



Received & posted: _____
Newspaper, Inc.
Town Clerk RECEIVED
LAKEVILLE TOWN CLERK

REMOTE MEETING NOTICE/ AGENDA

Posted in accordance with the provisions of MGL Chapter 30A, §. 18-25

2021 APR 20 PM 2: 20

Name of Board, Committee or Commission:	Planning Board
Date & Time of Meeting:	Thursday, April 22, 2021 at 7:00 p.m.
Location of Meeting:	REMOTE MEETING
Clerk/Board Member posting notice	Cathy Murray

AGENDA

1. In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G.L. c.30A, §20, relating to the 2020 novel Coronavirus outbreak emergency, the April 22, 2021, public meeting of the **Planning Board** shall be physically closed to the public to avoid group congregation. **However, to view this meeting in progress, please go to facebook.com/LakeCAM/ (you do not need a Facebook account to view the meeting). This meeting will be recorded and available to be viewed at a later date at <http://www.lakecam.tv/>**
2. **Site Plan Review, continued – 15 Main Street – Presented by Nyles Zager, Zenith Consulting Engineers**
3. **Site Plan Review – 56 Main Street – Presented by William Mohan**
4. **Julia's Way-Release of Covenant-Update**
5. **Ledgewood Estates-Release of Municipal Interest in Subdivision Security-Update**
6. **Approve Meeting Minutes for February 4, 2021, February 18, 2021, and March 11, 2021.**
7. **Old Business**
8. **New Business**
9. **Next meeting. . . April 29, 2021-Zoning Amendments Public Hearings**
10. **Any other business that may properly come before the Planning Board.**
11. **Adjourn**

Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the Planning Board arise after the posting of this agenda, they may be addressed at this meeting.

Read the following into the record:

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G.L. c.30A, §20, relating to the 2020 novel Coronavirus outbreak emergency, the April 22, 2021, public meeting of the **Planning Board** shall be physically closed to the public to avoid group congregation. **However, to view this meeting in progress, please go to [facebook.com/lakecam](https://www.facebook.com/lakecam) (you do not need a Facebook account to view the meeting). This meeting will be recorded and available to be viewed at a later date at <http://www.lakecam.tv/>**

Cathy Murray, Appeals Board Clerk

#2

From: Michael P. O'Brien, Fire Chief
Sent: Friday, April 9, 2021 11:13 AM
To: Cathy Murray, Appeals Board Clerk
Cc: nyles@zcellc.com
Subject: RE: 15 Main Street

Also,

I am in favor of the painted fire lanes as described in the April 8th meeting.

Thank you,

Mike

From: Michael P. O'Brien, Fire Chief
Sent: Friday, April 9, 2021 10:15 AM
To: Cathy Murray, Appeals Board Clerk <cmurray@lakevillema.org>
Cc: nyles@zcellc.com
Subject: RE: 15 Main Street

Dear Cathy,

I met with Niles this morning regarding the fire lanes and turning radius for fire trucks.

While the lot size is not ideal, the fire lanes and turning radius is acceptable and compliant.

We discussed an acceptable location for the fire hydrant.

I also explained my experience with self storage and the special hazards that the present to the department.

No restrictions from me at this time.

Thank you!

Mike

Michael P. O'Brien

FIRE CHIEF
LAKEVILLE FIRE DEPARTMENT
346 Bedford Street
Lakeville, MA 02347
PH 508-947-4121

SELF-STORAGE SITE PLAN

15 MAIN STREET

LAKEVILLE, MASSACHUSETTS



LOCUS PLAN
SCALE: 1"=500'

OWNER/APPLICANT
DBT INVESTMENTS, LLC
556 CENTER STREET, SUITE D
MIDDLEBOROUGH, MA 02346

SITE NOTES:

- THE SITE IS LISTED ON THE TOWN OF LAKEVILLE ASSESSORS PROPERTY RECORD CARDS AS PARCEL ID 6-7-18.
- PROPERTY LINE AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A FIELD SURVEY BY MADDOGH LAND SURVEYING, LLC.
- PLYMOUTH COUNTY REGISTRY OF DEEDS:
 DEED REFERENCE: BOOK 51723 PAGE 55
 PLAN REFERENCE: BOOK 62 PAGE 232
- THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF PLYMOUTH COUNTY, MASSACHUSETTS, MAP NUMBER 2502300318K, MAP REVISED 7-16-15.
- THE SITE IS NOT LOCATED IN A PRIORITY HABITAT AND ESTIMATED HABITAT AS SHOWN ON THE MASSACHUSETTS NATURAL HERITAGE ATLAS 14TH EDITION EFFECTIVE DATE AUGUST, 2017.
- THE WETLAND LINE SHOWN ON THESE PLANS WAS TAKEN FROM AN APPROVED WETLAND LINE SHOWN ON A PLAN PREPARED BY HERITAGE DESIGN GROUP, DATED 2-20-07 FOR LAKEVILLE HOSPITAL REALTY, LLC, RECORDED IN PLAN BOOK 55, PAGE 135 AT THE PLYMOUTH COUNTY REGISTRY OF DEEDS.
- THE PROJECT IS NOT LOCATED WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC).
- THE SITE IS NOT LOCATED IN A ZONE II TO A PUBLIC WATER SUPPLY WELL.
- THE SITE IS NOT IN A ZONE A TO A SURFACE WATER SUPPLY AREA.
- THE SITE IS NOT LOCATED IN AN OUTSTANDING RESOURCE WATER AREA (ORWA).

CONSTRUCTION NOTES:

- A NPDES FILING MUST BE SUBMITTED FOR THIS PROJECT PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY BENCHMARKS FOR CONSISTENCY PRIOR TO CONSTRUCTION AND SHALL NOTIFY ZENITH CONSULTING ENGINEERS, LLC OF ANY DISCREPANCIES.
- CONTRACTOR SHALL VERIFY WATER TABLE ELEVATIONS AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES FROM THE PLAN.
- IT IS THE CONTRACTORS' RESPONSIBILITY TO CONTACT DIG SAFE (1-888-DIG SAFE) PRIOR TO THE COMMENCEMENT OF WORK AND ALL UNDERGROUND UTILITY COMPANIES TO CONFIRM LOCATIONS AND ELEVATIONS.
- SITE IS TO BE SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER.
- ALL PAVEMENT MARKING AND SIGNAGE SHALL CONFORM TO MUTCD STANDARDS.
- PROPOSED UTILITIES AND CONSTRUCTION METHODS UNDER AREAS SUBJECT TO TRAFFIC LOADING SHALL BE INSTALLED TO WITHSTAND H-20 LOADING TRAFFIC STANDARDS. CONTRACTOR SHALL VERIFY THAT ALL STRUCTURES COMPLY TO THIS STANDARD.
- WHERE ALL CONCRETE STRUCTURES INTERCEPT THE SEASONAL HIGH GROUNDWATER TABLE, THE CONTRACTOR SHALL SEAL THE ENTIRE STRUCTURE WITH WATERPROOF SEALER.
- IF APPLICABLE, ANY RETAINING WALLS SHALL BE DESIGNED BY A MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.
- ALL WORK SHALL CONFORM TO THE TOWN OF LAKEVILLE RULES AND REGULATIONS AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY AND BRIDGES, MOST CURRENT VERSION OF PLAN SET.

PARKING SUMMARY

ZONING REGULATION 6.5.3.3
 WHOLESALE, WAREHOUSE OR STORAGE ESTABLISHMENT - 1 SPACE / EMPLOYEE ON THE LARGEST SHIFT
 MINIMUM REQUIRED: 3 EMPLOYEES = 3 SPACES
 OFFICE - 1 SPACE / 300 SF OR 1 SPACE / EMPLOYEE (USE GREATER OF THE TWO)
 MINIMUM REQUIRED: 3 EMPLOYEES = 3 SPACES
 TOTAL SPACES REQUIRED (USE GREATER OF THE TWO USES): 3 SPACES
 PROVIDED: 8 SPACES

HANDICAPPED PARKING

ADA STANDARDS FOR ACCESSIBLE DESIGN 28 CFR PART 38
 MINIMUM REQUIRED: 1 FOR PARKING LOT BETWEEN 1 AND 25 SPACES
 PROVIDED: 1 HC SPACE (VAN ACCESSIBLE)

SEPTIC SUMMARY

ESTIMATED DAILY FLOW:
 FACTORY, INDUSTRIAL PLANT, WAREHOUSE OR DRY STORAGE SPACE W/O CAFETERIA - 15 GPD/PERSON
 15 GPD/PERSON X 3 PEOPLE = 45 GPD
 OFFICE BUILDING - 75 GPD/1,000 S.F.
 75 GPD/1,000 S.F. X 900 S.F. = 67.5 GPD
 TOTAL FLOW = 45 + 67.5 = 112.5 GPD (USE 200 GPD MIN FOR OFFICE BUILDING)

SEPTIC TANK REQUIREMENT:
 200 GPD X 3.0 = 600 GALLONS
 USE 1,500 GALLON 2-COMPARTMENT SEPTIC TANK PER LAKEVILLE BOARD OF HEALTH REQUIREMENTS

SOIL ABSORPTION SYSTEM REQUIREMENT:
 PERCOLATION RATE - < 2 MIN/INCH (CLASS 1 SOIL)
 ALLOWED LOADING RATE = 0.74 GPD/SF
 LEACHING AREA REQ'D = (200 GPD) / (0.74 GPD/SF) = 271 SF
 TRY A PRESBY ENVIRO-SEPTIC BED

SOIL ABSORPTION SYSTEM PROVIDED:
 TASK 1: DETERMINE THE LINEAR FOOTAGE OF ENVIRO-SEPTIC PIPE REQUIRED:
 PERC RATE 1-9 MPH = 50 LF/100 GPD = 0.5 LF/GPD
 200 GPD X 0.5 LF/GPD = 100 LF OF PIPE REQUIRED
 500 GPD MAXIMUM PER SECTION: 200 GPD/ 500 GPD/SECTION = 1 SECTION MINIMUM

TASK 2: DETERMINE THE PERCENTAGE OF SLOPE ON THE PROPOSED SYSTEM:
 0% PERCENT SYSTEM SLOPE

TASK 3: DETERMINE THE MINIMUM CENTER TO CENTER PIPE SPACING:
 SLOPE = 0% PERC RATE 1-9 MPH:
 1.5' MINIMUM CENTER TO CENTER PIPE SPACING
 USE 3.25' CENTER TO CENTER PIPE SPACING

TASK 4: DETERMINE PIPE LINE LAYOUT
 LINE LENGTH = 30 LF
 TOTAL NUMBER OF LINES PER SECTION = 4
 TOTAL LINEAR FEET OF ENVIRO-SEPTIC 4 LINES X 30 LF/LINE X 1 SECTION = 1200 TOTAL LF

TASK 5: CALCULATE THE TOTAL SYSTEM SAND BED AREA
 NO LESS THAN 60% OF THE AREA OF A PIPE AND AGGREGATE SYSTEM (NO LESS THAN 400 SF)
 PIPE AND AGGREGATE SYSTEM LEACHING AREA REQ'D = (200 GPD)/(0.74 GPD/SF) = 148 SF
 148 X 0.6 = 89 SF (USE 400 S.F. MINIMUM) = (32' X 12.75' = 408 SF PROVIDED)

THIS SEPTIC DESIGN IS PRELIMINARY AND IS SUBJECT TO CHANGE. A SEPTIC DESIGN PLAN SHALL BE PREPARED FOR THE LAKEVILLE BOARD OF HEALTH PRIOR TO CONSTRUCTION.

ZONING SUMMARY AND COMPLIANCE TABLE (BUSINESS & RESIDENTIAL WITH MIXED USE OVERLAY)				
CRITERIA	BUSINESS	RESIDENTIAL	EXISTING	PROPOSED
LOT AREA	70,000 S.F.	70,000 S.F.	142,103± S.F.	142,103± S.F.
CONTIGUOUS UPLAND AREA	52,500 S.F.	52,500 S.F.	132,123± S.F.	132,123± S.F.
FRONTAGE	175'	175'	175.03'	175.03'
FRONT BUILDING SETBACK	40'	40'	76.2'	101.6'
SIDE BUILDING SETBACK	40'	20'	-	> 40'
REAR BUILDING SETBACK	40'	20'	> 40'	> 40'
BUILDING HEIGHT	35'	35'	< 35'	< 35'
IMPERVIOUS COVER	50%	25%	10.7% (14,073±S.F.)	44.4% (55,150±S.F.)

IMPERVIOUS COVER (PER LAKEVILLE ZONING SECTION 5.2.2.1)	
TOTAL LOT AREA	142,103 SF
WETLAND AREA	9,980 SF
PROPOSED DRAINAGE BASIN	8,000 SF
ADJUSTED AREA FOR IMPERVIOUS CALCULATION	124,123 SF
PROPOSED ROOF AND PAVEMENT AREA	54,872 SF
IMPERVIOUS AREA = 54,872 SF	= 44.4%
ADJUSTED AREA = 124,123 SF	

LAKEVILLE PLANNING BOARD

APPROVED: _____
 ENDORSED: _____



ZCE
 ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
---	BUILDING	---
---	CONTOUR	---
---	SPOT GRADE	---
---	SILT SOCK	---
---	CHAINLINK FENCE	---
---	STOCKADE FENCE	---
---	GUARDRAIL	---
---	SIGN	---
---	TEST PIT	---
---	DRAINAGE PIPE	---
---	ROOF DRAIN PIPE	---
---	CATCH BASIN	---
---	DRAIN MANHOLE	---
---	FLARED END	---
---	GAS MAIN	---
---	GAS SERVICE	---
---	GAS GATE VALVE	---
---	ELEC/TELE/CABLE	---
---	OVERHEAD WIRES	---
---	UNDERGROUND ELECTRIC	---
---	HANDHOLE	---
---	TRANSFORMER	---
---	UTILITY POLE	---
---	GLY WIRE/POLE	---
---	LIGHT POLE	---
---	FLOOD LIGHT	---
---	GRAVITY SEWER MAIN	---
---	FORCE SEWER MAIN	---
---	SEWER SERVICE	---
---	SEWER MANHOLE	---
---	SEWER VALVE	---
---	FIRE SUPPRESSION SERVICE	---
---	WATER MAIN	---
---	WATER SERVICE	---
---	HYDRANT	---
---	WATER GATE/SHUTOFF	---
---	MONITORING WELL	---
---	TREELINE	---
---	WETLAND LINE	---
---	100' BUFFER	---
---	WETLAND FLAG	---
---	BOUND	---
---	REBAR	---

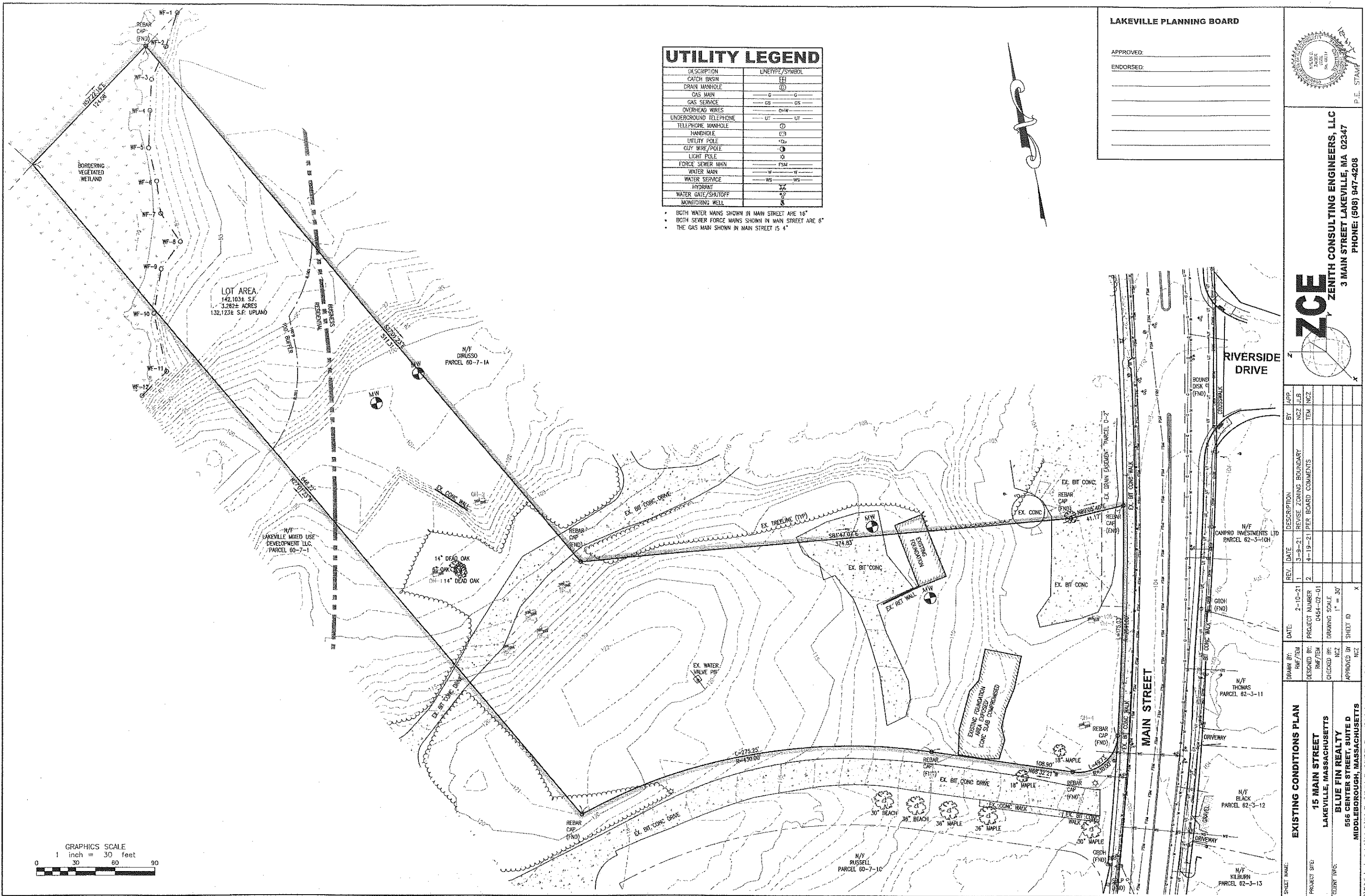
SCHEDULE OF DRAWINGS		
SHEET ID	PLAN TITLE	LATEST REVISION DATE
C	COVER SHEET	4-19-21
X	EXISTING CONDITIONS PLAN	4-19-21
L	SITE LAYOUT, LANDSCAPING & LIGHTING PLAN	4-19-21
G	GRADING, DRAINAGE & UTILITY PLAN	4-19-21
E	EROSION CONTROL PLAN	4-19-21
D	SITE DETAILS	4-19-21

DATE	REV.	DATE	DESCRIPTION	BY	APP.
2-10-21	1	3-9-21	REVISE ZONING BOUNDARY	NCZ	JLB
	2	4-19-21	PER BOARD COMMENTS	TEM	NCZ

COVER SHEET
15 MAIN STREET
LAKEVILLE, MASSACHUSETTS
BLUE FIN REALTY
556 CENTER STREET, SUITE D
MIDDLEBOROUGH, MASSACHUSETTS

FEBRUARY 10, 2021

Scale Engineering, Inc. 15 Main Street, Lakeville, MA 02347. Phone: 508-947-4208. Revised 4-19-21



UTILITY LEGEND

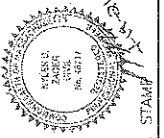
DESCRIPTION	LINE/TYP/SYMBOL
CATCH BASIN	□
DRAIN MANHOLE	⊕
GAS MAIN	G
GAS SERVICE	GS OS
OVERHEAD WIRES	OHW
UNDERGROUND TELEPHONE	UT UT
TELEPHONE MANHOLE	⊕
HANDHOLE	⊕
UTILITY POLE	⊕
GUY WIRE/POLE	⊕
LIGHT POLE	⊕
FORCE SEWER MAIN	FSM
WATER MAIN	W
WATER SERVICE	WS WS
HYDRANT	⊕
WATER GATE/SHUTOFF	⊕
MONITORING WELL	⊕

- BOTH WATER MAINS SHOWN IN MAIN STREET ARE 18"
- BOTH SEWER FORCE MAINS SHOWN IN MAIN STREET ARE 6"
- THE GAS MAIN SHOWN IN MAIN STREET IS 4"

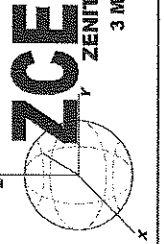
LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208



