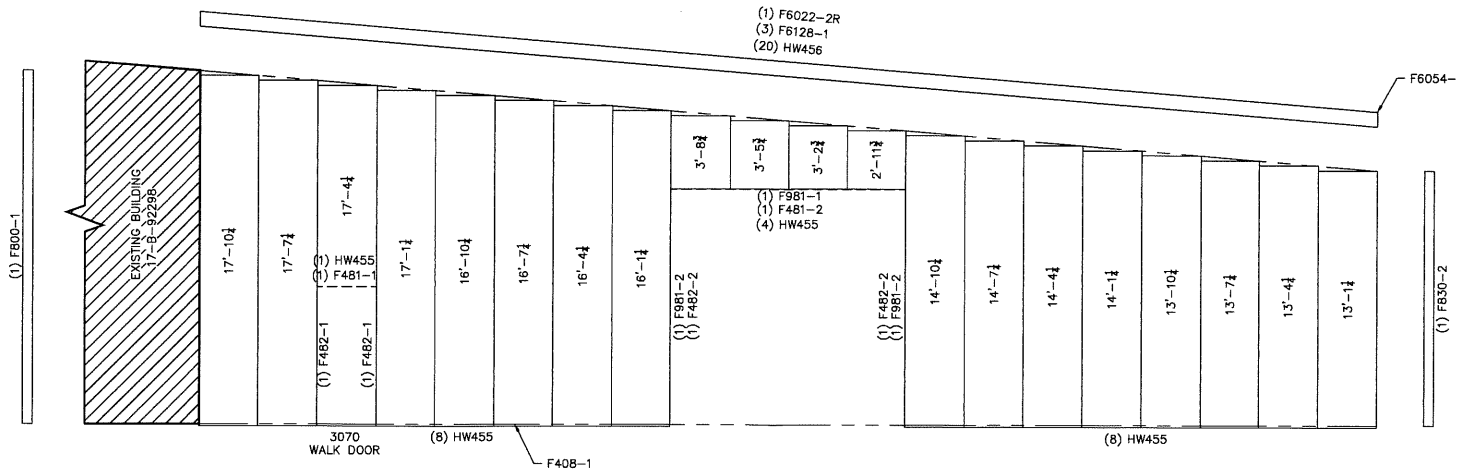
NOTE: Use LA1-1, RA1-1 angles for liner system and insulation by others in roof. Refer Details - RL01010X, RL01008X.
Use F29-1, F30-1 insulation trim angles in walls. Refer Detail - GD03001

APPROXIMATE MEMBER WEIGHTS	
PART MARK	WEIGHT
CSW3A	223
CSW4A	200
C1D	214
C2D	277
R1DA	784
R1DC	166

CL207 - FASTENS BETWEEN THE GIRTS ON EACH SIDE OF THE ENDWALL COLUMNS, AT ALL GIRT ELEVATIONS. REFER TO DETAILS.

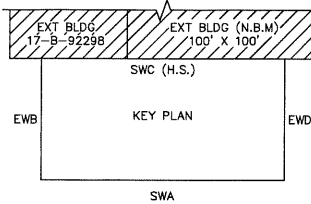


ELEVATION "EWB"



WALL SHEETING ELEVATION "EWB"
BLDG "C"

NOTE: FOR SEALED WALL REQUIREMENTS, REFER DETAILS - GD16001, GD16002 & PW05004



PBR WALL PANELS
PANEL COVERAGE = 3'-0"
COLOR = LIGHT STONE
PANEL PKG. REQ'D. = PBS-1
Field Cut Panel and Trim as
required per Construction Details

This item has been electronically signed and sealed by Bejun N. Anklesaria, P.E., and/or time stamp shown using a digital signature. Printed copies of this document and the signature must be verified by a 3rd Party Certificate Authority.