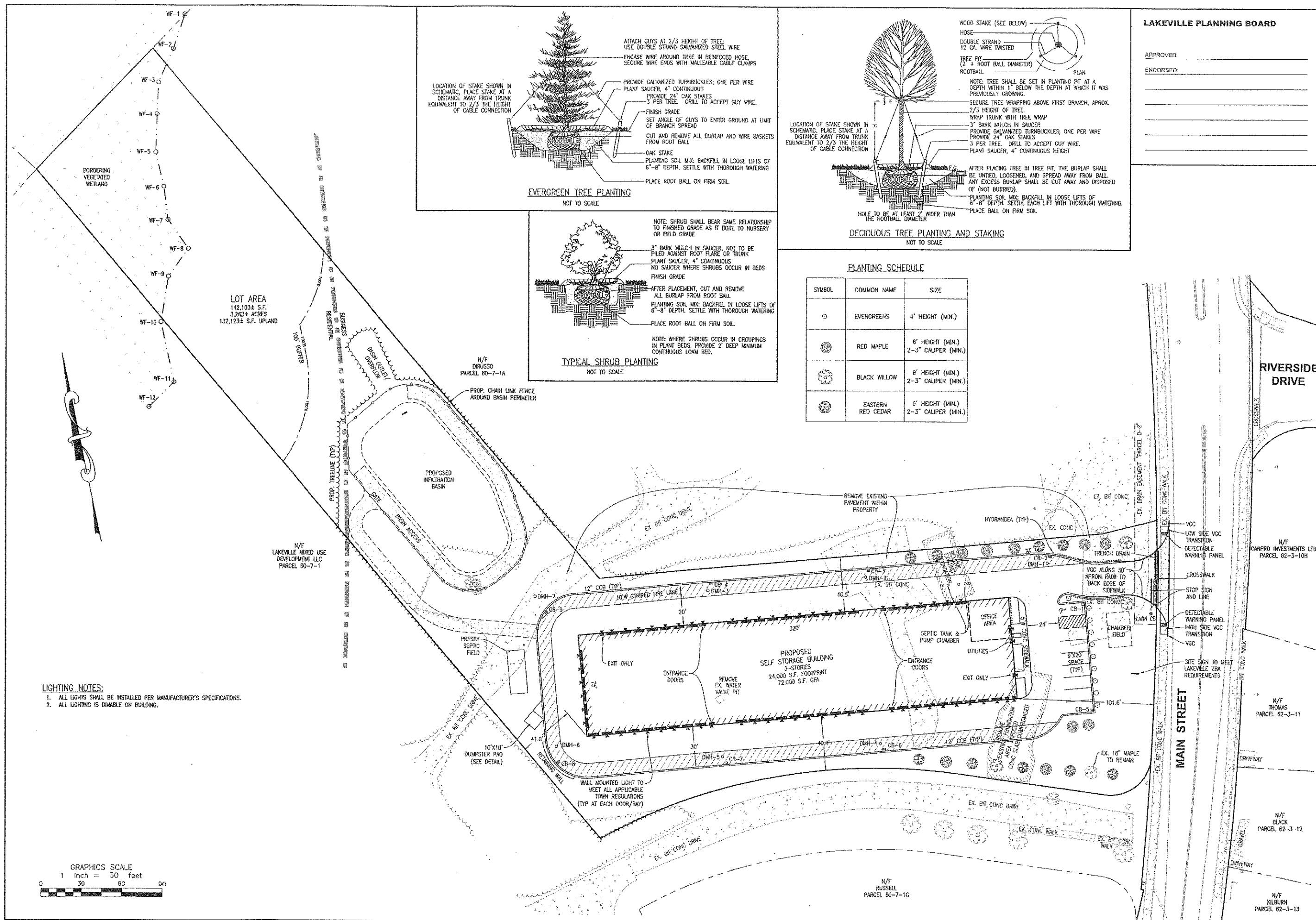
REV.	DATE	DESCRIPTION	BY	APP.
1	2-10-21	DATE	RMF/TEM	
2	3-9-21	PROJECT NUMBER	NCZ	
3	4-19-21	REVISION ZONING BOUNDARY	NCZ	
4		PER BOARD COMMENTS	TEM	

DATE	PROJECT NUMBER	DRAWING SCALE	SHEET ID
2-10-21	0404-02-01	1" = 30'	X

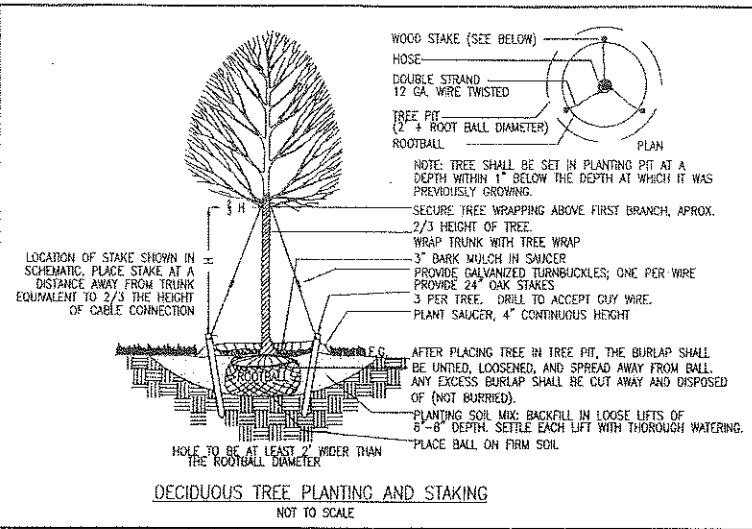
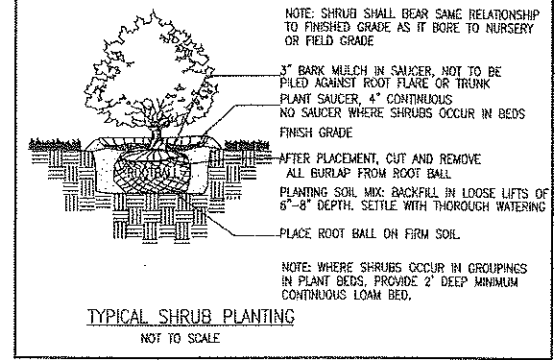
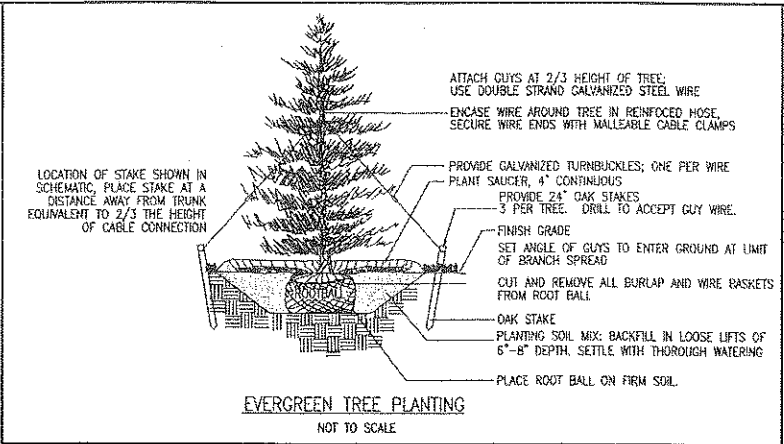
DATE	DESIGNED BY	CHECKED BY	APPROVED BY
2-10-21	RMF/TEM	NCZ	NCZ

GRAPHICS SCALE
 1 inch = 30 feet
 0 30 60 90

Scale Engineering Project/Lakeville Main Street/15 Main Street/0404-02-01-15 Main Street - Lakeville - Revised 4-18-21.dwg



LIGHTING NOTES:
 1. ALL LIGHTS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 2. ALL LIGHTING IS DIMABLE ON BUILDING.



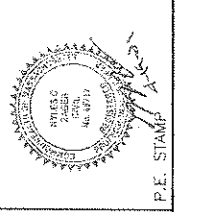
PLANTING SCHEDULE

SYMBOL	COMMON NAME	SIZE
⊙	EVERGREENS	4' HEIGHT (MIN.)
⊙	RED MAPLE	6' HEIGHT (MIN.), 2-3" CALIPER (MIN.)
⊙	BLACK WILLOW	6' HEIGHT (MIN.), 2-3" CALIPER (MIN.)
⊙	EASTERN RED CEDAR	6' HEIGHT (MIN.), 2-3" CALIPER (MIN.)

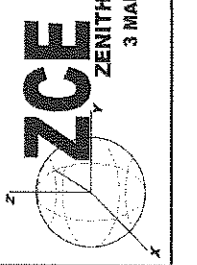
LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



ZCE
ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208



DATE	REV.	DESCRIPTION	BY	APP.
2-10-21	1	REVISE ZONING BOUNDARY	NCZ	JUB
3-9-21	2	PER BOARD COMMENTS	TEA	NCZ
4-19-21				

SITE LAYOUT, LIGHTING & LANDSCAPING PLAN

PROJECT SITE: 15 MAIN STREET LAKEVILLE, MASSACHUSETTS

CLIENT: BLUE FIN REALTY, 556 CENTER STREET, SUITE D MIDDLEBOROUGH, MASSACHUSETTS

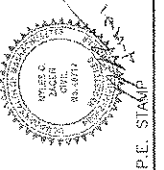
DATE: 2-10-21
 PROJECT NUMBER: 06EA-02-01
 DRAWING SCALE: 1" = 30'
 SHEET ID: L1 OF 1

DRAWN BY: RWF/TEA
 DESIGNED BY: RWF/TEA
 CHECKED BY: NCZ
 APPROVED BY: NCZ

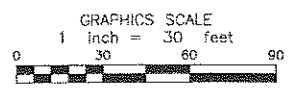
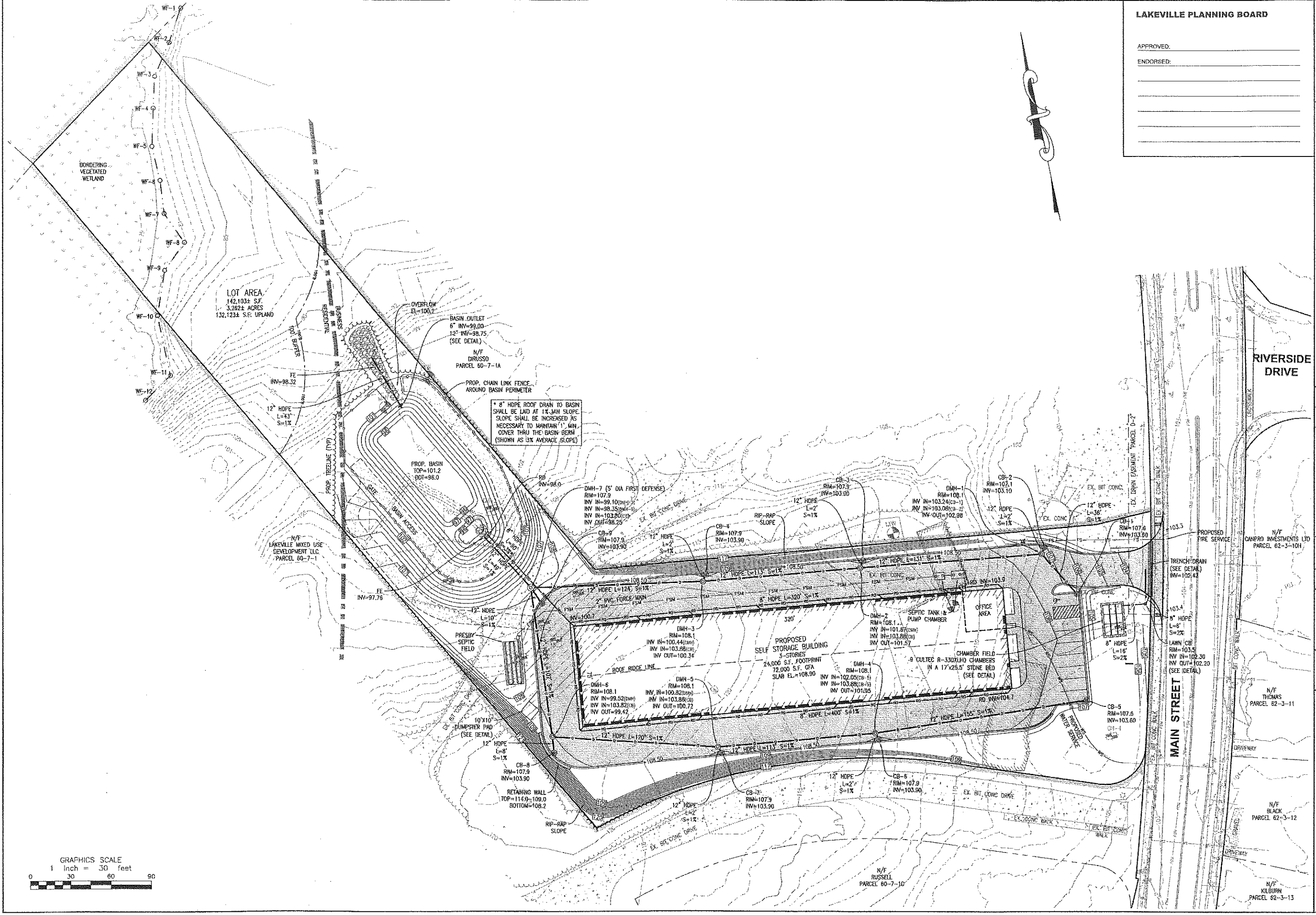
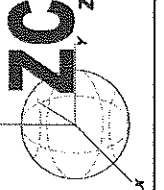
Scale Engineering Project/Lakeville/Main Street/15 Main Street/06EA/02-01-Plan - 15 Main St. - Lakeville - Revised 4-19-21/Log

LAKEVILLE PLANNING BOARD

APPROVED: _____
 ENDORSED: _____



ZCF
 ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208

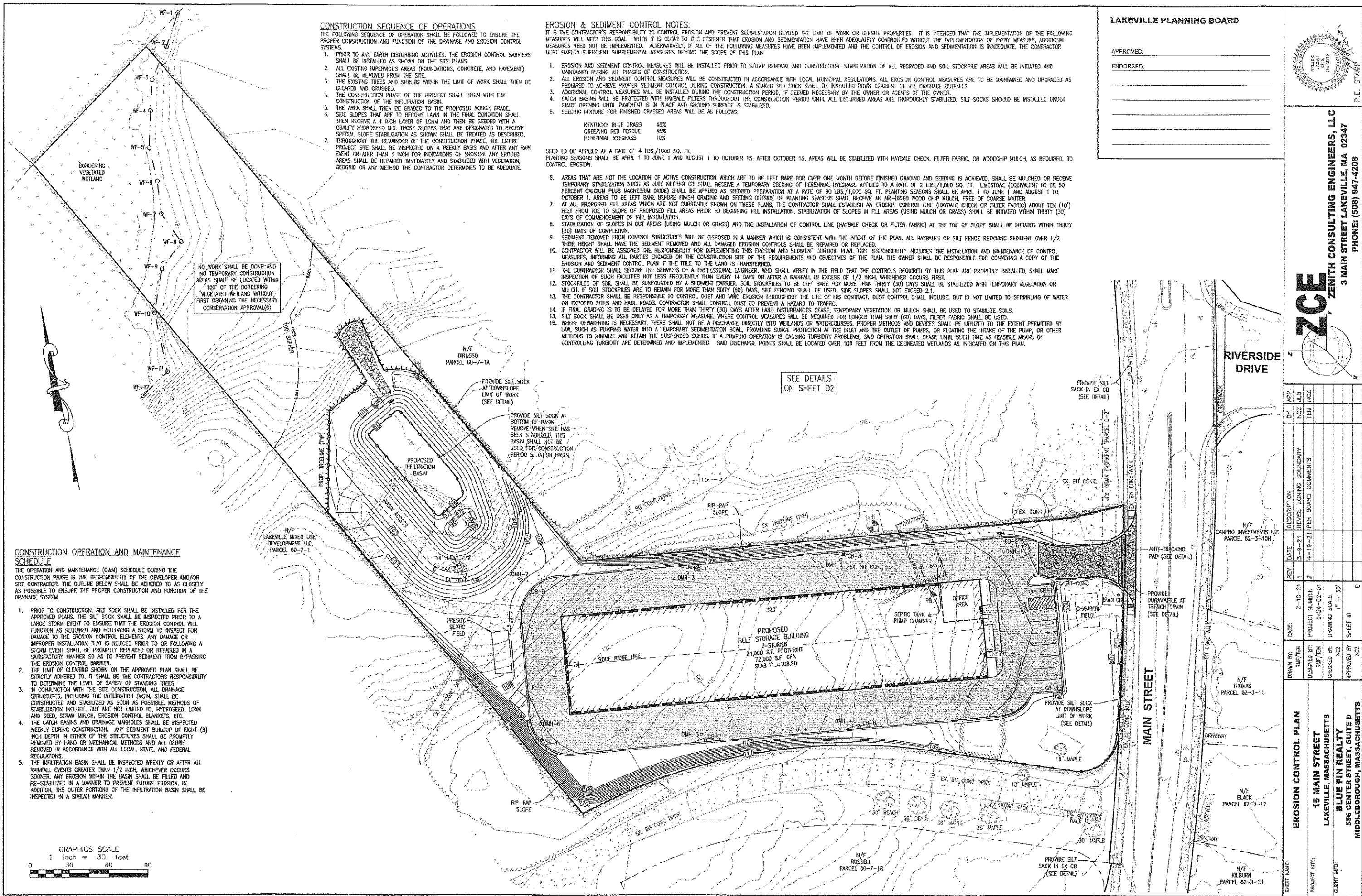


REV.	DATE	DESCRIPTION	BY	APP.
1	2-10-21	DATE		
2	3-9-21	REVISE ZONING BOUNDARY	NCZ	JLB
3	4-19-21	PER BOARD COMMENTS	TEM	NCZ

DRAWN BY:	DESIGNED BY:	CHECKED BY:	APPROVED BY:
RMF/TEN	RMF/TEN	NCZ	NCZ
DATE:	PROJECT NUMBER:	DRAWING SCALE:	SHEET ID:
2-10-21	0454-02-01	1" = 30'	C

GRADING, DRAINAGE & UTILITY PLAN
 15 MAIN STREET
 LAKEVILLE, MASSACHUSETTS
 BLUE FIN REALTY
 556 CENTER STREET, SUITE D
 MIDDLEBOROUGH, MASSACHUSETTS

Small text at the bottom right corner, likely a project or drawing reference number.



CONSTRUCTION SEQUENCE OF OPERATIONS

- THE FOLLOWING SEQUENCE OF OPERATION SHALL BE FOLLOWED TO ENSURE THE PROPER CONSTRUCTION AND FUNCTION OF THE DRAINAGE AND EROSION CONTROL SYSTEMS.
1. PRIOR TO ANY EARTH DISTURBING ACTIVITIES, THE EROSION CONTROL BARRIERS SHALL BE INSTALLED AS SHOWN ON THE SITE PLANS.
 2. ALL EXISTING IMPERVIOUS AREAS (FOUNDATIONS, CONCRETE, AND PAVEMENT) SHALL BE REMOVED FROM THE SITE.
 3. THE EXISTING TREES AND SHRUBS WITHIN THE LIMIT OF WORK SHALL THEN BE CLEARED AND GRUBBED.
 4. THE CONSTRUCTION PHASE OF THE PROJECT SHALL BEGIN WITH THE CONSTRUCTION OF THE INFILTRATION BASIN.
 5. THE AREA SHALL THEN BE GRADED TO THE PROPOSED ROUGH GRADE.
 6. SIDE SLOPES THAT ARE TO BECOME LAWN IN THE FINAL CONDITION SHALL THEN RECEIVE A 4 INCH LAYER OF LOAM AND THEN BE SEEDED WITH A QUALITY HYDRASEED MIX. THOSE SLOPES THAT ARE DESIGNATED TO RECEIVE SPECIAL SLOPE STABILIZATION AS SHOWN SHALL BE TREATED AS DESCRIBED.
 7. THROUGHOUT THE REMAINDER OF THE CONSTRUCTION PHASE, THE ENTIRE PROJECT SITE SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ANY RAIN EVENT GREATER THAN 1 INCH FOR INDICATIONS OF EROSION. ANY ERODED AREAS SHALL BE REPAIRED IMMEDIATELY AND STABILIZED WITH VEGETATION, GEGRID OR ANY METHOD THE CONTRACTOR DETERMINES TO BE ADEQUATE.

EROSION & SEDIMENT CONTROL NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL EROSION AND PREVENT SEDIMENTATION BEYOND THE LIMIT OF WORK OR OFFSITE PROPERTIES. IT IS INTENDED THAT THE IMPLEMENTATION OF THE FOLLOWING MEASURES WILL MEET THIS GOAL. WHEN IT IS CLEAR TO THE DESIGNER THAT EROSION AND SEDIMENTATION HAVE BEEN ADEQUATELY CONTROLLED WITHOUT THE IMPLEMENTATION OF EVERY MEASURE, ADDITIONAL MEASURES NEED NOT BE IMPLEMENTED. ALTERNATIVELY, IF ALL OF THE FOLLOWING MEASURES HAVE BEEN IMPLEMENTED AND THE CONTROL OF EROSION AND SEDIMENTATION IS INADEQUATE, THE CONTRACTOR MUST EMPLOY SUFFICIENT SUPPLEMENTAL MEASURES BEYOND THE SCOPE OF THIS PLAN.
1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO STUMP REMOVAL AND CONSTRUCTION. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL MUNICIPAL REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION. A STACKED SILT SOCK SHALL BE INSTALLED DOWN GRADIENT OF ALL DRAINAGE OUTFALLS.
 3. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE OWNER OR AGENTS OF THE OWNER.
 4. CATCH BASINS WILL BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SILT SOCKS SHOULD BE INSTALLED UNDER GRATE OPENINGS UNTIL PAVEMENT IS IN PLACE AND GROUND SURFACE IS STABILIZED.
 5. SEEDING MIXTURE FOR FINISHED GRASSED AREAS WILL BE AS FOLLOWS:

KENTUCKY BLUE GRASS	45%
CREeping RED FESCUE	45%
PERENNIAL RYEGRASS	10%
- SEED TO BE APPLIED AT A RATE OF 4 LBS./1000 SQ. FT.
 PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15. AFTER OCTOBER 15, AREAS WILL BE STABILIZED WITH HAYBALE CHECK, FILTER FABRIC, OR WOODCHIP MULCH, AS REQUIRED, TO CONTROL EROSION.
6. AREAS THAT ARE NOT THE LOCATION OF ACTIVE CONSTRUCTION WHICH ARE TO BE LEFT BARE FOR OVER ONE MONTH BEFORE FINISHED GRACING AND SEEDING IS ACHIEVED, SHALL BE MULCHED OR RECEIVE TEMPORARY STABILIZATION SUCH AS JUTE NETTING OR SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYEGRASS APPLIED TO A RATE OF 2 LBS./1000 SQ. FT. LIMESTONE (EQUVALENT TO BE 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 90 LBS./1000 SQ. FT. PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 1. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COARSE WASTE.
 7. AT ALL PROPOSED FILL AREAS WHICH ARE NOT CURRENTLY SHOWN ON THESE PLANS, THE CONTRACTOR SHALL ESTABLISH AN EROSION CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) ABOUT TEN (10') FEET FROM TOE TO SLOPE OF PROPOSED FILL AREAS PRIOR TO BEGINNING FILL INSTALLATION. STABILIZATION OF SLOPES IN FILL AREAS (USING MULCH OR GRASS) SHALL BE INITIATED WITHIN THIRTY (30) DAYS OF COMMENCEMENT OF FILL INSTALLATION.
 8. STABILIZATION OF SLOPES IN CUT AREAS (USING MULCH OR GRASS) AND THE INSTALLATION OF CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) AT THE TOE OF SLOPE SHALL BE INITIATED WITHIN THIRTY (30) DAYS OF COMPLETION.
 9. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN. ALL HAYBALES OR SILT FENCE RETAINING SEDIMENT OVER 1/2 THEIR HEIGHT SHALL HAVE THE SEDIMENT REMOVED AND ALL DAMAGED EROSION CONTROLS SHALL BE REPAIRED OR REPLACED.
 10. CONTRACTOR WILL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
 11. THE CONTRACTOR SHALL SECURE THE SERVICES OF A PROFESSIONAL ENGINEER, WHO SHALL VERIFY IN THE FIELD THAT THE CONTROLS REQUIRED BY THIS PLAN ARE PROPERLY INSTALLED, SHALL MAKE INSPECTION OF SUCH FACILITIES NOT LESS FREQUENTLY THAN EVERY 14 DAYS OR AFTER A RAINFALL IN EXCESS OF 1/2 INCH, WHICHEVER OCCURS FIRST.
 12. STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN THIRTY (30) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF SOIL STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, SILT FENCING SHALL BE USED. SIDE SLOPES SHALL NOT EXCEED 2:1.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL EROSION AND WIND THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO SPRINKLING OF WATER ON EXPOSED SOILS AND PAVED ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC.
 14. IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN THIRTY (30) DAYS AFTER LAND DISTURBANCES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZE SOILS.
 15. SILT SOCK SHALL BE USED ONLY AS A TEMPORARY MEASURE. WHERE CONTROL MEASURES WILL BE REQUIRED FOR LONGER THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED.
 16. WHERE DEWATERING IS NECESSARY, THERE SHALL NOT BE A DISCHARGE DIRECTLY INTO WETLANDS OR WATERCOURSES. PROPER METHODS AND DEVICES SHALL BE UTILIZED TO THE EXTENT PERMITTED BY LAW, SUCH AS PUMPING WATER INTO A TEMPORARY SEDIMENTATION BOWL, PROVIDING SURGE PROTECTION AT THE INLET AND THE OUTLET OF PUMPS, OR FLOATING THE INTAKE OF THE PUMP, OR OTHER METHODS TO MINIMIZE AND RETAIN THE SUSPENDED SOLIDS. IF A PUMPING OPERATION IS CAUSING TURBIDITY PROBLEMS, SAID OPERATION SHALL CEASE UNTIL SUCH TIME AS FEASIBLE MEANS OF CONTROLLING TURBIDITY ARE DETERMINED AND IMPLEMENTED. SAID DISCHARGE POINTS SHALL BE LOCATED OVER 100 FEET FROM THE DELINEATED WETLANDS AS INDICATED ON THIS PLAN.

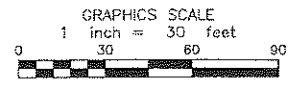
NO WORK SHALL BE DONE AND NO TEMPORARY CONSTRUCTION AREAS SHALL BE LOCATED WITHIN 100' OF THE BORDERING VEGETATED WETLAND WITHOUT FIRST OBTAINING THE NECESSARY CONSERVATION APPROVAL(S)

SEE DETAILS ON SHEET D2

CONSTRUCTION OPERATION AND MAINTENANCE SCHEDULE

THE OPERATION AND MAINTENANCE (O&M) SCHEDULE DURING THE CONSTRUCTION PHASE IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR. THE OUTLINE BELOW SHALL BE ADHERED TO AS CLOSELY AS POSSIBLE TO ENSURE THE PROPER CONSTRUCTION AND FUNCTION OF THE DRAINAGE SYSTEM.

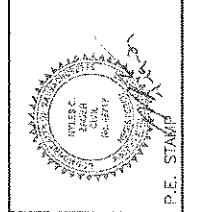
1. PRIOR TO CONSTRUCTION, SILT SOCK SHALL BE INSTALLED PER THE APPROVED PLANS. THE SILT SOCK SHALL BE INSPECTED PRIOR TO A LARGE STORM EVENT TO ENSURE THAT THE EROSION CONTROL WILL FUNCTION AS REQUIRED AND FOLLOWING A STORM TO INSPECT FOR DAMAGE TO THE EROSION CONTROL ELEMENTS. ANY DAMAGE OR IMPROPER INSTALLATION THAT IS NOTICED PRIOR TO OR FOLLOWING A STORM EVENT SHALL BE PROMPTLY REPAIRED OR REPAIRED IN A SATISFACTORY MANNER SO AS TO PREVENT SEDIMENT FROM BYPASSING THE EROSION CONTROL BARRIER.
2. THE LIMIT OF CLEARING SHOWN ON THE APPROVED PLAN SHALL BE STRICTLY ADHERED TO. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LEVEL OF SAFETY OF STANDING TREES.
3. IN CONJUNCTION WITH THE SITE CONSTRUCTION, ALL DRAINAGE STRUCTURES, INCLUDING THE INFILTRATION BASIN, SHALL BE CONSTRUCTED AND STABILIZED AS SOON AS POSSIBLE. METHODS OF STABILIZATION INCLUDE, BUT ARE NOT LIMITED TO, HYDRASEED, LOAM AND SEED, STRAW MULCH, EROSION CONTROL BLANKETS, ETC.
4. THE CATCH BASINS AND DRAINAGE MANHOLES SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. ANY SEDIMENT BUILDUP OF EIGHT (8) INCH DEPTH IN EITHER OF THE STRUCTURES SHALL BE PROMPTLY REMOVED BY HAND OR MECHANICAL METHODS AND ALL DEBRIS REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
5. THE INFILTRATION BASIN SHALL BE INSPECTED WEEKLY OR AFTER ALL RAINFALL EVENTS GREATER THAN 1/2 INCH, WHICHEVER OCCURS SOONER. ANY EROSION WITHIN THE BASIN SHALL BE FILLED AND RE-STABILIZED IN A MANNER TO PREVENT FUTURE EROSION. IN ADDITION, THE OUTER PORTIONS OF THE INFILTRATION BASIN SHALL BE INSPECTED IN A SIMILAR MANNER.



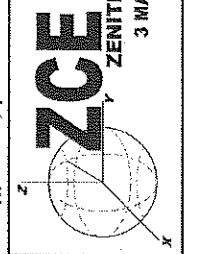
LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: _____



ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208



REV.	DATE	DESCRIPTION
1	3-9-21	REVISE ZONING BOUNDARY
2	4-19-21	PER BOARD COMMENTS

DATE	BY	APP.
2-10-21	NCZ	JLB
	TEL	RCZ

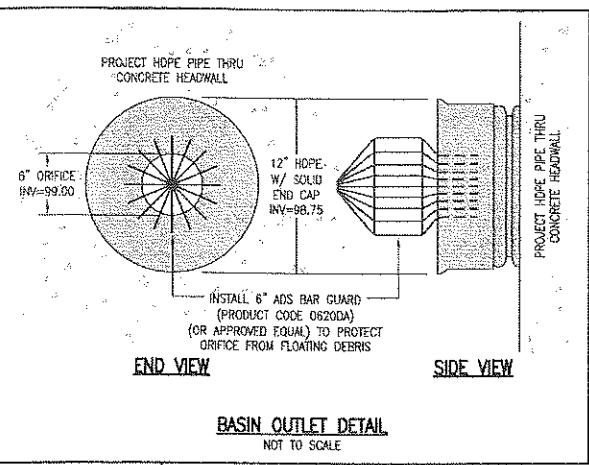
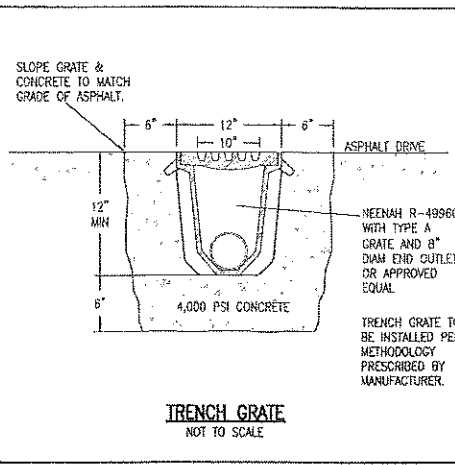
DATE	PROJECT NUMBER	DRAWING SCALE	SHEET ID
2-10-21	0454-02-01	1" = 30'	E

EROSION CONTROL PLAN

15 MAIN STREET
 LAKEVILLE, MASSACHUSETTS

BLUE FIN REALTY
 566 CENTER STREET, SUITE D
 MIDDLEBOROUGH, MASSACHUSETTS

Small text at the bottom right corner, likely a disclaimer or contact information for the engineering firm.



SOIL LOGS
 DATE: 1-11-21 ("TP" HOLES), 1-21-21 ("OH" HOLES)
 PERFORMED BY: WILLIAM CONNELLY, ZENITH CONSULTING ENGINEERS
 WITNESSED BY: ED CULLEN, LAKEVILLE BOARD OF HEALTH ("TP" HOLES WERE WITNESSED, "OH" HOLES WERE NOT WITNESSED)

DEPTH (INCHES)	TP-1 ELEV. (FEET)	DEPTH (INCHES)	TP-2 ELEV. (FEET)	DEPTH (INCHES)	TP-3 ELEV. (FEET)	DEPTH (INCHES)	TP-4 ELEV. (FEET)	DEPTH (INCHES)	OH-1 ELEV. (FEET)	DEPTH (INCHES)	OH-2 ELEV. (FEET)	DEPTH (INCHES)	OH-3 ELEV. (FEET)	DEPTH (INCHES)	OH-4 ELEV. (FEET)
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8	111.3	8	112.3	8	111.3	8	114.0	8	107.5	8	101.5	8	103.7	8	101.0
34	109.2	32	110.3	34	109.2	28	112.2	26	105.9	34	98.7	34	102.2	34	97.3
84	105.0	102	104.5	82	105.2	102	106.0	90	100.6	60	98.2	62	98.2	108	97.3
96	104.0	110	103.8	92	104.3	120	104.5	120	98.1	128	91.0	132	94.0	140	94.5
128	101.5	156	100.0	126	101.5										

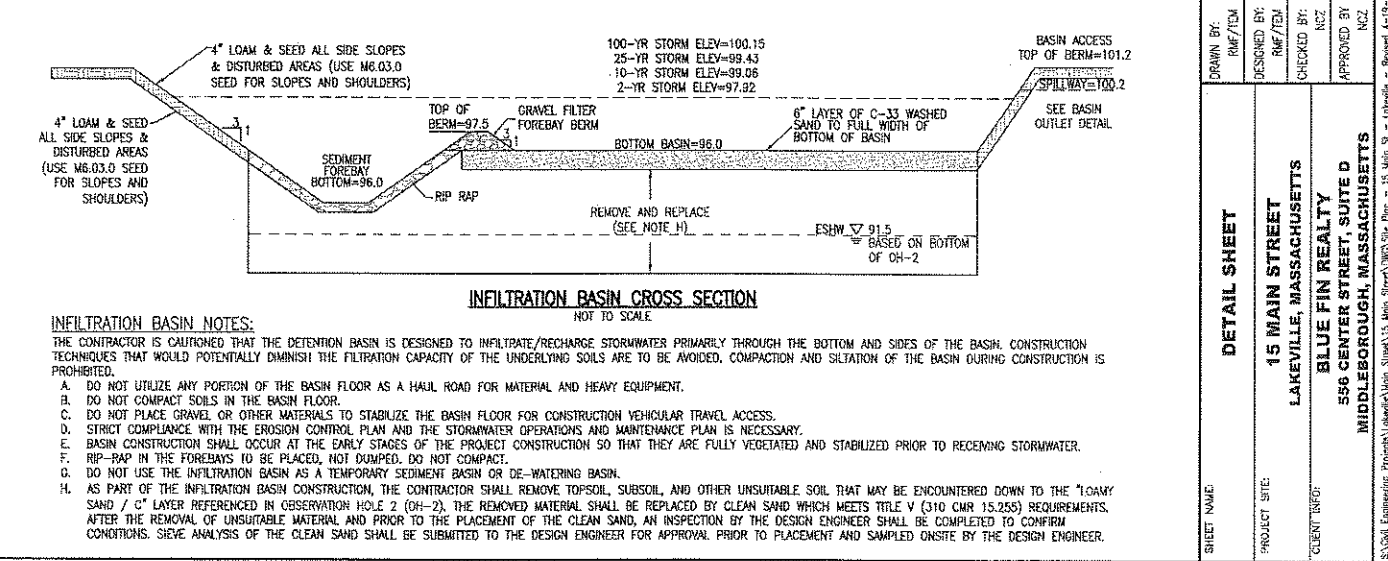
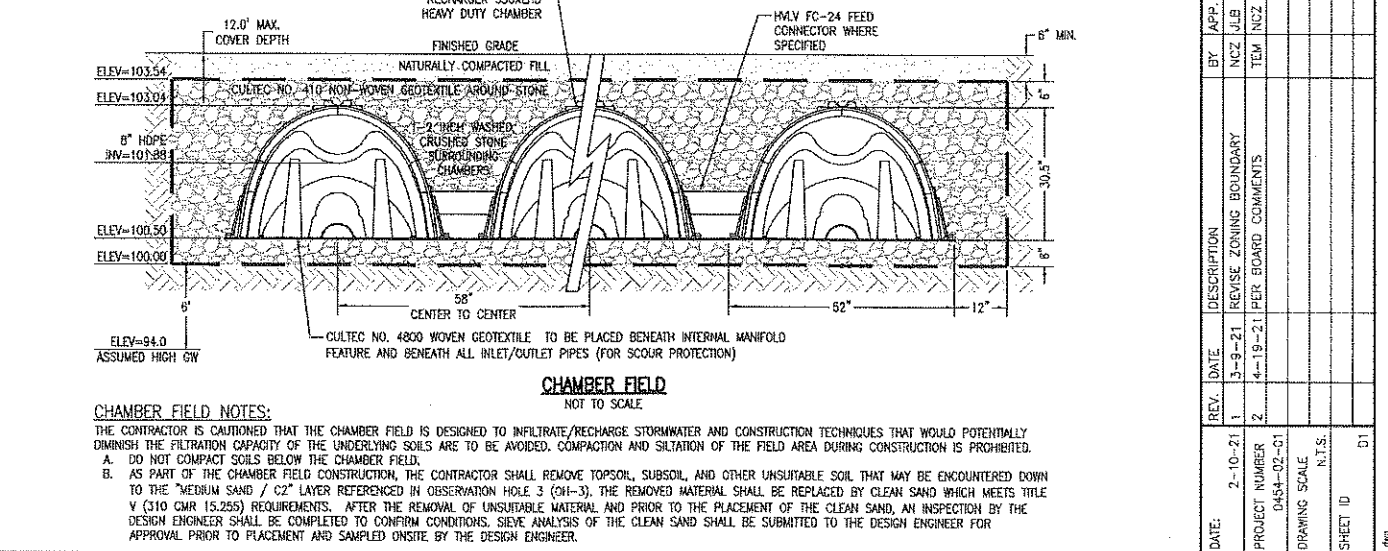
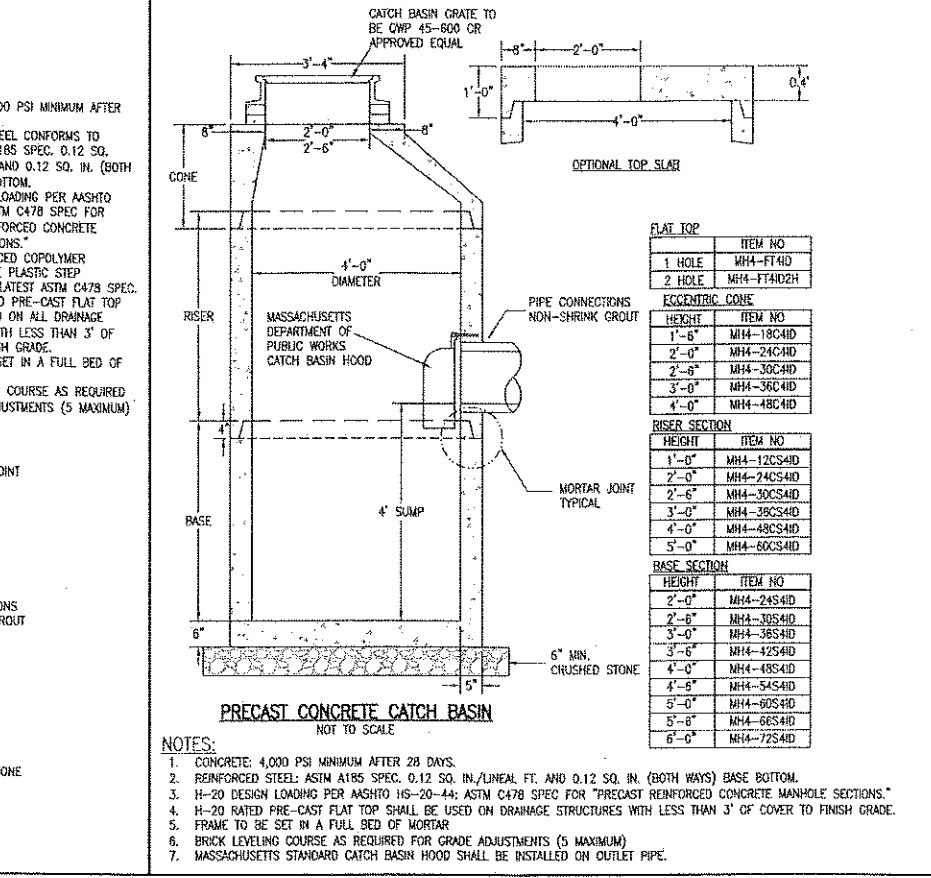
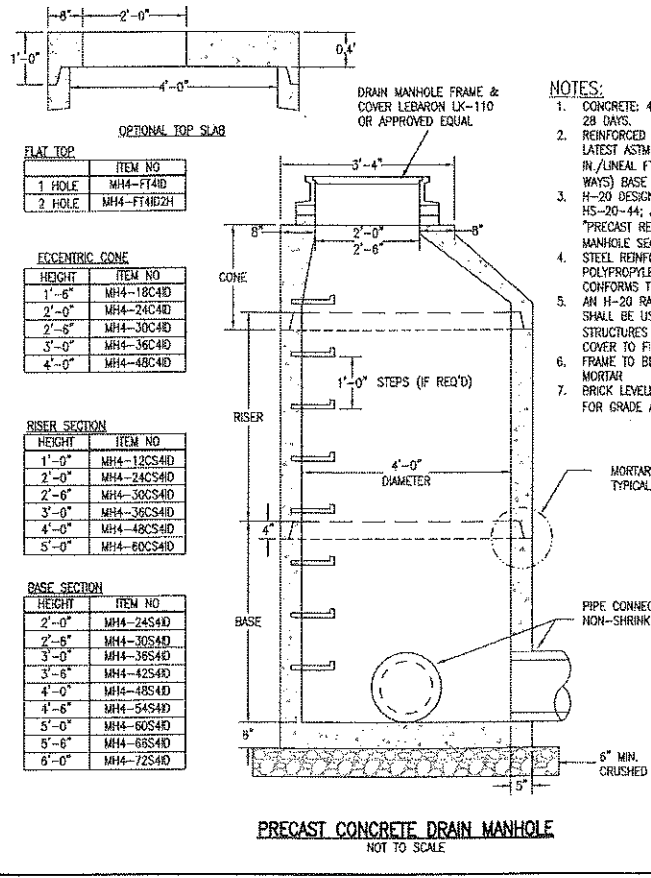
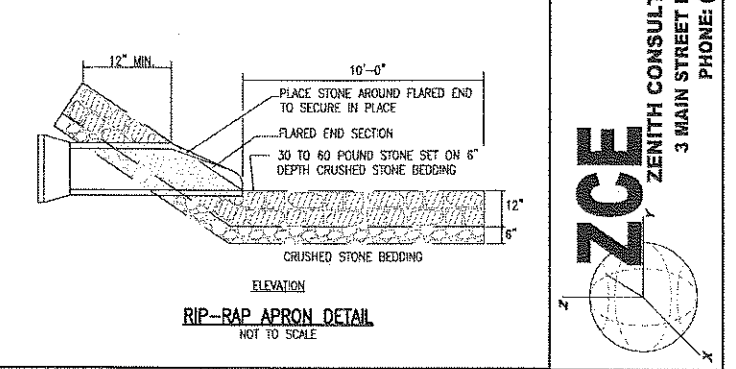
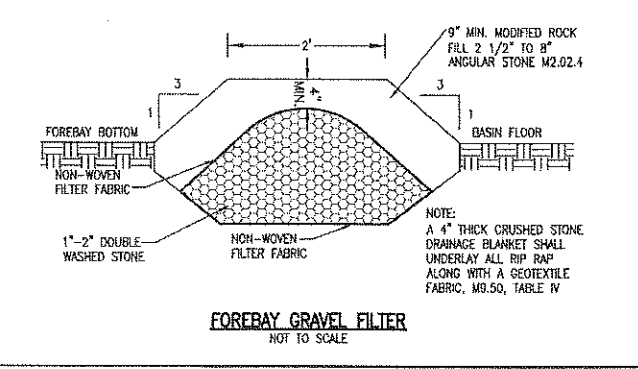
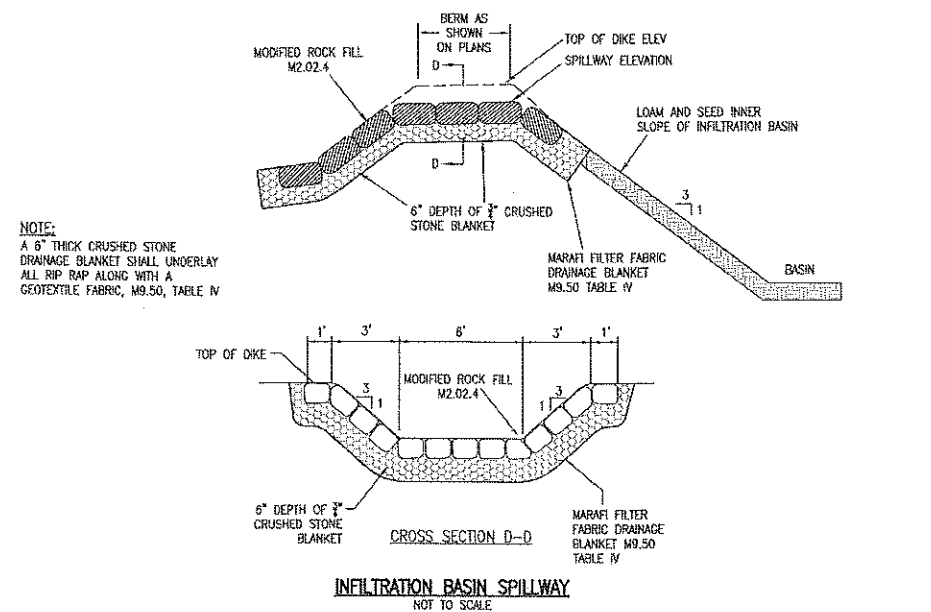
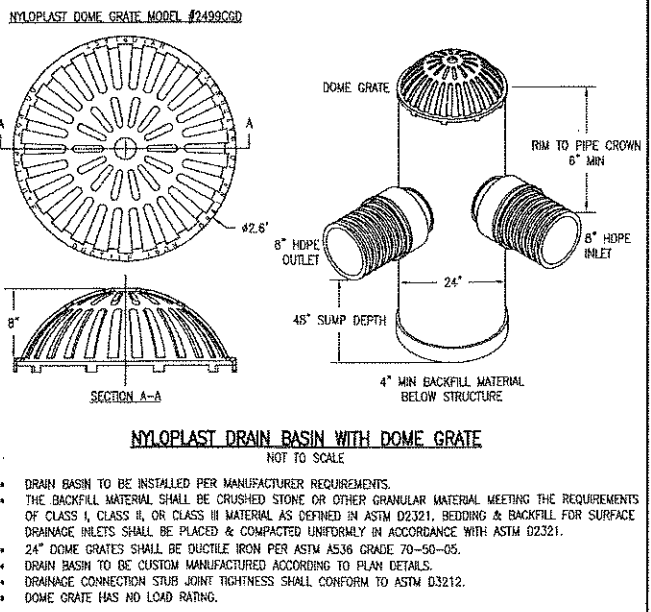
MOTTLING: NONE
 WEeping: NONE
 STANDING: NONE
 ESHW EL.: NONE
 PERC DEPTH: 30"-48"
 PERC RATE: < 2 MFI