Non-Standard PBR Roof Panel Fasteners

#5B member fasteners are to be used for panel to secondary attachment in lieu of #17A shown on the R Drawings
#4 lap fasteners are to be used for panel to panel and panel to trim attachment in lieu of #4A shown on the R Drawings



By	CK'd	Description	Date	Revision
PSR		FOR CONSTRUCTION PERMIT	12/06/23	A
MOS		FOR ERECTOR INSTALLATION	12/06/23	0

space bids quality speed economy
 250 CAPE HIGHWAY, SUITE 2A & 3, EAST FAIRBANK, MA 02118, FAX 988-823-2222, TEL 988-823-1777
 Project Name & Location: METAN MARINE RESTORATION INC., WELCH DR, LAKEVILLE, MA 02347-1348 US
 Customer: MIKE BORELLI, WELCH DR, LAKEVILLE, MA 02347-1348 US
 Drawing Status: Preliminary, For Approval, For Construction, For Erector Installation

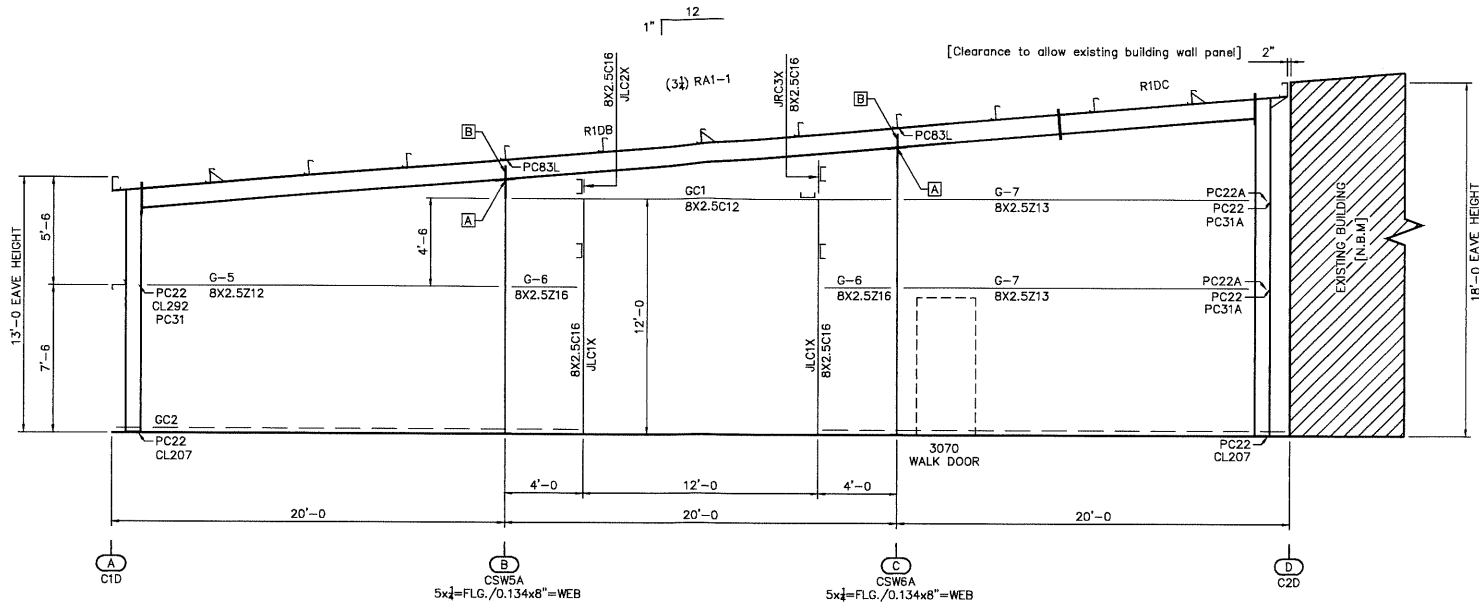
Scale: NOT TO SCALE
 Drawn by: PSR 11/30/23
 Checked by: MOS 12/6/23
 Project Engineer: JDM
 Job Number: 19-B-52440
 Sheet Number: E6 of 11
 The engineer whose seal appears hereon is an employee for the manufacturer, Corstone Building Brands or one of its affiliates, for the materials described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.
 BEJUN N. ANKLESARIA, S.E., P.E.
 MASSACHUSETTS P.E. #6339

SPLICE BOLT TABLE					
CONN.	QTY.	SIZE	TYPE	HARDENED WASHERS	BEVELED WASHERS
A	(4)	1/2" X 1 1/2"	A325 B&N	4	0
B	(4)	3/4" X 1 1/2"	A325 B&N	0	0

NOTE: Use LA1-1, RA1-1 angles for liner system and insulation by others in roof. Refer Details - RL01010X, RL01008X.
Use F29-1, F30-1 insulation trim angles in walls. Refer Detail - GD03001

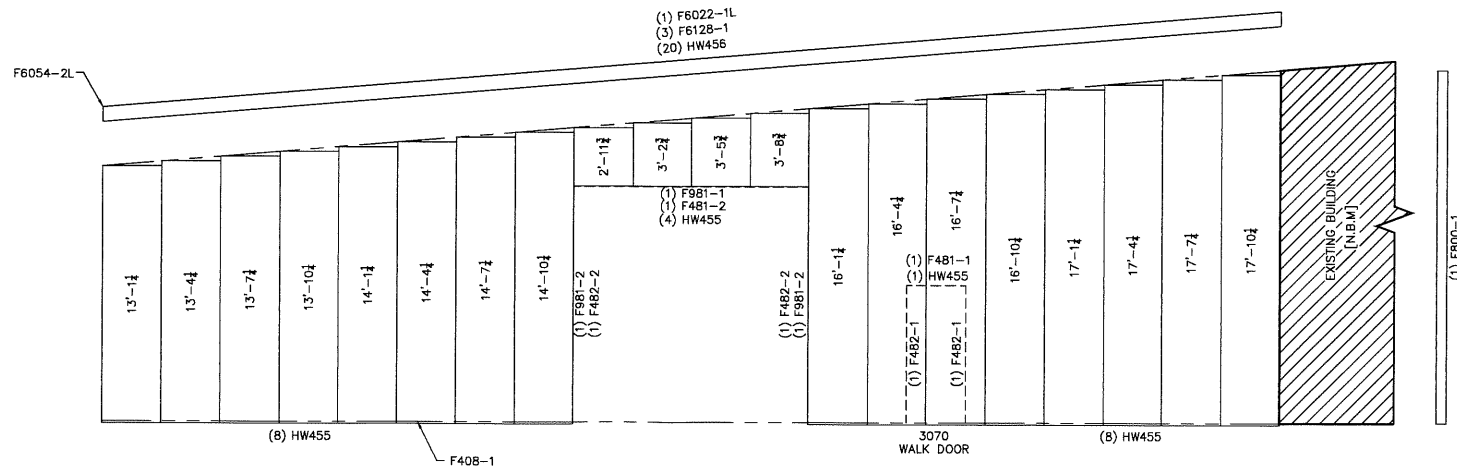
APPROXIMATE MEMBER WEIGHTS	
PART MARK	WEIGHT
CSW5A	200
CSW6A	223
C1D	214
C2D	277
R1DB	784
R1DC	166

CL207 - FASTENS BETWEEN THE GIRTS ON EACH SIDE OF THE ENDWALL COLUMNS, AT ALL GIRT ELEVATIONS. REFER TO DETAILS.