LAKEVILLE PLANNING BOARD

APPROVED: _____
 ENDORSED: _____

ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208

P.E. STAMP



DETAIL SHEET

15 MAIN STREET
 LAKEVILLE, MASSACHUSETTS
 BLUE FIN REALTY
 566 CENTER STREET, SUITE D
 MIDDLEBOROUGH, MASSACHUSETTS

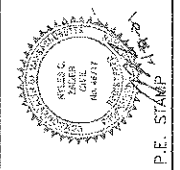
REV.	DATE	DESCRIPTION	BY	APP.
1	2-10-21	3-9-21 REVISE ZONING BOUNDARY	NCZ/ULB	NCZ
2	4-19-21	PER BOARD COMMENTS	TEM/NCZ	NCZ

DATE: 2-10-21
 PROJECT NUMBER: 0454-02-01
 DRAWING SCALE: N.T.S.
 SHEET ID: D1

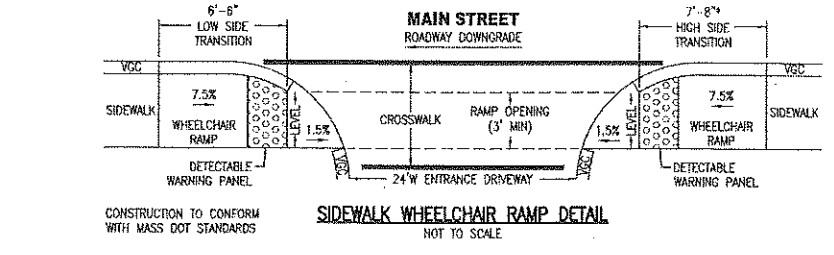
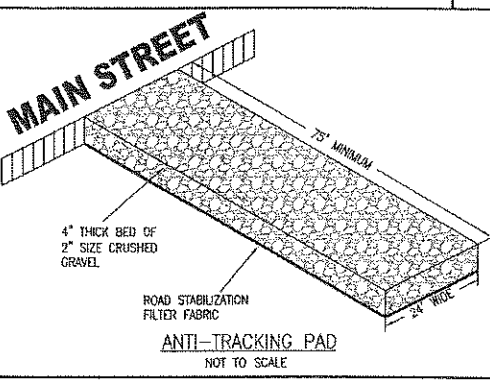
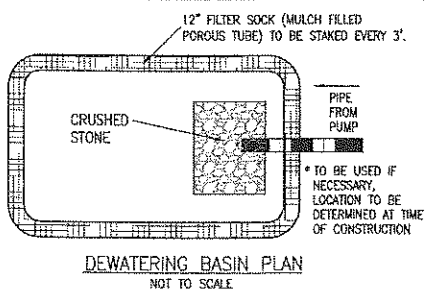
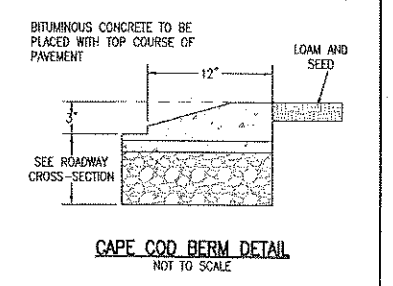
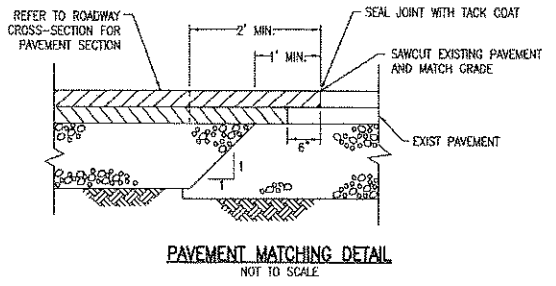
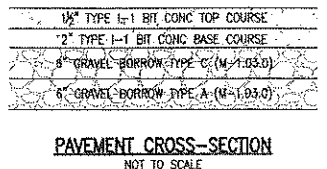
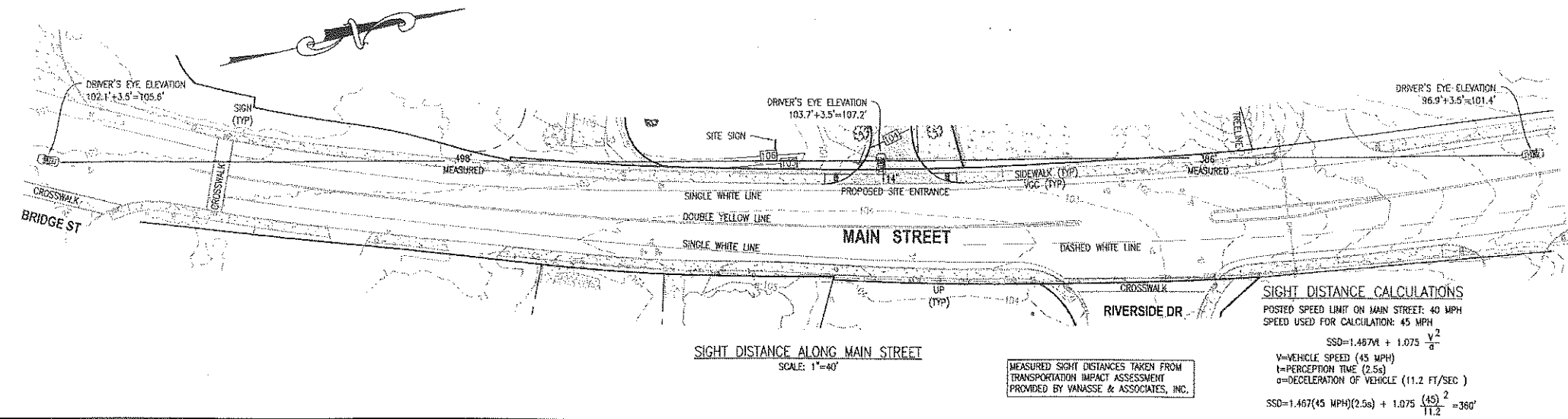
DRAWN BY: RWF/TEM
 DESIGNED BY: RWF/TEM
 CHECKED BY: NCZ
 APPROVED BY: NCZ

SHEET NO. 15 OF 24

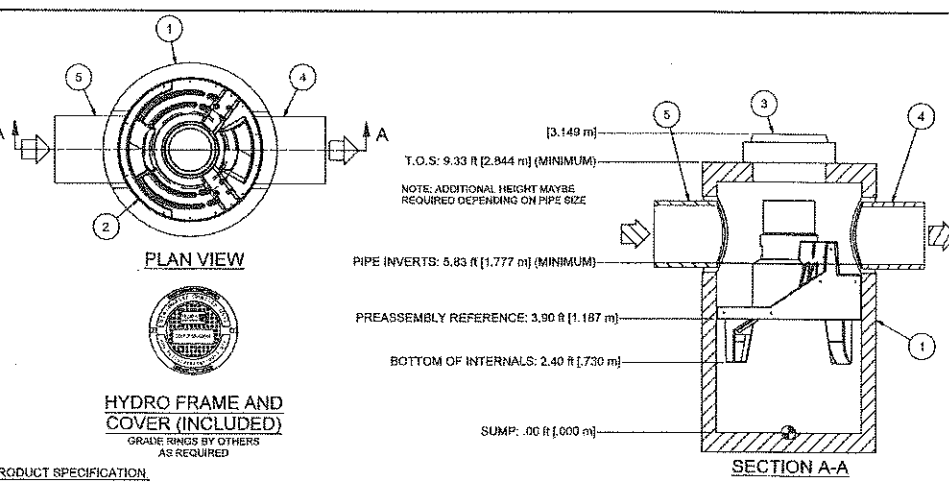
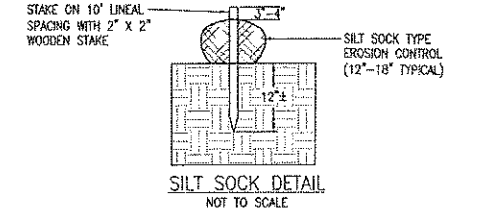
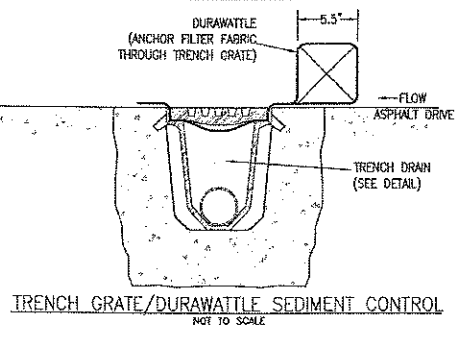
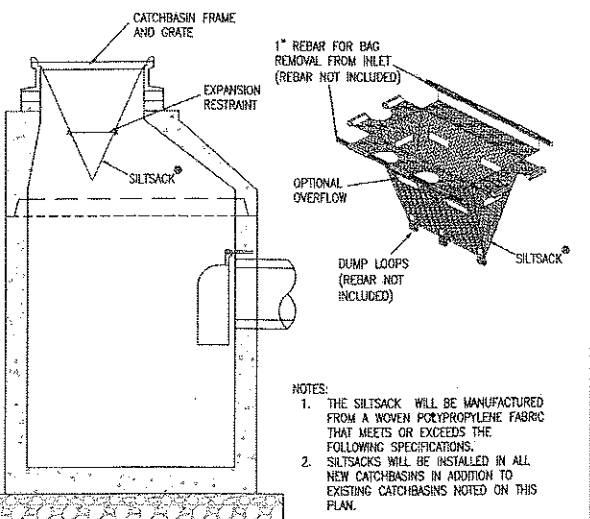
APPROVED: _____
 ENDORSED: _____



ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208



ROADWAY PROFILE GRADE	*HSL
0%	6'-6"
>0% TO 1%	7'-8"
>1% TO 2%	9'-0"
>2% TO 3%	11'-0"
>3% TO 4%	14'-0"
>4% TO 5%	15'-0" MAX



PROJECTION

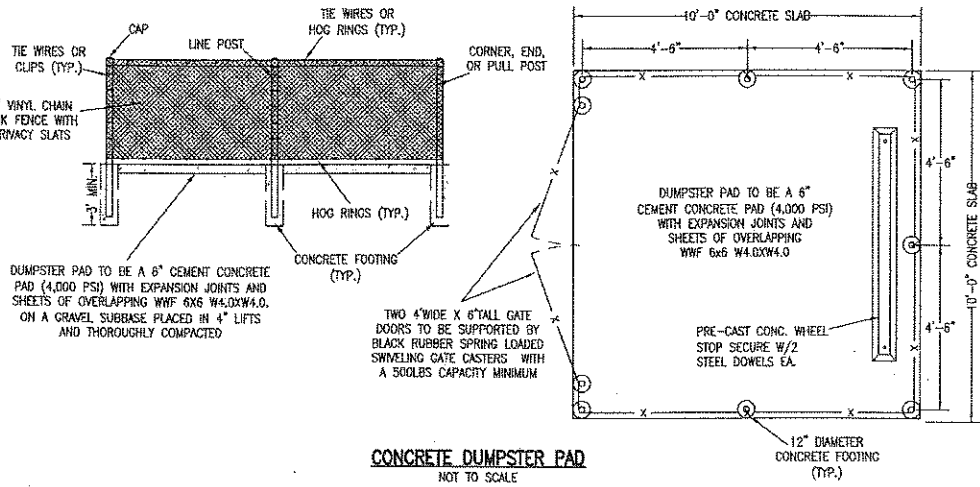
IF IN DOUBT ASK

1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING FIRST DEFENSE MANHOLE.
3. CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.

DATE: 2-10-21
 PROJECT NUMBER: 0454-02-01
 DRAWING SCALE: N.T.S.
 SHEET ID: D2

SILT SACK® REGULAR FLOW

PROPERTIES	TEST METHOD	UNITS	TEST RESULTS
GRAB TENSILE	ASTM D-4632	LBS	167.5X300
GRAB ELONGATION	ASTM D-4632	%	10X15
PUNCTURE STRENGTH	ASTM D-4533	LBS.	900
TRAPEZOID TEAR	ASTM D-4533	LBS.	65X90
UV RESISTANCE (#500 HRS)	ASTM D-4256	%	96
AOS	ASTM D-4751	US SIEVE	30
FLOW RATE	ASTM D-4491	GAL/MIN/FT²	66
PERMITIVITY	ASTM D-4491	SEC-1	0.662



PRODUCT SPECIFICATION

1. TSS TREATMENT FLOW: 2.34 cfs (66.2 l/s)
2. PEAK HYDRAULIC FLOW: 20.0 cfs (566 l/s)
3. MIN SEDIMENT STORAGE CAPACITY: 1.1 cu. yd. (0.8 cu. m.)
4. OIL STORAGE CAPACITY: 300 gal. (1135 liters)
5. MAXIMUM INLET/OUTLET PIPE DIAMETERS: 24 in. (600 mm)
6. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.
7. FOR MORE PRODUCT INFORMATION INCLUDING REGULATORY ACCEPTANCES, PLEASE VISIT <https://hydro-int.com/en/products/first-defense>

GENERAL NOTES:

1. General Arrangement drawings only. Contact Hydro International for site specific drawings.
2. The diameter of the inlet and outlet pipes may be no more than 24".
3. Multiple inlet pipes possible (refer to project plan).
4. Inlet/outlet pipe angle can vary to align with drainage network (refer to project plan).
5. Peak flow rate and minimum height limited by available cover and pipe diameter.
6. Larger sediment storage capacity may be provided with a deeper sump depth.

PARTS LIST

ITEM	QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	1	60	1500	I.D. PRECAST MANHOLE
2	1			INTERNAL COMPONENTS (PRE-INSTALLED)
3	1	30	750	FRAME AND COVER (ROUND)
4	1	24 (MAX)	600 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	24 (MAX)	600 (MAX)	INLET PIPE (BY OTHERS)

Hydro International

HYDRO INTERNATIONAL
 556 CENTER STREET, SUITE D
 MIDDLEBOROUGH, MASSACHUSETTS

DETAIL SHEET

15 MAIN STREET
 LAKEVILLE, MASSACHUSETTS
 BLUE FIN REALTY
 556 CENTER STREET, SUITE D
 MIDDLEBOROUGH, MASSACHUSETTS



Town of Lakeville
Planning Board
346 Bedford Street
Lakeville, MA 02347
508-946-3473

APPLICATION FOR SITE PLAN REVIEW

Name of Applicant: SARA ANDRADE, PRESIDENT S-L PIZZA, INC
 Street: 45 GRAND ST. APT. 138
 City/Town: WORCESTER State: MA Zip: 01610
 Telephone: 857-312-4266 Email: LBREA617@GMAIL.COM
 Property Owner Name: BRUCE BENOIT, TRUSTEE 56 MAIN ST. REALTY TRUST
 Street: 56 MAIN ST
 City/Town: LAKEVILLE State: MA Zip: 02347
 Telephone: 774-406-1358 Email: BRUCE@BRIDGWOODBENOIT.COM
 Contact Person's Name: WILLIAM MOHAN
 Telephone: 508-934-9802 Email: WFMOHAN@YAHOO.COM

SITE INFORMATION

Street and number: 56 MAIN ST. LAKEVILLE
 Zoning District: COMMERCIAL Map 63 Block 2 Lot 003-01
 Lot size: 4.130 Frontage: 290.28'
 Current use: Retail Plaza

PLAN INFORMATION

Plan Title: Dominos PIZZA Franchise LAKEVILLE, MA
 Prepared by: GNICH ARCHITECTURAL STUDIO
 Date prepared: 2/9/2021 Revision date (s): _____

Detailed Description of proposed work: CONSTRUCT A DOMINO'S PIZZA FRANCHISE
IN THE FAR LEFT CORNER OF THE DOLLAR TREE
PLAZA. AREA IS 1540 SQ. FT.

TO THE LAKEVILLE PLANNING BOARD:

The undersigned, being the APPLICANT named above, hereby applies for review of the above SITE PLAN by the Planning Board and certifies that, to the best of the APPLICANT'S knowledge and belief, the information contained herein is correct and complete and that said PLAN conforms with the requirements of the Rules and Regulations of the Lakeville Planning Board and the Zoning By-Law of the Town of Lakeville.