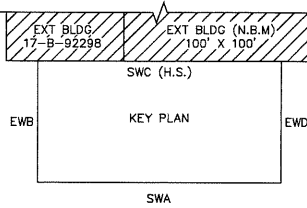
ELEVATION "EWD"

PBR WALL PANELS
PANEL COVERAGE = 3'-0"
COLOR = LIGHT STONE
PANEL PKG. REQ'D. = PBS-3
Field Cut Panel and Trim as required per Construction Details



WALL SHEETING ELEVATION "EWD"
BLDG "C"

NOTE: FOR SEALED WALL REQUIREMENTS, REFER DETAILS - GD16001, GD16002 & PW05004



Non-Standard PBR Roof Panel Fasteners

#58 member fasteners are to be used for panel to secondary attachment in lieu of #17A shown on the R Drawings
#4 lap fasteners are to be used for panel to panel and panel to trim attachment in lieu of #4A shown on the R Drawings

By	Chk'd	Description
PSR	MOS	FOR CONSTRUCTION PERMIT
PSR	MOS	FOR ERECTOR INSTALLATION

Revision	Date	Description
A	12/06/23	FOR CONSTRUCTION PERMIT
0	12/06/23	FOR ERECTOR INSTALLATION

speed quality blids <small>290 CAPE HIGHWAY SUITE A & B 6001 FAIRVIEW, MA 02747 TEL: 978-463-7777</small>	economy <small>EMAIL: SPACELIBIDS.COM</small>
--	---

Project Name & Location:
 METAN MARINE RESTORATION INC.
 210 WENDELL WELCH DR
 LAKEVILLE, MA 02347-1348 US

Customer:
 MIKE BORELLI WELCH DR
 LAKEVILLE, MA 02347-1348 US

Drawing Status:
 Preliminary
 For Approval
 For Construction Permit
 For Erector Installation

Scale: NOT TO SCALE
 Drawn by: PSR 11/30/23
 Checked by: MOS 12/6/23
 Project Engineer: JDM
 Job Number: 19-B-52440
 Sheet Number: E7 of 11

The engineer whose seal appears hereon is an employee for the manufacturer, Cornerstone Building Brands or one of its affiliates, for the materials described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.

BEJUN N. ANKLESARIA, S.E., P.E.
 MASSACHUSETTS P.E. 46339

This item has been electronically signed and sealed by Bejun N. Anklesaria, S.E., P.E. on 12/06/23 and/or time stamp shown using a digital signature. Printed copies of this document and the signature must be verified by a 3rd Party Certificate Authority and sealed.





Town of Lakeville
Lakeville Town Office Building
346 Bedford Street
Lakeville, Massachusetts 02347

OFFICE OF
ZONING BOARD OF APPEALS
Secretary: Cathy Murray

TO: Board of Health
Building Department
Conservation Commission
Planning Board ✓

FROM: Board of Appeals


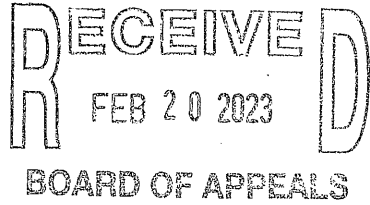
DATE: February 20, 2024

RE: Attached Petition for Hearing
Joyce – 51 Shore Avenue

Attached please find a copy of one (1) Petition for Hearing, which has been submitted to the Board of Appeals. The hearing for this petition will be held on March 21, 2024.

Please review and forward any concerns your Board may have regarding this petition to the Board of Appeals, if possible, no later than Friday, March 15, 2024.

Thank you.

Appeal Number:	 Town of Lakeville ZONING BOARD OF APPEALS 346 Bedford Street Lakeville, MA 02347 774-776-4350	Received by Town Clerk
Hearing Date:		
EXHIBIT "A"		

ZONING BOARD OF APPEALS APPLICATION
PETITION FOR HEARING

Property Address: 51 Shore Ave
 Zoning District: residential business _____ industrial _____
 Map 41 Block 9 Lot 20
 Registry of Deeds: Book No. 5782 Page No. 270

Applicant (Petitioner)		Owner	
Applicant's Name:	<u>Scott Joyce</u>	Owner's Name:	<u>Scott Joyce</u>
Applicant's Address:	<u>3 Angela Drive</u>	Owner's Address:	<u>3 Angela Drive</u>
City, State, ZIP:	<u>Foxboro, MA, 02035</u>	City, State, ZIP:	<u>Foxboro, MA, 02035</u>
Phone:	<u>774-571-7511</u>	Phone:	<u>774-571-7511</u>
Email:	<u>scottlejoyce@gmail.com</u>	Email:	<u>scottlejoyce@gmail.com</u>
Engineer (If any)			
Name:		Phone:	
Mailing Address:		Email:	
Representative (If any)			
Name:		Phone:	
Mailing Address:		Email:	

Nature of Relief Sought:

X Special Permit(s) under Section(s) 270.6.3 of the Zoning Bylaw.

Variance(s) from Section(s) _____ of the Zoning Bylaw.

Appeal from Decision of the Building Inspector/Zoning Enforcement Officer.

Date of Denial _____

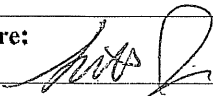
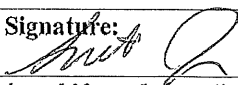
Lot area: 15,682 Frontage: 200 ft

Setback	Required*	Existing	Proposed
Front Setback	40	15	20
Rear Setback	20	50	60
Right Side Setback	20	100	70
Left Side Setback	20	15	70
Lot Coverage	Maximum allowed	Existing	Proposed
			200 sf ft

*See Lakeville Zoning Bylaw-Section 5.1-Intensity Regulations

Description of Proposal and/or Decision Being Appealed. Please attach separate narrative if additional space is needed. Attached

I HEREBY REQUEST A HEARING BEFORE THE ZONING BOARD OF APPEALS WITH REFERENCE TO THE ABOVE PETITION OR APPEAL. ALL OF THE INFORMATION ON THIS PETITION, TO THE BEST OF MY KNOWLEDGE, IS COMPLETE AND ACCURATE AND CONFORMS TO THE REQUIREMENTS OF THE ZONING BOARD OF APPEALS OF THE TOWN OF LAKEVILLE.

Applicant's Signature: 	*Owner's Signature: 
	*Must be signed if not the applicant

Scott Joyce
51 Shore Ave
Lakeville, MA 02347
2/14/2024

To Whom It May Concern (Lakeville ZBA),

I'm looking for a special permit to build a 200 sq foot utility Shed on blocks (no excavation work). Given the unique setup of the lot, I'm looking to build the structure with a 20-foot front setback opposed to the standard 40-foot setback. Once complete the utility shed will align with the setback of the existing main residence and look as one would expect.