Applicant's Signature: [Signature] Date: 4/1/2021

Property Owner's Signature: Bruce A. Bennett Date: 4-1-21
(if not Applicant)

Will you have a representative other than yourself? Yes No

Name: WILLIAM MOHAN

Telephone: 508-934-9102 Email: WFMOHAN@YAHOO.COM

To be completed by Planning Board staff:

Distributed to: Board of Health, Board of Selectmen, Building Department, Conservation Commission, Fire Chief, and Open Space Committee

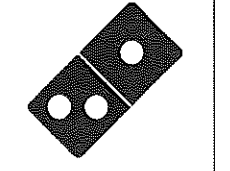
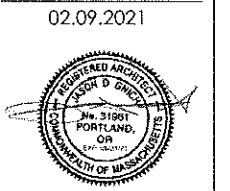
Date/initials: _____

Domino's™

DOMINO'S PIZZA BAKERY STORE PIZZA THEATER TENANT IMPROVEMENT 56 MAIN ST. LAKEVILLE, MA 02347



1001 SE SANDY BLVD., SUITE 100
PORTLAND, OR 97214
V. 503.552.9079
F. 503.241.7055
WWW.GNICHARCH.COM



617.642.7994

Project No: 5331
Domino's Pizza Bakery Store
Pizza Theater Tenant Improvement
56 Main St., Lakeville, MA 02347
for S & L Pizza
711 Southbridge St.
Auburn, MA 02347

ISSUED FOR PERMIT:
02.09.2021

REV. DATE DESCRIPTION

SHEET NAME:

COVER SHEET

SHEET NUMBER:

G1.0

GENERAL CONDITIONS:

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO MAKE THEMSELVES FAMILIAR WITH THE GENERAL CONDITIONS, PLANS, AND SPECIFICATIONS AND OTHER NOTES OR REFERENCES RELATED TO THIS PROJECT SO AS TO POSSESS FULL COMPREHENSION OF THE WORK THEY ARE TO PERFORM. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- NOTHING IN THE PLANS, SPECIFICATIONS, NOTES OR REFERENCES SHALL BE INTERPRETED SO AS TO ELIMINATE ANY REQUIREMENTS OR PROVISIONS OF NATIONAL, STATE, COUNTY, OR LOCAL BUILDING CODES AND ORDINANCES. ALL CONTRACTORS ARE RESPONSIBLE FOR FULL KNOWLEDGE OF, AND COMPLIANCE WITH THE AFOREMENTIONED REGULATIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS BEFORE BEGINNING THEIR WORK.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE TO VERIFY ALL FIELD CONDITIONS AND DIMENSIONS RELATED TO THEIR WORK. THE GENERAL CONTRACTOR SHALL THEN SUBMIT A WRITTEN PROPOSAL OF HIS SCOPE OF WORK TO DOMINO'S FOR AN APPROVAL. ANY DISCREPANCIES OR CONFLICTS SHALL BE REPORTED TO THE ARCHITECT BEFORE BEGINNING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL CONSULT WITH THE SUBCONTRACTORS AND COORDINATE THE WORK IN ORDER TO ADHERE TO THE SCHEDULE AGREED UPON BY DOMINO'S.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING:
 - PROVIDE SCHEDULE OF WORK TO DOMINO'S PRIOR TO COMMENCING CONSTRUCTION.
 - OBTAINING ANY AND ALL PERMITS.
 - SCHEDULING ALL INSPECTIONS.
 - PROVIDING CERTIFICATE OF OCCUPANCY AND FINAL HEALTH INSPECTION.
 - THE CONTRACTOR SHALL PROVIDE THE FOLLOWING WITH FINAL INVOICE:
 - ORIGINAL OR CLEAR PHOTO COPIES OF CERTIFICATE OF OCCUPANCY PERMIT AND HEALTH INSPECTION REPORT.
 - LISTING OF SUBCONTRACTORS AND AREA OF RESPONSIBILITY, COMPLETE WITH TRADE NAME, OWNER'S NAME, ADDRESS, TELEPHONE NUMBER AND FEDERAL ID NUMBER.
 - PROPERLY EXECUTED LIEN WAIVER.
 - SERIAL NUMBERS, DATE OF MANUFACTURE OF ALL INSTALLED HVAC EQUIPMENT, MAKELINE AND WALK-IN COOLER BOX.
- UNLESS INDICATED "BY OTHERS" ON THE PLANS OR IN THE SPECIFICATIONS OR OTHERWISE DIRECTED BY DOMINO'S, THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL SUPPLY ALL LABOR AND MATERIALS AND MISCELLANEOUS ITEMS, NOT SPECIFICALLY SHOWN ON THE PLANS OR IN THE SPECIFICATIONS BUT OBVIOUSLY NECESSARY FOR THE COMPLETE AND PROPER INSTALLATION OF THEIR ELEMENTS OF WORK.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL TURN OVER ALL WRITTEN OPERATING INSTRUCTIONS AND WARRANTIES FOR EQUIPMENT TO THE OWNER AT THE COMPLETION OF WORK.
- ALL WORK PERFORMED BY THE CONTRACTOR AND SUBCONTRACTORS, INCLUDING MATERIALS AND LABOR SHALL BE GUARANTEED IN WRITING FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY DOMINO'S.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS, AT THE COMPLETION OF THEIR WORK, SHALL LEAVE THE SITE CLEAN AND FREE OF DEBRIS RELATED TO THEIR WORK, AND MAKE READY TO COMMENCE WITH THE BUSINESS OF FOOD PREPARATION.
- THE USE OF BRAND NAMES, CATALOGUE NUMBERS OR NAMES OF MANUFACTURERS IS SOLELY FOR THE PURPOSE OF ESTABLISHING THE TYPE AND QUALITY THAT WILL BE ACCEPTABLE. UNLESS SPECIFICALLY PROHIBITED IN THE SPECIFICATIONS, SUBSTITUTION WILL BE PERMITTED AFTER SUBMITTAL TO AND WRITTEN APPROVAL BY DOMINO'S.
- IT IS RECOMMENDED THAT THE CONTRACTOR ACQUIRE THE DESIGN AND EQUIPMENT BROCHURES FROM DOMINO'S EQUIPMENT & SUPPLY FOR REFERENCE WITH THESE DOCUMENTS.
- GC IS RESPONSIBLE FOR MEANS AND METHODS FOR INSTALLATION OF WORK INDICATED ON THESE DRAWINGS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADDITIONAL DESIGN / BUILD INFORMATION, WHICH MAY BE REQUIRED BY LOCAL CODE AUTHORITIES, WHICH MEETS THE DESIGN CRITERIA IN THESE DOCUMENTS.

GENERAL NOTES:

- THE OWNER HAS REQUESTED THAT THE ARCHITECT PREPARE THESE DRAWINGS, WHICH ARE LIMITED IN SCOPE, TO ESTABLISH MINIMUM GUIDELINES FOR DESIGN OF THE PROJECT.
- WHERE MATERIALS, ASSEMBLIES, EQUIPMENT, FIXTURES AND SYSTEMS ARE NOT SHOWN, OR ARE SHOWN GRAPHICALLY, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DETERMINE SPECIFIC LOCATIONS, PROVIDE SPECIFIC MATERIALS AND DETERMINE CONSTRUCTION DETAILING, ALL IN COMPLIANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, AND INDUSTRY STANDARDS FOR MATERIALS AND METHODS OF INSTALLATION.
- ALL DRAWINGS HAVE BEEN PREPARED WITH THE INTENT OF CURRENT CODE COMPLIANCE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE FULL COMPLIANCE WITH PREVAILING STATE OR LOCAL CODE REQUIREMENTS.
- DO NOT SCALE THE DRAWINGS. IF DIMENSIONAL DISCREPANCIES ARISE, CONTACT THE ARCHITECT.
- DIMENSIONS OF THE EXISTING TENANT SPACE AND NEW DIMENSIONS WHICH RELATE TO THOSE EXISTING DIMENSIONS ARE ASSUMED AND TAKEN FROM INFORMATION PROVIDED BY THE OWNER OR OWNERS REPRESENTATIVES. IT IS IMPERATIVE THAT PRIOR TO THE ORDERING OF PREFABRICATED EQUIPMENT OR COMMENCING CONSTRUCTION THESE DIMENSIONS ARE FIELD VERIFIED TO AVOID CONFLICTS.
- ANY DISCREPANCIES BETWEEN PORTIONS OF THE DOCUMENTS ARE NOT INTENDED. THE GENERAL CONTRACTOR IS TO CLARIFY WITH THE ARCHITECT ANY SUCH DISCREPANCIES PRIOR TO COMMENCING WORK.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED OR LABELED FINISHED OPENING (F.O.).
- ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL DESCRIPTIONS.
- ALL ELECTRICAL, MECHANICAL AND PLUMBING WORK SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS.
- CONSTRUCTION MAY NOT BEGIN UNTIL APPROVAL HAS BEEN GRANTED BY DOMINO'S. THESE DRAWINGS ARE SUBJECT TO DOMINO'S APPROVAL.

PROJECT DIRECTORY:

OWNER / DEVELOPER

S & L PIZZA
711 SOUTHBRIDGE ST
AUBURN, MA 02347
TEL: (617) 642-7994
E: LBREA617@GMAIL.COM

ARCHITECT CONTACT INFORMATION

GNICH ARCHITECTURE STUDIO, LLC
AN OREGON LIMITED LIABILITY COMPANY
1001 SE SANDY BLVD, SUITE 100
PORTLAND, OR 97214
TEL: (503) 552-9079
FAX: (503) 241-7055

ATTN: MICHAEL WOODALL, PROJECT MANAGER
MICHAELW@GNICHARCH.COM

SUBMITTALS BY OTHERS:

EXTERIOR SIGNAGE

SIGN VENDOR SHALL BE RESPONSIBLE FOR PREPARING DRAWINGS AND OBTAINING SEPARATE SIGNAGE PERMITS AS REQUIRED BY LOCAL JURISDICTION.

FIRE ALARM SYSTEM

DESIGN/BUILT, G.C. SHALL BE RESPONSIBLE FOR PREPARING DRAWINGS AND OBTAINING ALL BUILDING PERMITS AS REQUIRED BY LOCAL JURISDICTION.

KITCHEN HOOD FIRE SUPPRESSION SYSTEM

DESIGN/BUILT, G.C. SHALL BE RESPONSIBLE FOR PREPARING DRAWINGS AND OBTAINING ALL BUILDING PERMITS AS REQUIRED BY LOCAL JURISDICTION.

FIRE SUPPRESSION / SPRINKLER SYSTEM

DESIGN/BUILT, G.C. SHALL BE RESPONSIBLE FOR PREPARING DRAWINGS AND OBTAINING ALL BUILDING PERMITS AS REQUIRED BY LOCAL JURISDICTION.

DRAWING INDEX:

GENERAL INFORMATION

- G1.0 COVER SHEET
- G2.0 CONSTRUCTION SPECIFICATIONS/ ACCESSIBILITY DETAILS

ARCHITECTURAL

- FLS1.0 FIRE/LIFE SAFETY PLAN
- A1.0 EQUIPMENT LAYOUT/ COUNTER CABINETS/ SCHEDULES
- A2.0 PARTITION & FINISH PLAN/ DETAILS MATERIAL SCHEDULE/ DOOR SCHEDULE
- A3.0 REFLECTED CEILING PLAN/ DETAILS
- A4.0 INTERIOR ELEVATIONS/ ART PACKAGE SCHEDULE
- A5.0 INTERIOR ELEVATIONS
- A6.0 INTERIOR DETAILS

ELECTRICAL

- E1.0 ELECTRICAL ONE-LINE DIAGRAM/ PANEL SCHEDULE/ CALCULATIONS
- E2.0 ELECTRICAL LIGHTING PLAN
- E3.0 ELECTRICAL POWER PLAN

MECHANICAL

- M1.0 MECHANICAL SCHEDULES, CALCULATIONS AND LEGEND
- M2.0 MECHANICAL PLAN
- M3.0 MECHANICAL DETAILS AND SEQUENCE OF OPERATIONS
- M4.0 MECHANICAL DETAILS
- M5.0 MECHANICAL ENERGY CERTIFICATE
- M6.0 MECHANICAL GENERAL NOTES AND SPECIFICATIONS

PLUMBING

- P1.0 PLUMBING LEGEND, CALCULATIONS AND SCHEDULES
- P2.0 POTABLE WATER & GAS PLUMBING PLAN
- P3.0 SANITARY SEWER PLUMBING PLAN
- P4.0 PLUMBING DETAILS
- P4.0 PLUMBING SPECIFICATIONS AND DETAILS

SYMBOL LEGEND

- SECTION REFERENCE
- DOOR SCHEDULE REFERENCE
- CENTERLINE
- MASTER MATERIAL SCHEDULE REFERENCE
- EQUIPMENT SCHEDULE REFERENCE
- ART PACKAGE REFERENCE
- WALL ASSEMBLY TYPE REFERENCE
- CABINET SCHEDULE REFERENCE
- FURNITURE SCHEDULE REFERENCE
- ELEVATION REFERENCE
- ENLARGED DETAIL REFERENCE
- REVISION TAG
- REVISION CLOUD

PROJECT STATISTICS:

SCOPE

THIS DOMINO'S PIZZA THEATER TENANT IMPROVEMENT PROJECT INCLUDES: THE ADDITION OF NEW INTERIOR PARTITIONS, CASEWORK, FIXED FURNITURE, KITCHEN EQUIPMENT, PLUMBING FIXTURES, ELECTRICAL DISTRIBUTION AND MECHANICAL SYSTEMS FOR A RETAIL FOOD BAKERY AND STORE.

CODE SUMMARY

BUILDING CODE	2015 IBC W/ MA AMENDMENTS
MECHANICAL CODE	2015 IMCW MA AMENDMENTS
PLUMBING CODE	2015 IPC W/ MA AMENDMENTS
ENERGY CODE	2015 IECC W/ MA AMENDMENTS
FUEL GAS CODE	2015 IFGC W/ MA AMENDMENTS
FIRE CODE	2015 IFC W/ MA AMENDMENTS
ELECTRICAL CODE	2014 NEC W/ MA AMENDMENTS

DOMINO'S PIZZA BAKERY IS INTENDED PRIMARILY FOR DELIVERY AND CARRY OUT WITH MINIMAL SEATING FOR WAITING CUSTOMERS.

IBC SECTION 303.1 EXCEPTION 1. A BUILDING OR TENANT SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY.

BUILDING DATA

CONSTRUCTION TYPE VB
AUTOMATIC SPRINKLER SYSTEM NO

TOTAL AREA OF DOMINO'S TENANT SPACE:
1,543 S.F. GROSS

OCCUPANT LOAD SUMMARY

OCCUPANCY CLASSIFICATION: GROUP B (LESS THAN 50 OCCUPANTS)

IBC SECTION 303.1 EXCEPTION 2. A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.
EXCEPTION 3. A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES THAT IS LESS THAN 750 SQUARE FEET IN AREA AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.

LOBBY AREA
GROSS AREA = 164 S.F.
LOAD FACTOR @ 1/100 BUSINESS
OCCUPANT LOAD = 1.64

PRODUCTION AREA
GROSS AREA = 565 S.F.
LOAD FACTOR @ 1/200 KITCHEN, COMMERCIAL
OCCUPANT LOAD = 2.83

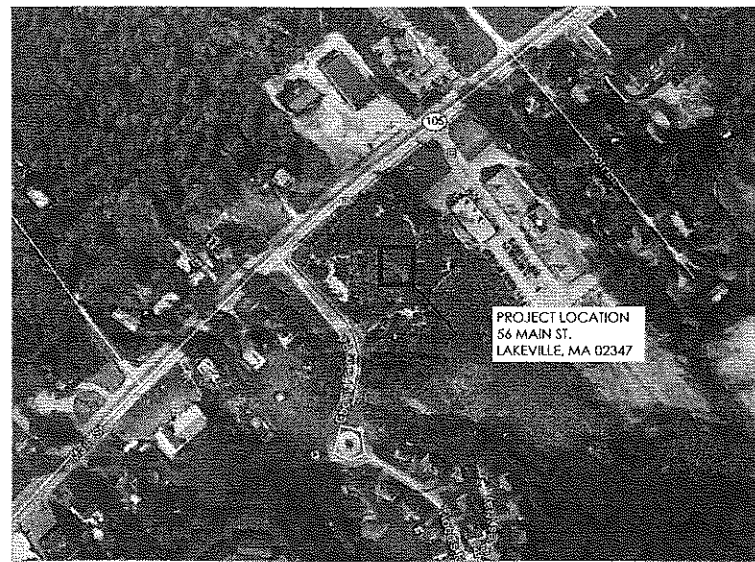
STORAGE AREA
GROSS AREA = 710 S.F.
LOAD FACTOR @ 1/300 ACCESSORY STORAGE
OCCUPANT LOAD = 2.37

TOTAL OCCUPANT LOAD = 7

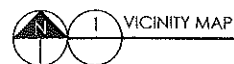
EXITS:
CUSTOMER AREA = 1
TOTAL EXITS = 2

7 PERSONS IN THIS SPACE X .15' / PERSON = 1.05 INCHES MIN. REQ'D
EXIT WIDTH PROVIDED = 68 INCHES PROVIDED

TOILETS:
TOTAL NUMBER OF TOILET FACILITIES = 1 PROVIDED
(1) EMPLOYEE UNSEX ACCESSIBLE RESTROOM



PROJECT LOCATION
56 MAIN ST.
LAKEVILLE, MA 02347



NOT TO SCALE

CONSTRUCTION SPECIFICATIONS:

01-73-00 DEMOLITION, CUTTING AND PATCHING

DEMOLITION SHALL BE COORDINATED AS REQUIRED AT THE EXISTING SPACE FOR NEW CONSTRUCTION TO COMMENCE. PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO ADJACENT PORTIONS OF THE EXISTING BUILDING AND TENANT SPACE. THE CONTRACTOR SHALL BE LIABLE FOR ANY AND ALL DAMAGES AND SHALL EFFECT REPAIRS IMMEDIATELY.

03-30-00 CONCRETE

ALL NEW CONCRETE SHALL HAVE A MIN. 28-DAY STRENGTH OF 2500 PSI. HIGHER STRENGTH CONCRETE MAY BE USED, AT OWNER'S DISCRETION, FOR FINISH AND DURABILITY PURPOSES.

CONCRETE POURBACK-3000 PSI 4-INCH-DEPTH W#3 RE-BAR @ 24-INCH O.C. AND 5-INCH DOWELING EMBEDMENT.

06-10-00 ROUGH CARPENTRY

ALL NEW INTERIOR PARTITIONS SHALL BE 3-5/8" 20 GA. METAL STUDS @ 16" MIN. O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES, UNLESS NOTED OTHERWISE IN "WALL TYPES" SCHEDULE. 3-1/2" DOUGLAS FIR WOOD FRAMING MAY BE USED IN LIEU OF METAL FRAMING.

GYPSUM BOARD SHALL BE SCREWED 16" O.C. AT INTERMEDIATE STUDS AND 8" O.C. AT JOINTS. ALL JOINTS AND CORNERS SHALL BE TAPED AND SMOOTH FINISHED WITH A THREE COAT PROCESS AT CUSTOMER LOBBY AREAS. WHEN FRP BOARD IS TO BE INSTALLED IN THE NON-CUSTOMER LOBBY AREAS, TAPE AND ONE COAT IS SATISFACTORY.

INSTALL ADEQUATE BLOCKING MATCHING ADJACENT FRAMING AND 5/8" CDX PLYWOOD SHEATHING INSTEAD OF GYPSUM BOARD BEHIND ALL PLUMBING FIXTURES, BARRIER-FREE GRAB BARS, SHELVING, AND ALL WALL-MOUNTED FOOD SERVICE AND COMPUTER EQUIPMENT. REFER TO EQUIPMENT LAYOUT & INTERIOR ELEVATION DRAWINGS FOR LOCATIONS.

IF REQUIRED BY THE MUNICIPALITY, ALL WOOD BLOCKING AND BACKING TO BE FIRE-RETARDANT TREATED.

06-60-00 FIBERGLASS REINFORCED PLASTIC (FRP) PANELS

WALL COVERINGS NOT VISIBLE FROM CUSTOMER LOBBY: MARLITE WHITE OR EQUIVALENT FRP (FIBERGLASS REINFORCED PLASTIC) PANELING TO THE UNDERSIDE OF THE SUSPENDED CEILING MINIMUM, WHITE IN COLOR WITH A TEXTURED FINISH. MANUFACTURER RECOMMENDED ADHESIVE SHALL BE USED TO MOUNT THE FRP PANELING. MATCHING TRIM SHALL BE INSTALLED AT THE JOINTS, INSIDE CORNERS AND EXPOSED EDGES. PANELING SHALL BE FROM THE PREMIUM GRADE LINE.

08-11-00 DOORS

INTERIOR DOOR IN THE CUSTOMER AREA (IF APPLICABLE) MUST BE GLASS WITH A BRUSHED ALUMINUM FRAME.

DOORS IN THE STORAGE, CLEANUP UP AREAS AND OFFICE MUST BE SOLID WOOD AND PAINTED WHITE IN COLOR.

DOORS IN THE CUSTOMER RESTROOMS MUST BE SOLID WOOD AND PAINTED RED IN COLOR.

A STAINLESS STEEL KICK PLATE, UP TO 2' IN HEIGHT MUST BE APPLIED TO THE BOTTOM OF ANY INTERIOR OR EXTERIOR DOOR.

ALL DOORS SHALL BE DESIGNED SO THAT THEY DO NOT OPEN TO THE INSIDE AND SHALL BE EQUIPPED WITH A SELF-CLOSING DEVICE.

ALL DOORS SHALL BE DESIGNED SO THAT THEY CAN BE TIGHTLY CLOSED ON ALL SIDES TO PREVENT THE ENTRANCES OF INSECTS, BIRDS, AND RODENTS INTO THE FACILITY.

08-30-00 WINDOWS AND GLAZING

OFFICE SECURITY WINDOW: 24"W X 36"H FIXED PANEL MIRRORED GLASS WINDOW SHALL BE INSTALLED AT THE MANAGER'S OFFICE AS SHOWN ON THE FLOOR PLAN. HEAD HEIGHT SHALL BE 6'-8" A.F.F. VERIFY W/ ELEVATION. FRAME SHALL BE HOLLOW METAL WITH GLASS STOPS AND RESILIENT MOUNTING STRIPS TO RECEIVE ONE-WAY REFLECTIVE GLASS.

ALL WINDOWS IN THE PRODUCTION AREA MUST REMAIN CLOSED.

ALL EXTERIOR WINDOWS WHICH ARE CAPABLE OF BEING OPENED WILL HAVE REMOVABLE SCREENS.

ALL GLAZING SHALL BE FREE OF CRACKS, SCRATCHES, CHIPS AND ANY OTHER DEFECTS OR IMPERFECTIONS AND SHALL BE INSTALLED TO PROVIDE A PROPER FIT SO AS NOT TO BIND IN THEIR FRAMES AND TO ALLOW FOR EASE IN REPLACEMENT.

THE STORAGE AREA, CLEAN UP AREA AND OFFICE AREA CAN NOT BE VISIBLE FROM OUTSIDE THE STORE. WINDOWS WITH VIEWS INTO THESE AREAS MUST BE COVERED IN OPAQUE BLACK FILM OR APPROVED VINYL WINDOW GRAPHICS.

THE PRODUCTION AREA MAY BE VISIBLE FROM OUTSIDE THE STORE AS LONG AS THE BACKS OF EQUIPMENT ARE NOT PLACED DIRECTLY IN FRONT OF A WINDOW AND ARE VISIBLE FROM OUTSIDE THE STORE.

09-31-00 CERAMIC AND QUARRY TILE

GENERAL CONTRACTOR TO PROVIDE A SMOOTH CONCRETE SLAB READY FOR INSTALLATION OF FLOOR COVERING AS PER PLANS.

REFER TO MATERIAL SCHEDULE FOR FRONT OF HOUSE AND BACK OF HOUSE FLOOR COVERING SPECIFICATIONS.

CERAMIC AND QUARRY TILE CONT.

ALL CERAMIC & QUARRY TILE SHALL BE INSTALLED WITH THIN SET ADHESIVES FURNISHED BY THE TILE MANUFACTURER. ALL TILE SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

ALL FLOOR TILE SHALL BE SET IN A MANNER WHICH WILL MINIMIZE CUTTING.

ALL FLOOR TILE SHALL BE ACID CLEANED AFTER GROUTING PER THE MANUFACTURER'S INSTRUCTIONS. NO SEALANTS SHALL BE APPLIED TO THE TILE.

09-50-00 SUSPENDED CEILINGS

SUSPENDED CEILINGS SHALL BE INSTALLED IN ACCORDANCE W/ CURRENT IBC, AMERICAN SOCIETY OF TESTING MATERIALS C835 & C836 AS WELL AS AMERICAN SOCIETY OF CIVIL ENGINEERS 7-02 & CEILING AND INTERIOR SYSTEMS CONSTRUCTION ASSOCIATION.

A SUSPENDED CEILING T-BAR SYSTEM SHALL BE PROVIDED BY THE GENERAL CONTRACTOR AND SHALL HAVE A BAKED ENAMEL SEMI-GLOSS FINISH. THE SYSTEM SHALL HAVE A CLASS "A" RATING AND SHALL BE A "SNAP-GRID" SYSTEM.

ALL CEILINGS MUST BE INSTALLED AT 90 DEGREES TO THE DEMISING WALLS. DIAGONAL PATTERNS ARE NOT ALLOWED.

MINIMUM OF 9" IN HEIGHT FROM FINISHED FLOOR. MAXIMUM OF 12", UNLESS NOTED OTHERWISE OR REFLECTED CEILING PLAN.

CEILING FANS ARE NOT ALLOWED IN THE PRODUCTION AREA, FOOD PREPARATION AREA, CUSTOMER AREA, OR WITHIN CUSTOMER VIEW IN THE STORE.

09-90-00 PAINT

ALL PAINT SHALL BE EGGSHELL OR SATIN FINISH UPON DRYING. REFER TO MATERIAL SCHEDULE.

NEW WALL SURFACES SHALL RECEIVE ONE PRIMER COAT AND TWO FINISH COATS. PAINT SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SHALL PROVIDE A SMOOTH, CLEANABLE, FINISHED SURFACE WITH UNIFORM COLOR THROUGHOUT.

10-14-00 SIGNAGE

REQUIRES SEPARATE PERMIT BY OTHERS, REVIEW & APPROVAL PRIOR TO INITIATING SUCH WORK.

ACCESSIBLE SIGNAGE

MOUNTING HEIGHTS AND LOCATIONS PER PLANS.

EXTERIOR SIGNAGE:

PRE-FABRICATED AND PRE-FINISHED CUSTOM MANUFACTURED SIGNAGE SHALL BE FURNISHED AND INSTALLED BY THE OWNER/ OWNER'S SIGN VENDOR. SIGNAGE SHALL BE PURCHASED FROM AN APPROVED SIGNAGE VENDOR.

ALL STORES SHALL HAVE A MINIMUM OF ONE STOREFRONT FASCIA SIGN (UNLESS OTHERWISE RESTRICTED BY MUNICIPALITY OR LANDLORD).

SECONDARY BUILDING SIGNAGE IS DEFINED AS SIGNAGE INSTALLED ANYWHERE ON THE BUILDING OTHER THAN THE STOREFRONT.

ALL SIGNS IN CUSTOMER VIEW MUST BE IN GOOD REPAIR WITH ALL LIGHTS FUNCTIONING.

ONLY VENDORS APPROVED BY DOMINO'S PIZZA, LLC MAY MANUFACTURE OR SELL SIGNS.

IT IS THE SIGNAGE MANUFACTURER'S RESPONSIBILITY TO ENSURE THE SIGNAGE IS DESIGNED, CONSTRUCTED, ATTACHED AND INSTALLED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND ORDINANCES. SIGNAGE MANUFACTURER TO PROVIDE DRAWINGS OF SIGNAGE ON STOREFRONT AND COLOR RENDERING OF SIGNAGE.

SPECIALTY SIGNAGE AND GRAPHICS:

SPECIALTY SIGNAGE IS DEFINED AS ANY SIGN THAT DOES NOT MEET THE CURRENT CRITERIA FOR STORE FRONT, SECONDARY OR STREET SIGNAGE. SPECIALTY SIGNAGE PLANS AND/ OR DRAWINGS FOR EACH SIGN MUST BE SUBMITTED TO DOMINO'S PIZZA LLC FOR WRITTEN APPROVAL BEFORE SIGN CONSTRUCTION AND ILLUSTRATION.

SPECIALTY SIGNS MUST BE MANUFACTURED BY AN APPROVED DOMINO'S PIZZA VENDOR UNLESS PRIOR WRITTEN APPROVAL IS GRANTED.

CUSTOMER LOBBY INTERIOR SIGNAGE:

INTERIOR SIGN MUST BE MANUFACTURED BY AN APPROVED DOMINO'S PIZZA VENDOR.

SIGN FOR OTHER THAN DIRECT BUSINESS PURPOSES ARE PROHIBITED.

THE ONLY NEON LED SIGNS ALLOWED ARE THOSE APPROVED BY DOMINO'S PIZZA. WINDOW TYPE NEON LED SIGNS MAY ONLY BE IN COLORS APPROVED BY DOMINO'S PIZZA.

AN APPROVED "OPEN" SIGN IS REQUIRED AND MUST BE ILLUMINATED FROM OPENING TO CLOSING.

NEON LED SIGNS MUST BE PLACED IN THE WINDOW WITH THE BOTTOM OF THE SIGN AT LEAST 60" FROM THE FLOOR.

10-17-00 TELEPHONE & DATA

THE GENERAL CONTRACTOR ELECTRICAL SUBCONTRACTOR SHALL INSTALL THE COMPLETE ELECTRICAL AND COMPUTER DATA WIRING SYSTEM WITH ALL THE NECESSARY RELATED ACCESSORIES FOR A COMPLETE, FUNCTIONING SYSTEM APPROVED BY DOMINO'S PIZZA AND THE TELEPHONE EQUIPMENT SUPPLIER.

THE CONTRACTOR SHALL OBTAIN, DIRECTLY FROM DOMINO'S PIZZA, ALL INSTALLATION INSTRUCTIONS PERTAINING TO THE DOMINO'S PIZZA COMPUTER/ TELEPHONE SYSTEM. PULSE CABLING SPECS.

THE CONTRACTOR SHALL COORDINATE THE WORK INDICATED ON THE DRAWINGS WITH THE COMPUTER/ TELEPHONE INSTALLATION DIRECTIONS FROM DOMINO'S PIZZA. IF DISCREPANCIES EXIST, THE DOMINO'S PIZZA INSTALLATION DIRECTIONS SHALL TAKE PRECEDENCE.

ALL INSTALLATION CONCEPTS SHALL BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.

IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL FIXTURES IN COMPLIANCE WITH LOCAL JURISDICTION CODES AND REQUIREMENTS.

10-26-00 WALL AND CORNER GUARDS

FULL HEIGHT 2" X 2" STAINLESS STEEL CORNER GUARDS AT ALL EXTERIOR CORNERS. FULL HEIGHT STAINLESS STEEL END CAPS AT ALL WALL ENDS.

10-99-00-2 FIRE EXTINGUISHERS

MINIMUM 2A10BC FIRE EXTINGUISHERS SHALL BE INSTALLED IN LOBBY.

MINIMUM CLASS K FIRE EXTINGUISHERS SHALL BE INSTALLED IN KITCHEN.

ALL FIRE EXTINGUISHERS SHALL BE PROPERLY TAGGED AND MOUNTED.

ALL FIRE EXTINGUISHERS SHALL REMAIN IN CLEAR VIEW AND SHALL NOT BE OBSTRUCTED AT ANY TIME.

FIRE EXTINGUISHERS SHALL BE INSTALLED NO HIGHER THAN 5' (AT HANDLE) AND NO LESS THAN 4" ABOVE FINISHED FLOOR.

11-40-00 FOOD SERVICE EQUIPMENT & MISCELLANEOUS ITEMS

FOOD SERVICE EQUIPMENT AND OTHER ITEMS LISTEN ON THE EQUIPMENT SCHEDULE SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.

ALL JOINTS IN THE COUNTER SYSTEM AND WHERE FIXED EQUIPMENT MEETS WALL SURFACES SHALL BE SEALED USING A CLEAR, NON-TOXIC SILICONE SEALANT APPLIED TO LEAVE A SMOOTH CONCAVE JOINT.

OVEN EXHAUST HOOD:

DOMINO'S PROVIDED EXHAUST HOOD INSTALLED BY GENERAL CONTRACTOR.

12-32-16 MILLWORK AND CABINETRY

THE CONTRACTOR SHALL INSTALL CUSTOM COUNTERS PROVIDED BY DOMINO'S PIZZA, INCLUDING BUT NOT LIMITED TO MODULAR CUSTOMER SERVICE COUNTERS, DOUGH COUNTERS, CUT TABLE, DRIVER'S TABLE, AND DROP BOXES.

PROTECTIVE WOOD CASE FOR TELEPHONE EQUIPMENT BY G.C.: COVER ALL EXPOSED WOOD WITH PURE WHITE PLASTIC LAMINATE. 48" X 48" X 18" DEEP WITH HINGED ACCESS DOORS. PROVIDE VENTILATION HOLES TOP & BOTTOM. MOUNT AS HIGH ON WALL AS POSSIBLE. SEE FLOOR PLAN FOR GENERAL LOCATION OF EQUIPMENT. VERIFY THIS DIMENSION IS SUFFICIENT FOR EQUIPMENT.

CUSTOM DESK FOR MANAGER'S OFFICE BY G.C. SEE MANAGER'S OFFICE ELEVATION DRAWINGS.

12-61-00 CUSTOMER LOBBY TABLES & CHAIRS

ALL STORES MUST HAVE APPROVED SEATING IN THE CUSTOMER AREA FOR A MINIMUM OF THREE (3) CARRYOUT CUSTOMERS.

NO FOLDING CHAIRS ARE ALLOWED.

SEE FURNITURE SCHEDULE FOR APPROVED BENCHES, TABLES, AND CHAIRS.

26-50-00 LIGHTING

CUSTOMER LOBBY LIGHTING:

APPROVED LIGHTING TO BE DESCRIBED IN LIGHTING PLAN AND SCHEDULE.

TRACK LIGHTING IS NOT APPROVED.

ALL OTHER AREAS LIGHTING:

APPROVED LIGHTING FOR STORAGE AREA, OFFICES AND RESTROOMS ARE SHIELDED, WHITE, RECESSED FLUORESCENT OR LED FIXTURES ONLY.

26-00-00 ELECTRICAL

SEE ELECTRICAL SHEETS FOR ELECTRICAL REQUIREMENTS.

IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL FIXTURES IN COMPLIANCE WITH LOCAL JURISDICTION CODES, AND REQUIREMENTS.

22-00-00 PLUMBING

SEE PLUMBING SHEETS FOR PLUMBING REQUIREMENTS.

IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL FIXTURES IN COMPLIANCE WITH LOCAL JURISDICTION CODES, AND REQUIREMENTS.

GAS:

SEE PLUMBING SHEETS FOR GAS REQUIREMENTS.

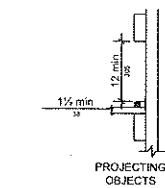
IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL FIXTURES IN COMPLIANCE WITH LOCAL JURISDICTION CODES, AND REQUIREMENTS.

23-00-00 HEATING, VENTILATION AND AIR CONDITIONING

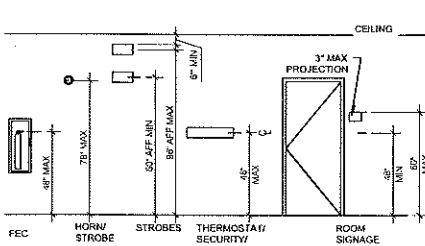
SEE MECHANICAL SHEETS FOR HVAC REQUIREMENTS.

IT IS THE CONTRACTORS RESPONSIBILITY TO INSTALL FIXTURES IN COMPLIANCE WITH LOCAL JURISDICTION CODES, AND REQUIREMENTS.

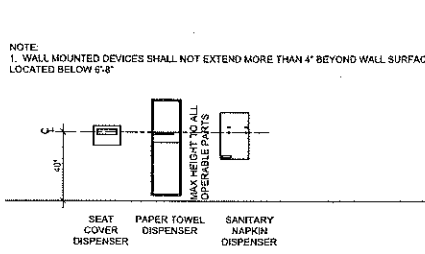
RESTROOM GRAB BAR



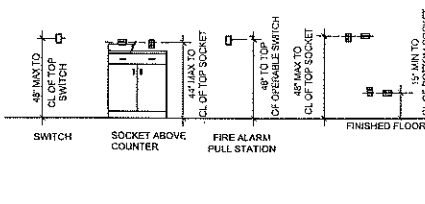
MOUNTING HEIGHTS



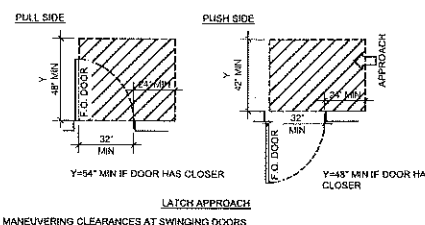
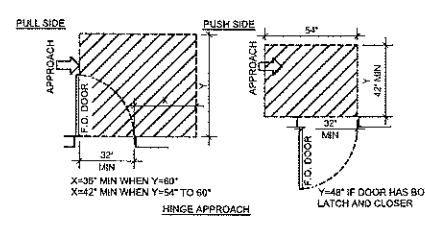
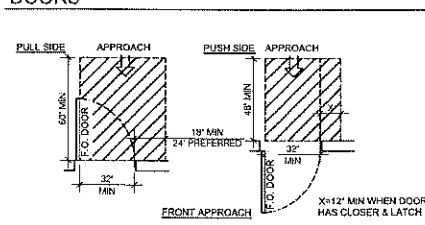
WALL MOUNTED DEVICES AND APPLIANCES



TOILET ROOM ACCESSORY MOUNTING HEIGHTS

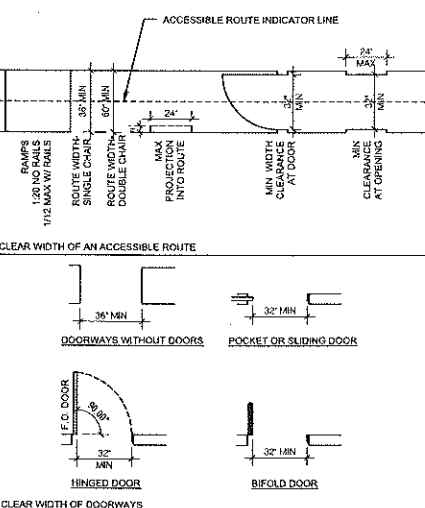


DOORS

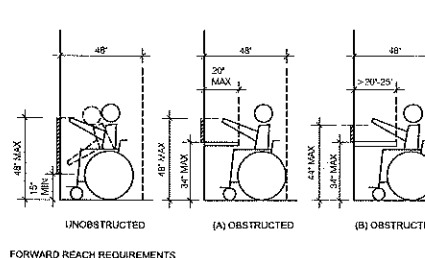


MANEUVERING CLEARANCES AT SWINGING DOORS

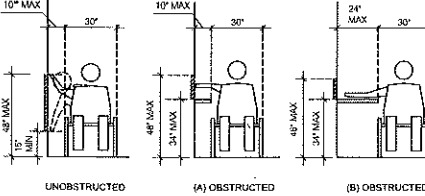
CLEARANCES



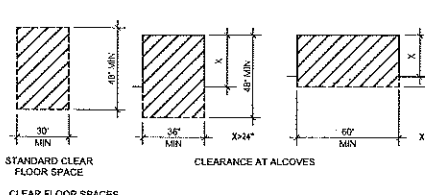
CLEAR WIDTH OF DOORWAYS



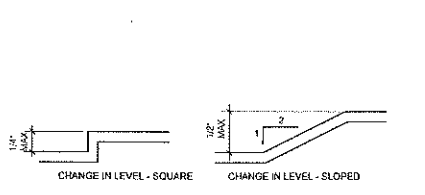
FORWARD REACH REQUIREMENTS



SIDE REACH REQUIREMENTS

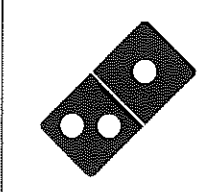
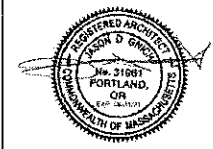


LEVEL CHANGE ON ACCESSIBLE ROUTE



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Domino's Pizza Bakery Store
Pizza Theater Tenant Improvement
56 Main St., Lakeville, MA 02347
for S & L Pizza
711 Southbridge St.
Auburn, MA 02347
617.642.7994

ISSUED FOR PERMIT:
02.09.2021

REV: DATE: DESCRIPTION:

SHEET NAME:

CONSTRUCTION SPECIFICATIONS/ ACCESSIBILITY DETAILS

SHEET NUMBER:

G2.0

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CODE ANALYSIS			
IBC 2015 AND NFPA 101-2009	EXISTING BUILDING	EXISTING SPACE	PROPOSED SPACE
IBC 2015 BUILDING USE GROUP CLASSIFICATION(S)	B	B	B
NFPA 101 OCCUPANCY CLASSIFICATION(S)	BUSINESS	BUSINESS	BUSINESS
SEPARATED MIXED USE PER IBC/ NFPA (Y/N)	NO	NO	NO
CONSTRUCTION TYPE PER IBC 2015	V-B	V-B	V-B
NUMBER OF STORES ABOVE GRADE	1	1	1
HIGH RISE (Y/N)	NO	NO	NO
FIRE ALARM SYSTEM (Y/N)	NO	NO	NO
FULLY SPRINKLED AND MONITORED (Y/N)	NO	NO	NO
TOTAL BUILDING AREA (S.F.)	N/A	1,543 S.F.	1,543 S.F.
FLOOR AREA OF RENOVATION/ TENANT SPACE (S.F.)	N/A	1,543 S.F.	1,543 S.F.