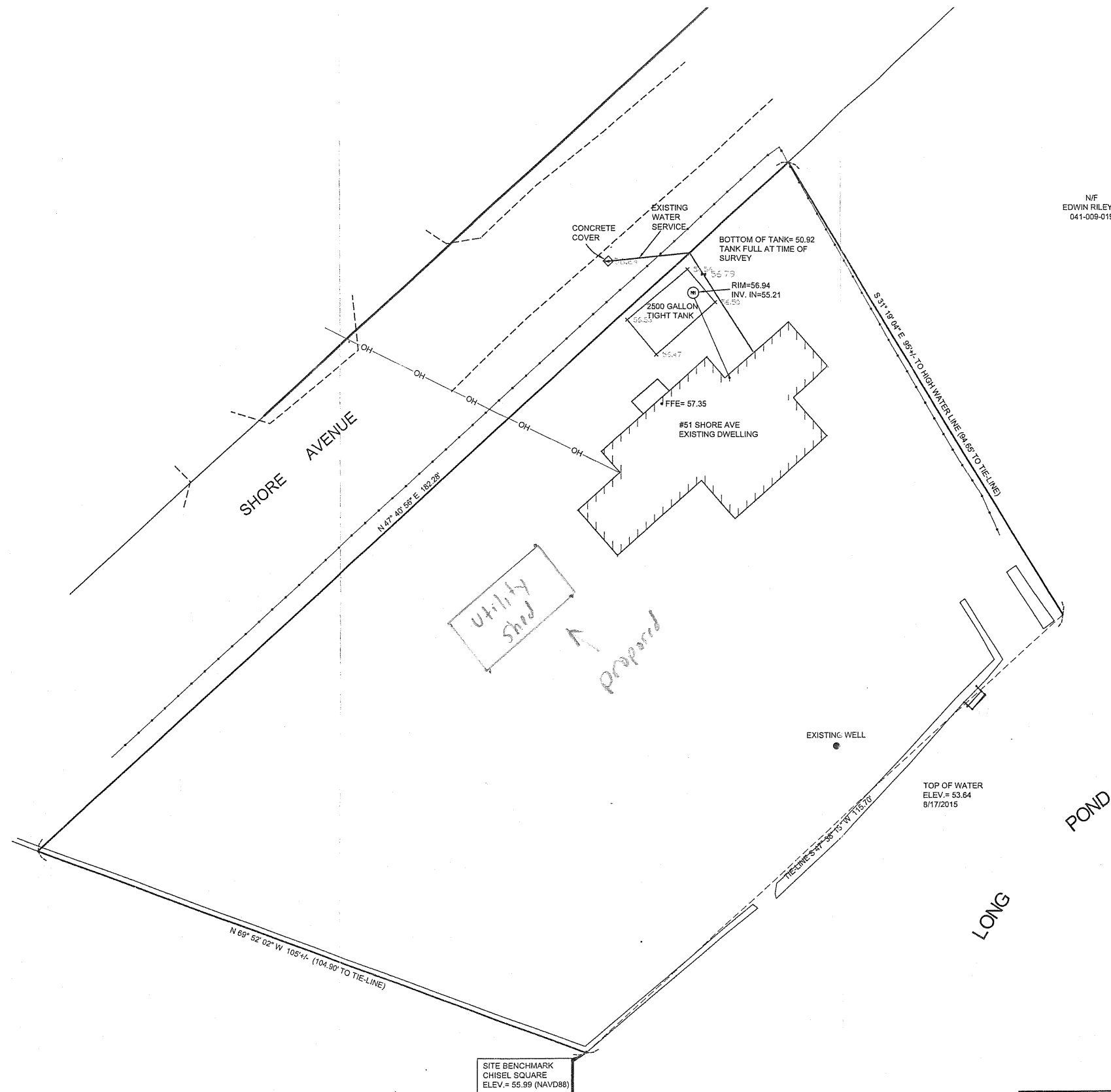
The property is the last house on a dead-end dirt road and will meet all other required setbacks without concern.

Sincerely,

A handwritten signature in black ink, appearing to read 'Scott Joyce', written in a cursive style.

Scott Joyce

TING WELL



N/F
EDWIN RILEY III
041-009-019

PROPERTY ADDRESS
51 SHORE AVENUE

CURRENT OWNER
SHIRLEY CHICONE

ASSESSORS' REFERENCE
041-009-020

DEED REFERENCE
BK. 4176 - PG. 192 & BK. 4388 - PG. 214

PLAN REFERENCE
PLAN #810 - 1955

FEMA FLOOD ZONE
ZONE AE (EL57)

VERTICAL DATUM SHOWN
NAVD88

THIS IS TO CERTIFY THAT THE TIGHT TANK IS FULLY FUNCTIONAL WITH PROPER PIPING, GASKETED TEE AND FUNCTIONING FLOAT AND ALARM. THE REQUIRED IMPROVEMENT THAT HAS NOT YET BEEN COMPLETED IS THE WATER SERVICE MUST BE RELOCATED TO BE 10' FROM THE TANK OR BE ENCASED.



Richard J. Rheame
RICHARD J. RHEAME, P.E. DATE: August 17, 2018



RECEIVED
AUG 20 2018
LAKEVILLE
BOARD OF HEALTH

DRAWING TITLE		AS-BUILT PLAN		SCALE:	1" = 10'
PROJECT		51 SHORE AVENUE LAKEVILLE, MASSACHUSETTS		DATE:	SEP. 1, 2015
CLIENT		SHIRLEY CHICONE LAKEVILLE, MASSACHUSETTS		DRAWN BY:	BNP
DESIGNED BY:		RJR		CHECKED BY:	RJR
APPROVED BY:		RJR		SHEET NO.	1 OF 1
PROJECT NO.		1463-01-01		P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050 FAX: 508.947.2004	
REV.	DATE	DESCRIPTION	BY	APP.	

D:\Survey\PROJECTS\LAKEVILLE\SHORE AVE\51 SHORE AVENUE\DWG\1463-SURV-BASE-2018.dwg



Town of Lakeville

PLANNING BOARD
346 Bedford Street
Lakeville, MA 02347
774-776-4350

MEMORANDUM

TO: Planning Board

FROM: Cathy

DATE: March 6, 2024

SUBJECT: Release of funds

The applicant has requested the Planning Board vote to release the following funds from the peer review account. These amounts were not expended and the balance totals have been confirmed by both the Town Accountant and Town Treasurer.

Joshua Estates	\$4,828.00
Deerfield Estates	\$9,930.62

Thank you for your attention to this matter.

Cathy

**Planning Board
Lakeville, Massachusetts
Minutes of Meeting
Thursday, February 8, 2024**

On February 8, 2024, the Planning Board held a meeting at the Lakeville Police Station. The meeting was called to order by Chairman Knox at 7:00 p.m. LakeCam was recording, and it was streaming on Facebook Live. It was noted that no one else present was recording.

Members present:

Mark Knox, Chair; Michele MacEachern, Vice-Chair, John Cabral, Jack Lynch

Public Hearing (7:00) Site Plan Review, continued - 2 & 4 Bedford St.

Mr. Knox advised this was a continued public hearing which had been opened at their last meeting. The applicant had requested the hearing be continued to their next meeting. Mr. Knox then made a motion, seconded by Mr. Cabral, to continue the Site Plan Review hearing for 2 & 4 Bedford Street until February 22, 2024, at 7:00 p.m. The **vote** was **unanimous for**.

Planning Board Goals

Mr. Knox then read through the Planning Board goals. There was discussion regarding goal #5 having the buildable land area calculated. Ms. MacEachern said her thought would be as they are using their SRPEDD hours for the Housing Production Plan, they could potentially use their hours starting on July 1st for this. Therefore, the date of July 2024 could remain. Regarding if there was a need for an Adult Entertainment District, Mr. Knox said there is a need for this district because if there wasn't one, it could go anywhere.

Ms. MacEachern said the other goal of reviewing the current zoning and existing uses was what she was hoping could get done by SRPEDD as well. Mr. Knox said that they probably would want to, as a Board, look at that map so they have answers. They can't just turn it over to SRPEDD and have them drive around Town. They need to do the background. Ms. MacEachern said they do have a map that shows current uses. Mr. Knox said there are some inaccuracies on that. They are the ones that will ultimately need to make the decision if they want to rezone for business growth or to change zoning that is not feasible. These are the things they need to do internally before they turn it over to SRPEDD. Ms. MacEachern clarified that she wanted SRPEDD to do an overlay of the zoning on top of the use.

A goal of identifying the 40B, 40R, and 3A and applicable property was then discussed. Ms. MacEachern said that has already been done by SRPEDD, and the action plan has been approved. Mr. Knox felt they could move this up to the top of the list, as it appeared it would be able to come off the list soon. The next goal discussed was meeting with other Board such as CPC and Conservation. It was decided to change the date to September.