EXIT ACCESS TRAVEL DISTANCE		
OCCUPANCY	WITHOUT SPRINKLER SYSTEM (FEET)	WITH SPRINKLER SYSTEM (FEET)
A, E, F-1, M, R, S-1	200	250
I-1	NOT PERMITTED	250
B	200	300
F-2, S-2, U	300	400
H-1	NOT PERMITTED	75
H-2	NOT PERMITTED	100
H-3	NOT PERMITTED	150
H-4	NOT PERMITTED	175
H-5	NOT PERMITTED	200
I-2, I-3, I-4	NOT PERMITTED	200

- FIRE EXTINGUISHER NOTES**
- ALL FIRE EXTINGUISHERS SHALL BE STATE OF MASSACHUSETTS CERTIFIED. ALL FIRE EXTINGUISHERS SHALL BE PROPERLY MOUNTED AT THE HEIGHT REQUIREMENTS OF NO HIGHER THAN 4'-6" A.F.F. TO THE TOP OF THE EXTINGUISHER AND AT LEAST 6" FROM FLOOR TO THE BOTTOM OF EXTINGUISHER. (NFPA 10: 6.1.3.8)
 - ALL PROPERLY MOUNTED FIRE EXTINGUISHERS SHALL NOT EXCEED 75' OF TRAVEL DISTANCE APART. (NFPA 1: 6.1)
 - FIRE EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED WHERE THEY ARE READILY ACCESSIBLE AND IMMEDIATELY AVAILABLE IN THE EVENT OF FIRE. (NFPA 10: 6.1.3)
 - FIRE EXTINGUISHERS SHALL BE LOCATED ALONG NORMAL PATHS OF TRAVEL, INCLUDING EXITS FROM AREAS. (NFPA 10: 6.1.3)
 - FIRE EXTINGUISHERS SHALL NOT BE OBSTRUCTED OR OBSCURED FROM VIEW. (NFPA 10: 6.1.3.3)

MATERIAL PERFORMANCE		
MATERIAL	CLASS	FLAME SPREAD INDEX
CUSTOMER LOBBY CEILING TILE	CLASS A	<25
PRODUCTION AREA CEILING TILE	CLASS A	<25
FLOOR TILE	CLASS A	<25
WALL TILE	CLASS A	<25
WALL PAINT	CLASS A	<5
PLASTIC LAMINATE	CLASS A	<25
FRP PANELS	CLASS A	<25
CORIAN SOLID SURFACE	CLASS A	<25

PROJECT STATISTICS:

BUILDING DATA

TOTAL AREA OF DOMINO'S PIZZA TENANT SPACE: 1,543 S.F. GROSS

OCCUPANT LOAD SUMMARY

OCCUPANCY CLASSIFICATION: GROUP B (LESS THAN 50 OCCUPANTS)

IBC SECTION 303.1
EXCEPTION 2. A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.
EXCEPTION 3. A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES THAT IS LESS THAN 750 SQUARE FEET IN AREA AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.

LOBBY AREA
GROSS AREA = 164 S.F.
LOAD FACTOR @ 1/100 BUSINESS
OCCUPANT LOAD = 1.64

PRODUCTION AREA
GROSS AREA = 565 S.F.
LOAD FACTOR @ 1/200 KITCHEN, COMMERCIAL
OCCUPANT LOAD = 2.83

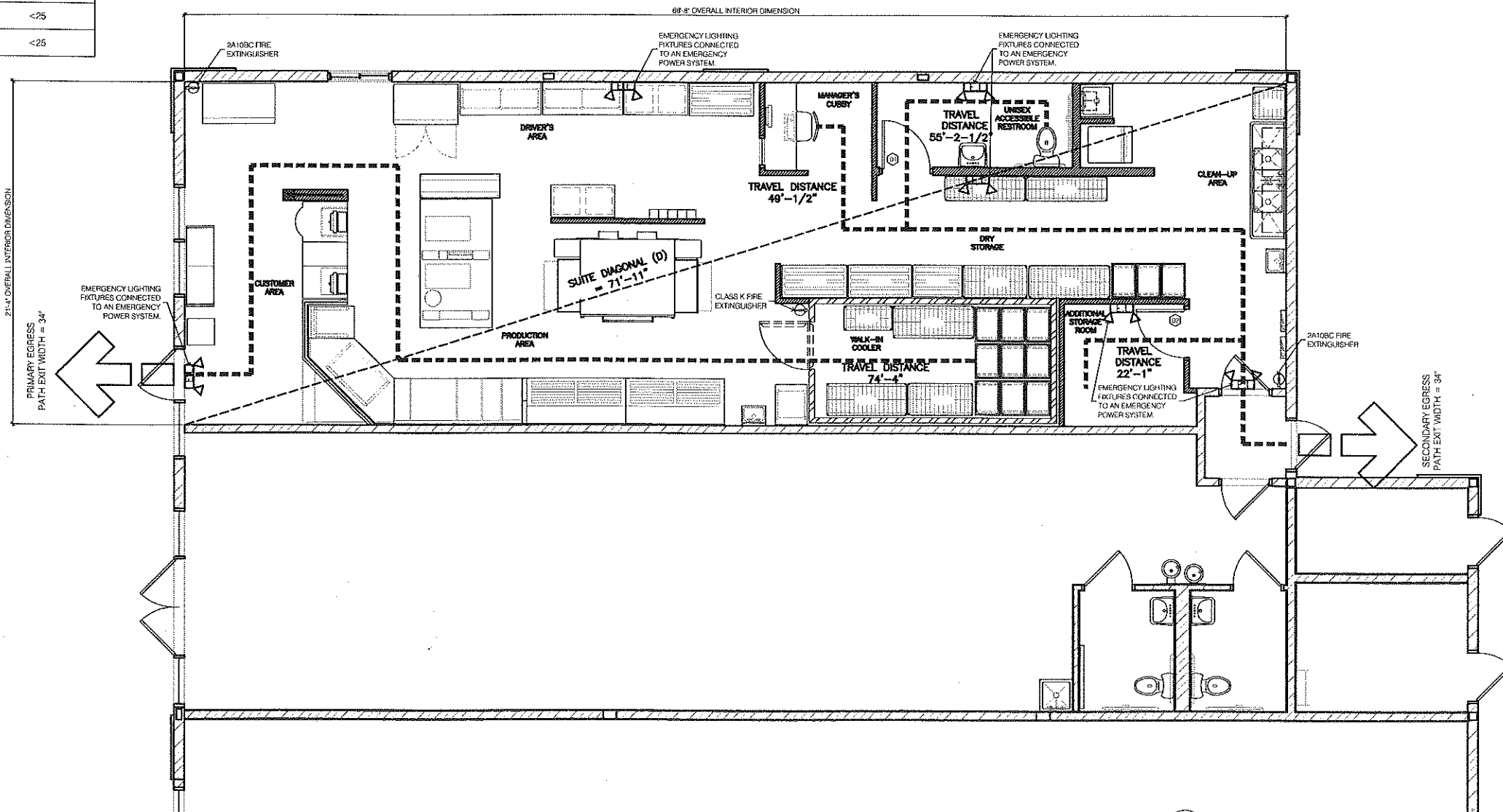
STORAGE AREA
GROSS AREA = 710 S.F.
LOAD FACTOR @ 1/300 ACCESSORY STORAGE
OCCUPANT LOAD = 2.37

TOTAL OCCUPANT LOAD = 7

EXITS:
CUSTOMER AREA = 1
TOTAL EXITS = 2

7 PERSONS IN THIS SPACE X .15' / PERSON = 1.05 INCHES MIN. REQ'D
EXIT WIDTH PROVIDED = 68 INCHES PROVIDED

TOILETS:
TOTAL NUMBER OF TOILET FACILITIES = 1 PROVIDED
(1) EMPLOYEE UNISEX ACCESSIBLE RESTROOM

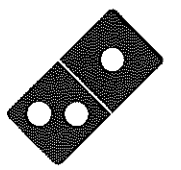


1 FIRE/ LIFE SAFETY PLAN
SCALE: 1/4" = 1'-0"



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FIRE/ LIFE SAFETY PLAN

SHEET NUMBER:

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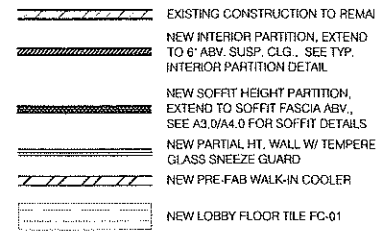
NO.	SYMBOL	DESCRIPTION	QUANTITY	UNIT	REMARKS
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GENERAL NOTES

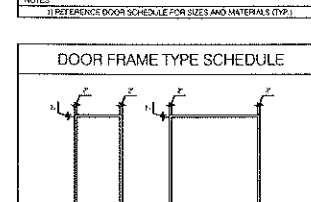
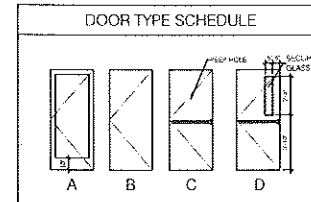
- ALL DIMENSIONS OF NEW WALLS TO FACE OF STUD UNLESS OTHERWISE NOTED.
- G.C. TO VERIFY ALL DIMENSIONS IN THE FIELD BEFORE COMMENCING CONSTRUCTION.
- ALL INTERIOR FINISHES SHALL COMPLY WITH SECTION 803. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803.

FLAME SPREAD RATINGS:
 WALL TILE - CLASS A - <25
 WALL PAINT - CLASS A - <5
 PLASTIC LAMINATE - CLASS A - <25
 FRP PANELS - CLASS A - <25
 STAINLESS STEEL CORNER GUARDS - CLASS A - <25
 CEILING TILE - CLASS A - <25

PARTITION KEY

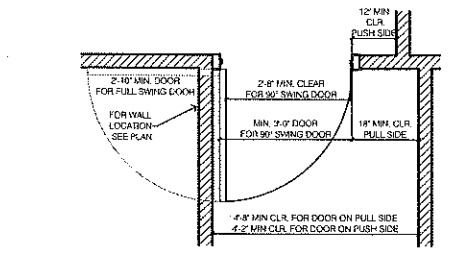


DOOR SCHEDULE						
NO.	SIZE	TYPE	CLASS	MATERIAL	HORIZONTAL	NOTES
D1	2'-0" x 6'-0"	B 1	1	WOOD	1	...
D2	2'-0" x 6'-0"	B 1	1	WOOD	2	...

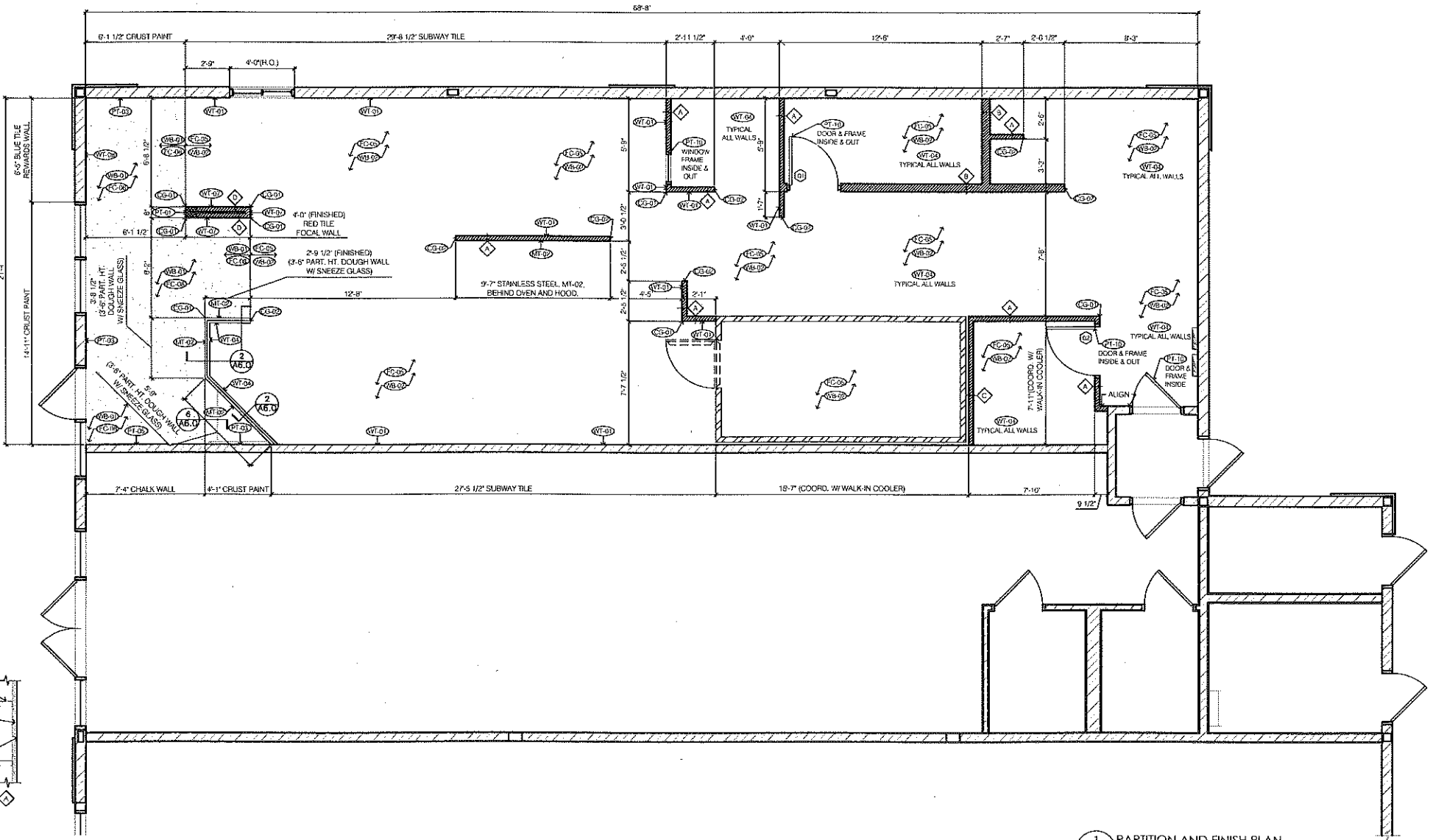


DOOR NOTES:

- THIS PLAN IS ISSUED SO THAT THE CONTRACTOR CAN MAINTAIN FULL COMPLIANCE WITH THE ACCESSIBILITY CODES (ANSI 117.1) AND THE AMERICAN WITH DISABILITIES ACT FOR WHEELCHAIR MANEUVERABILITY AT DOORS. THIS DETAIL INDICATES PARTIAL REQUIREMENTS OF THE CODE. IT IS ADVISED THAT THE CONTRACTOR OBTAIN A COMPLETE COPY OF THESE CODES FOR REFERENCE.
- THE DIMENSIONS SHOWN ARE CRITICAL FOR COMPLIANCE WITH THE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE PROPER CLEARANCES FOR WHEELCHAIR MANEUVERABILITY. IF CONFLICTS OCCUR, BRING TO DESIGNER'S ATTENTION IMMEDIATELY.
- FOR FULL SWING DOORS A MINIMUM 7'-10" WIDE DOORS IS REQUIRED FOR CLEARANCE. FOR 90° SWING DOORS A MINIMUM 3'-0" WIDE DOOR IS REQUIRED FOR CLEARANCE.
- IN ORDER TO ACHIEVE THE REQUIRED 12" OR 18" MINIMUM CLEARANCES AT DOOR AND A MINIMUM PASSAGE WIDTH THE DOOR FRAME AT HINGE SIDE MAY HAVE TO BE AGAINST THE ADJACENT WALL.
- THE MAXIMUM EFFORT FOR BOTH INTERIOR AND EXTERIOR DOORS IS 5 POUNDS.
- FLOOR LEVEL AT DOORS NOT TO BE MORE THAN 1/2 INCH LOWER THAN THE THRESHOLD REQUIREMENTS.
- FRPSS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 2 SECONDS MINIMUM.

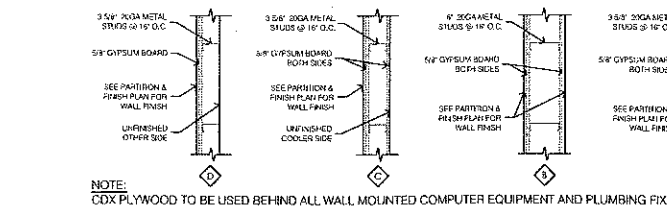


3 TYPICAL DOOR PLAN FOR WHEELCHAIR ACCESS
 SCALE: 1/2" = 1'-0"



1 PARTITION AND FINISH PLAN
 SCALE: 1/4" = 1'-0"

NOTE: NOT ALL MATERIALS ARE APPLICABLE TO THIS PROJECT. SEE PARTITION AND FINISH PLAN FOR SPECIFIC MATERIAL AND FINISH LOCATIONS.



2 WALL ASSEMBLY TYPES
 NOT TO SCALE



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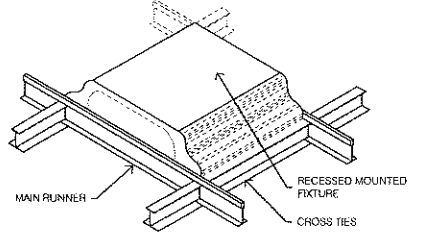
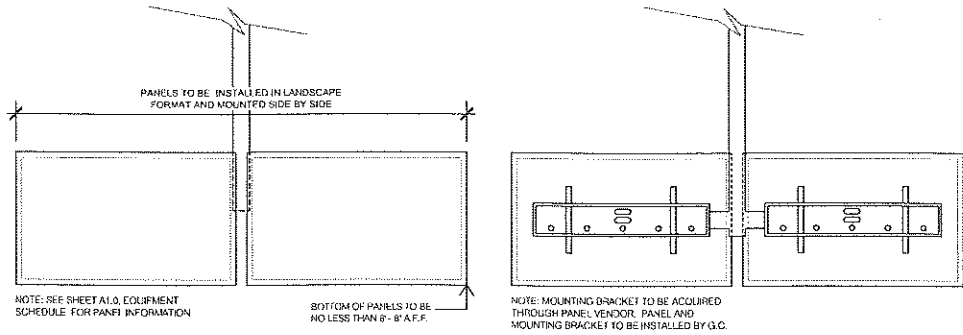
ISSUED FOR PERMIT:
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REV: DATE: DESCRIPTION:

SHEET NAME:
 PARTITION & FINISH
 PLAN/ DETAILS/
 MATERIAL SCHEDULE/
 DOOR SCHEDULE

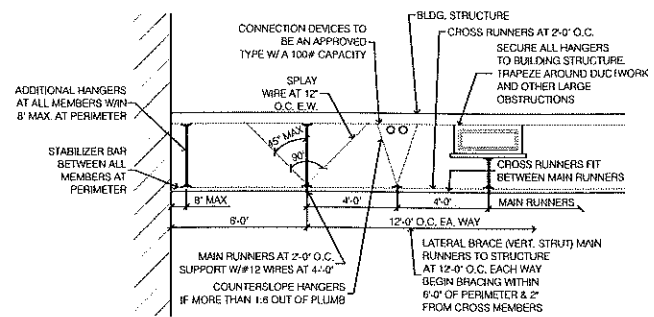
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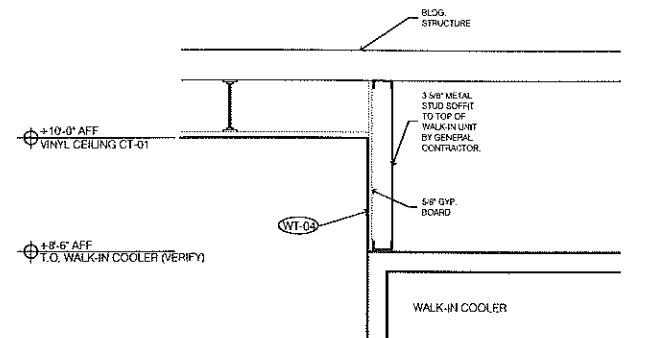