Regarding meeting with the Master Plan Committee, Mr. Knox said that he had met with them in December and advised the Planning Board would update them quarterly. Based on the review of this list, he felt he could give them an email update in March. The next goal was to adopt the Stormwater Management bylaw. Mr. Knox said the Town has a draft. Ms. MacEachern added that Environmental Partners had come up with a draft for the Town a couple of years ago. She thought it was just a matter of getting it through the chain of approval, including the DPW Director, Building Commissioner, Select Board, etc. It was unsure if this would be a Zoning or General bylaw.

Mr. Knox said the next goal is to update Priority Protection and Priority Development areas. Ms. MacEachern said the last update from SRPEDD is supposedly within the next month, they should have drafts for the communities to review. She did not know what information had been exchanged between the Town and SRPEDD prior. It sounded like some areas had been designated. Mr. Knox said he would then add in process in the timebound column.

Review Use Chart in Zoning By-law was the last goal. Ms. MacEachern clarified it was not the same as goal #6. One is the map and this is to see if the zoning use chart is compatible to what they want to see in Town. Mr. Lynch asked if they had heard from the residents. Ms. MacEachern replied that this would be a good opportunity to get input from them. Mr. Knox said some of that information is in the Master Plan, but because some uses are not listed in the use chart, the next most similar use is called out. This would be a chance to clarify that language within the use chart in their zoning. This agenda item will be placed on a March agenda.

Discuss update of regulations

Mr. Knox said he knew that Ms. MacEachern had been working on this. It was noted that this was not in a word document. Ms. MacEachern then began with some of the following changes:

- She changed the purpose to add language that mirrors Site Plan Review, and adding septic, and stormwater. She noted that there are also a lot of Sections mentioned. They should check to make sure that none of these have changed.
- On page 13, under inspection fees, it has the numeric four rather than it being spelled out.
- The upland circle has to be changed to the front yard circle
- Everywhere it says 14 days for an ANR Plan change to 21 days.
- Highway Department should be changed to DPW
- Board of Selectmen should be changed to Select Board
- Under Definitive Plan Submission different forms are mentioned. Were these available in an appendix? She thought if they were referencing forms they should be viewable.
- Upland circle referencing a section in the bylaw needs to be verified
- Review by other Town officials and then having the developer responsible for doing that. This is something that is not being done anymore and needs to be changed.
- Looking at areas where the Town Planner is referenced.
- Referencing additional forms related to covenants

Mr. Knox asked that this be placed on their next agenda.

Approve Meeting Minutes

Ms. MacEachern made a motion, seconded by Mr. Lynch, to approve the January 11, 2024, meeting minutes. The **vote** was **unanimous for**.

SRPEDD contract extension – informational

The contract had been received and forwarded to the Town Administrator for his signature.

Sign peer review invoice

Mr. Knox made a motion, seconded by Mr. Cabral, to allow the Chairman to sign the peer review invoice for 156 County St. The **vote** was **unanimous for**.

Old Business – OSRD update

Mr. Knox advised they met with the Board of Health last night. It had been a constructive meeting, and they had received some input and feedback from them. Ms. MacEachern is in the process of working on a copy that is accepting all of the edits. He would bring this to Conservation because they have already met and were satisfied with the previous version. They were doing all the Boards again because they want to make sure they have full support.

Mr. Knox continued that a copy will also have to be circulated to the Building Commissioner for his review. He noted that there is also some relief factored in for the open space percentage if a senior component is included in the developed portion. This would also benefit the Master Plan initiative to bring senior housing in to Town. If everyone agreed with that, they will keep that language in place and would have to consult with Town Counsel to ensure that it would be in perpetuity.

Next meetings

The next meeting is a joint meeting with the Select Board scheduled for February 12, 2024, at 5:45 p.m. at the Lakeville Police Station. The next regular Planning Board meeting is scheduled for February 22, 2024, at 7:00 p.m. at the Lakeville Police Station.

Adjourn

Mr. Knox made a motion, seconded by Mr. Cabral, to adjourn the meeting. The **vote** to adjourn was then **unanimous for**.

Meeting adjourned at 7:33