NOTES:
1. ALL RECESSED LIGHTING FIXTURES INSTALLED ATTACHED TO T-BARS W/ 4 SELF TAPPING SCREWS, 2 AT EACH END OF FIXTURE

6 MENU BOARD BRACKET DETAIL
SCALE: 3/4" = 1'-0"

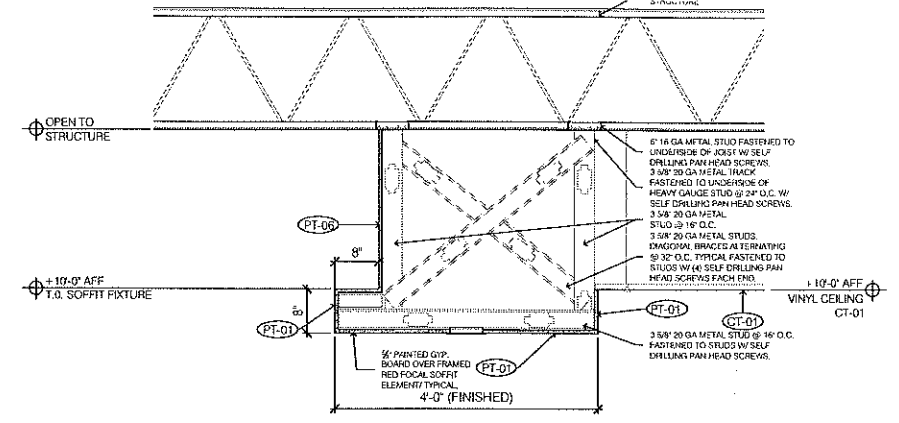


5 TROFFER LIGHT DETAIL
NOT TO SCALE

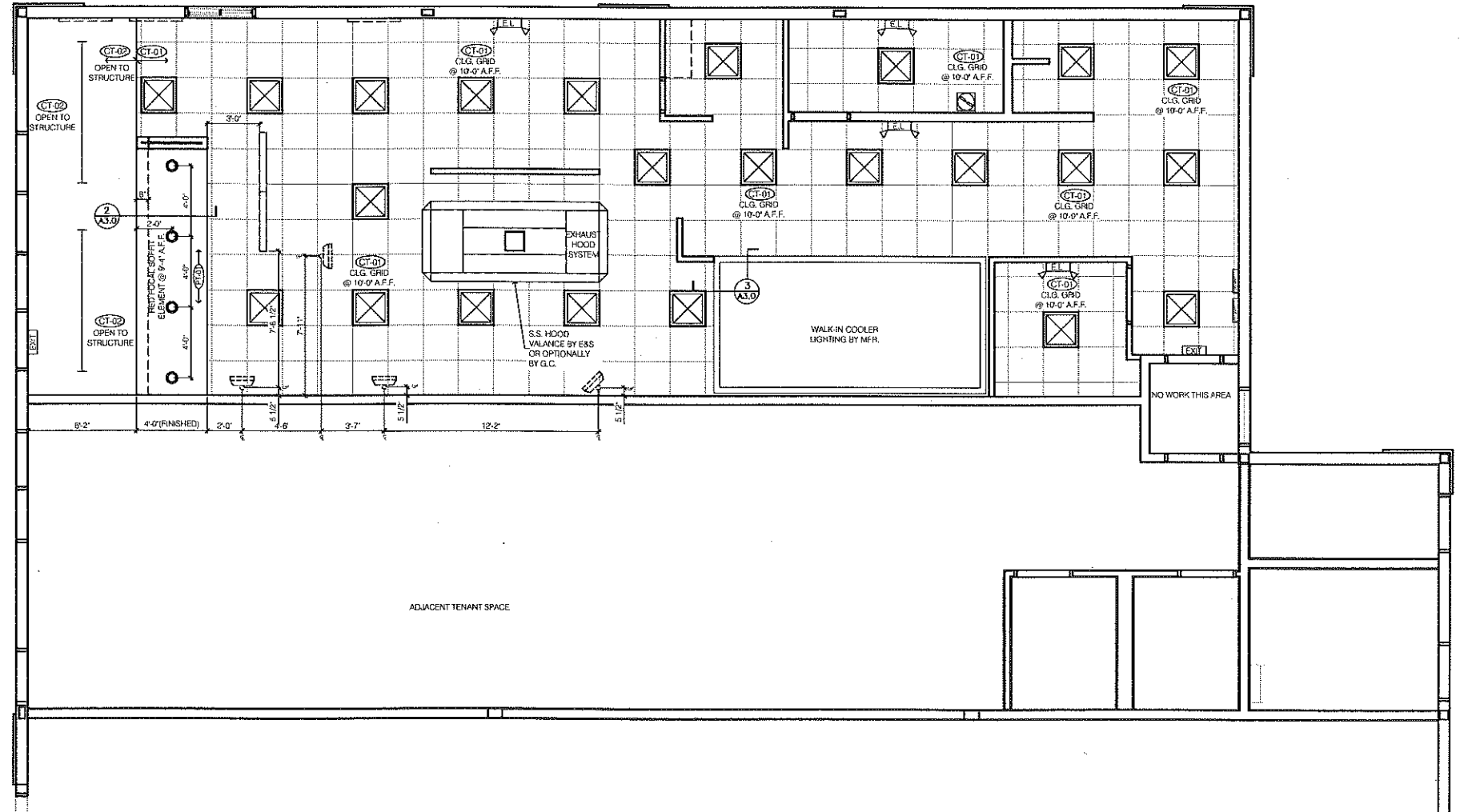


4 SUSPENDED CEILING DETAIL
NOT TO SCALE

3 COOLER HEADWALL DETAIL
SCALE: 3/4" = 1'-0"



2 SITE FRAMED SOFFIT SECTION
SCALE: 3/4" = 1'-0"



1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES
1. REFER TO ELECTRICAL LIGHTING PLAN FOR FIXTURE SPECIFICATIONS.



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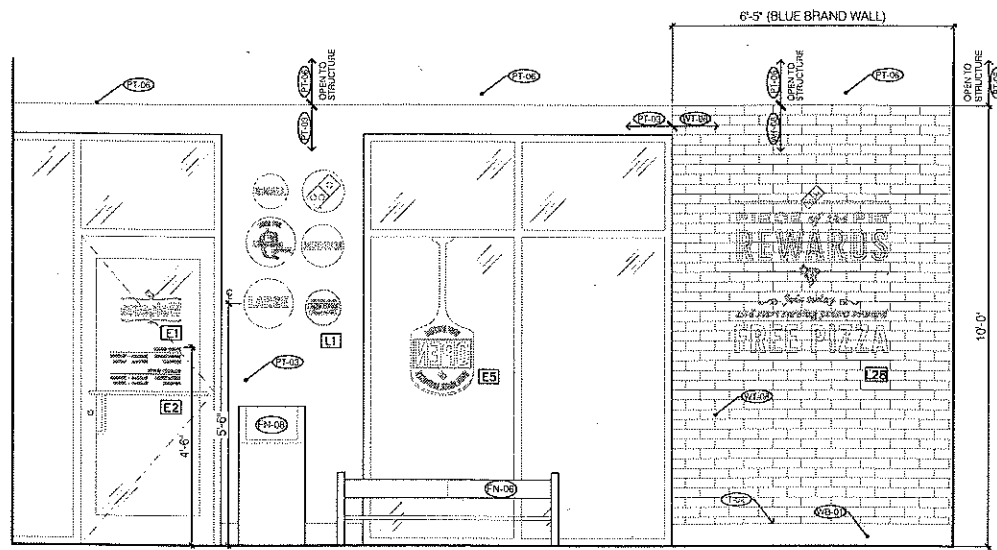
REFLECTED CEILING PLAN/ DETAILS

SHEET NUMBER:

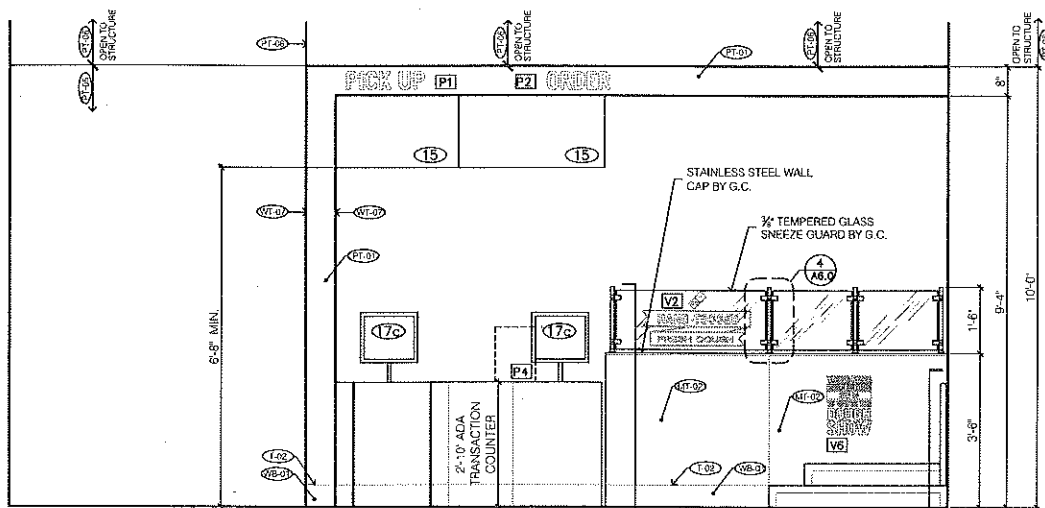
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MARK	DESCRIPTION	PRODUCT CODE / FINISH	NOTES
ART PACKAGE SCHEDULE			
NOTE: DIMENSIONS ARE NOT INTENDED TO BE AN EXHAUSTIVE STORE CHANGE ORDER. GNICH ARCHITECTURE STUDIO IS RESPONSIBLE FOR ALL DRAWING PRODUCT CODES / FINISHES.			
GRAPHICS: ENTRYWAY			
E1	WELCOME CURTAIN ENTRY DOOR	PC272141	6-1/4" PIZZA THEATER STONE MUST COVER
E2	STREET MOONS - W/ VITREO DOWNLITE STAINLESS	BY OWNER	
E3	WELCOME GLASS PARTITION 48" WIDE	PC272140	
E4	PICK UP WINDOW OPEN PNL. 24" W x 10" H	PC272142	UTILIZED AS A SECOND SIGN STORES THAT NEED IT
E5	MONITORING OPEN PNL. 24" W x 10" H	PC272143	6-1/4" PIZZA THEATER STONE MUST COVER
E6	LOGO - 18" H x 10" W WINDOW VINYL	PC272144	
GRAPHICS: WALLPAPER			
W1	COLORS NEOPRINT WALLPAPER #1	PC282041	OPTIONAL PAPER BOARD (PC282041)
W2	COLORS NEOPRINT WALLPAPER #2	PC282042	OPTIONAL PAPER BOARD (PC282042)
W3	COLORS NEOPRINT WALLPAPER #3	PC282043	OPTIONAL PAPER BOARD (PC282043)
W4	COLORS NEOPRINT WALLPAPER #4	PC282044	OPTIONAL PAPER BOARD (PC282044)
W5	BLUE LOYALTY WALL PANEL		TEXTURED SURFACE VINYL BY A&E
GRAPHICS: LOBBY WALLS			
L1	SEE PIZZA PAN ART (SET OF 6)	PC272158	3/4" TO CENTER OF BOTTOM FROM FLOOR
L2	SEE PIZZA PAN ART (SET OF 3)	PC272157	3/4" TO CENTER OF BOTTOM FROM FLOOR
L3	MISCELLANEOUS PIZZA PAN ART (SET OF 6)	PC272161	3/4" TO BOTTOM OF PANEL. EVERY THIRDSIDE MUST HAVE EITHER PAN ART OR LOBBY GRAPHIC. PAN ART IS 1/2" WIDE.
L4	WHY WAIT & MIB PAN ART (SET OF 3)	PC272160	3/4" TO BOTTOM OF PANEL. EVERY THIRDSIDE MUST HAVE EITHER FRAMED ART AND ONE PAN ART PACKAGE.
L5	PEPPER & DOM PAN ART (SET OF 3)	PC272164	3/4" TO BOTTOM OF PANEL. EVERY THIRDSIDE MUST HAVE EITHER FRAMED ART AND ONE PAN ART PACKAGE.
L6	ANYWAY & SIC BREAD PAN ART (SET OF 2)	PC272166	3/4" TO BOTTOM OF PANEL. EVERY THIRDSIDE MUST HAVE EITHER FRAMED ART AND ONE PAN ART PACKAGE.
L7	CAUTION DELIVERY EFFORTS' DOOR VINYL	PC272177	1/2" TO 1/4" FROM TRACK. SPACED TO LOBBY FROM PRODUCTION AREA
L8	TRACK IT DIMENSIONAL RIBBON	PC272176	
L9	FREE WIP SPOT	PC272176	NEW STORE LAYOUT ONLY - NOT PRECUT
L10	WIND TOSSED FRESH DOUGH WALL VINYL	PC272176	
L11	SON OF FRANCHISEES' WALL VINYL	PC272176	
L12	PIZZA PROVIDERS - CHALK WALL VINYL	PC272208	6-1/2" AFF TO BOTTOM OF BRACKET
L13	MANAGER'S SPECIAL - CHALK WALL VINYL	PC272209	4-1/2" AFF TO BOTTOM OF BRACKET
L14	TELL US WHAT YOU THINK - CHALK WALL VINYL	PC272210	CHALK WALL
L15	2 CHALK TINY	PC272205	2-1/2" AFF ON CHALK WALL
L16	2 CHALK TINY	PC272207	2-1/2" AFF ON CHALK WALL
L17	FRAMED PHOTO COLLAGE (SET OF 4)	PC272258	EVERY NEW STORE MUST HAVE LONG FRAMED ART AND ONE PAN ART PACKAGE. BOTTOM SHOULD BE 1/2" FROM FLOOR
L18	WHY WAIT PAN ART 20" X 24" RED 3PC WALL PRINTS	PC272329	
L19	ONLINE ORDER PAN ART 20" X 24" RED 3PC WALL PRINTS	PC272331	
L20	EVOKO 20" X 30" RED WALL PRINT	PC272347	
L21	MARBLE COOKIE SIGNAGE 20" X 30" RED WALL PRINT	PC272343	
L22	EASY ORDER 20" X 30" RED WALL PRINT	PC272341	
L23	MEET DOH 20" X 30" RED WALL PRINT	PC272345	
L24	WHY WAIT 20" X 30" RED WALL PRINT	PC272346	
L25	THICKER DOUGH 20" X 30" RED WALL PRINT	PC272347	
L26	HANDMADE PAN PIZZA 20" X 30" RED WALL PRINT	PC272348	
L27	FORMER 20" X 30" RED WALL PRINT	PC272349	
GRAPHICS: CUSTOMER VIEWING LEDGE			
V1	DIMENSIONAL LOGO AND BRAND STATEMENT VINYL	PC272342	RED FOAM WALL - 1/2" TO BOTTOM OF DOOR
V2	"HAND ROLLED DOUGH" VINYL	PC272325	SHIELD GUARD IN FRONT OF DOUGH COUNTER
V3	"GREAT PIZZA FOR THE EMPLOYEE" VINYL	PC272326	SHIELD GUARD IN FRONT OF MANLINE
V4	"WHY IS THE TEMP IT TAKES" VINYL	PC272327	SHIELD GUARD IN FRONT OF MANLINE
V5	"WE WORK HARD" VINYL	PC272328	SHIELD GUARD IN FRONT OF MANLINE
V6	PIZZA INSPECTION STEP UP SIGN	PC284033	ON RED STEP - 1/2" AFF TO BOTTOM OF GRAPHIC
GRAPHICS: POS			
P1	PICK UP SOFFIT DIMENSIONAL LETTERS	PC272332	MUST USE
P2	ORDER SOFFIT DIMENSIONAL LETTERS	PC272334	MUST USE
P3	PICK UP POS VINYL	PC272331	USE ON COUNTERS IF NO SIGNET AVAILABLE
P4	POS AND CHALKBOARD GRAPHICS COUNTER	PC272337	
GRAPHICS: RESTROOM			
R1	RESTROOM FRAMED ART (SET OF 3)	PC272347	ONE FOR EACH OPPOSITE WALL
R2	"KEEP YOUR FRIENDS" SIGN	PC282339	
R3	LADIES RESTROOM SIGN	PC284040	
R4	MEN'S RESTROOM SIGN	PC284041	
R5	MENS RESTROOM SIGN	PC284042	
R6	EMPLOYEES MUST WASH SIGN	PC284043	REQUIRE BY SIGN FOR CUSTOMER RESTROOM
GRAPHICS: MERCHANDISING			
M1	COUNTER MERCHANDISE DISPLAY	PC272429	PRICE STRIPS SOLD SEPARATELY
M2	HOT HOLD MERCHANDISE DISPLAY	PC272430	PRICE STRIPS SOLD SEPARATELY

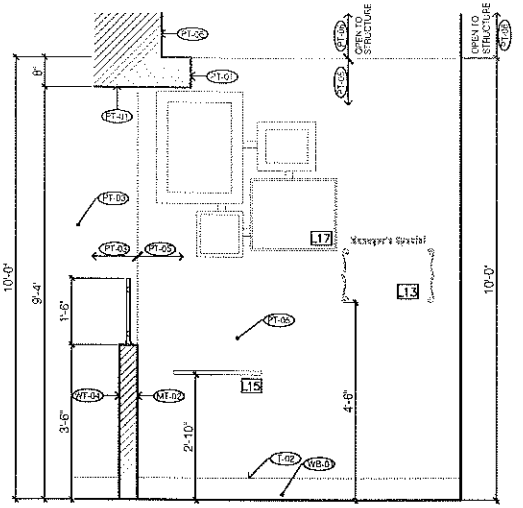
NOTE: ONLY ITEMS WITH QUANTITY LISTED ARE APPLICABLE TO THIS PROJECT.



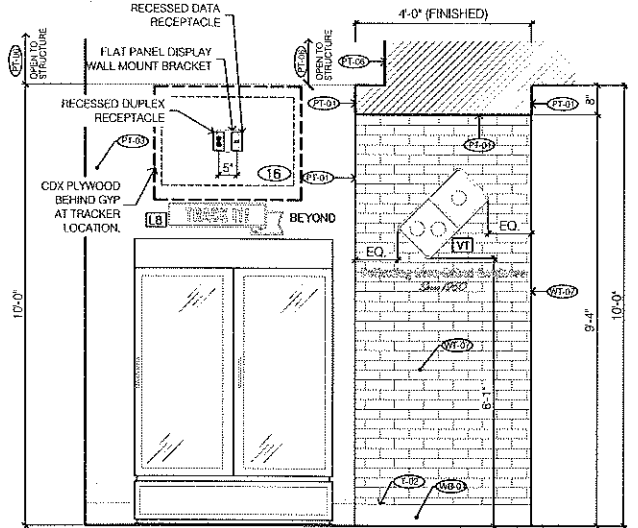
2 INTERIOR STOREFRONT LOBBY ELEVATION
SCALE: 1/2" = 1'-0"



1 FRONT COUNTER LOBBY ELEVATION
SCALE: 1/2" = 1'-0"



4 CHALK WALL LOBBY ELEVATION
SCALE: 1/2" = 1'-0"



3 FOCAL WALL LOBBY ELEVATION
SCALE: 1/2" = 1'-0"



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Project No: 5331
Domino's Pizza Bakery Store
Pizza Theater Tenant Improvement
56 Main St., Lakeville, MA 02347
for S & L Pizza
711 Southbridge St.
Auburn, MA 02347

ISSUED FOR PERMIT:
02.09.2021

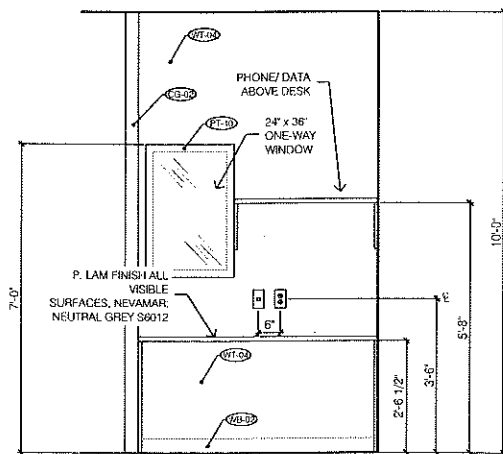
REV: DATE: DESCRIPTION:

SHEET NAME:

INTERIOR ELEVATIONS/
ART PACKAGE
SCHEDULE

SHEET NUMBER:

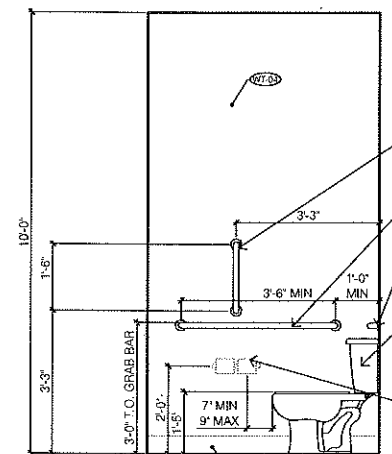
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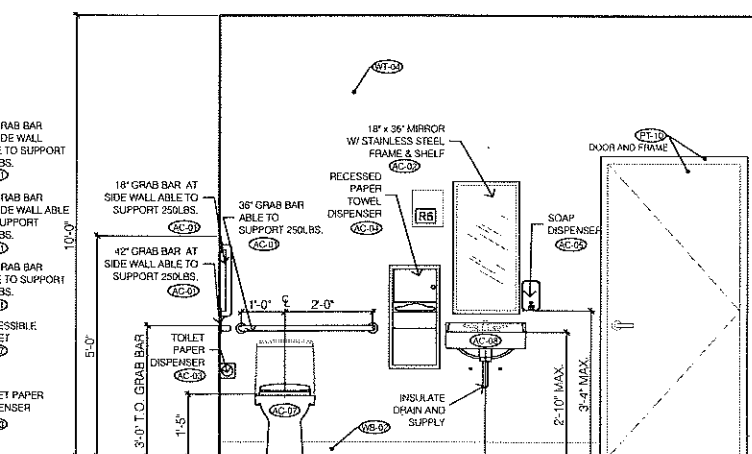
3 MANAGER'S DESK ELEVATION
SCALE: 1/2" = 1'-0"

TOILET ACCESSORY LEGEND (BY G.C.)						
MARK	MATERIAL	MANUFACTURER	MODEL #	COLOR	FINISH	COMMENT
AC-01	ADA GRAB BAR - 1.25" Ø	BOBRICK	B-5806	---	---	SIZE AND LOCATION ON PLAN
AC-02	MIRROR	BOBRICK	B-165 1836	---	---	MOUNT @ 40" A.F.F. MAX TO BOT. OF REFLECTIVE SURFACE
AC-03	TOILET PAPER DISPENSER	BOBRICK	B-205	---	---	WALL MOUNT @ 36" A.F.F. MAX TO CENTER OF ROLL
AC-04	RECESSED PAPER TOWEL DISPENSER	BOBRICK	B-369	---	---	WALL MOUNT @ 40" A.F.F. MAX TO B.O. OF DISPENSER
AC-05	SOAP DISPENSER	BOBRICK	B-2111	---	---	WALL MOUNT @ 40" A.F.F. MAX TO B.O. OF DISPENSER
AC-06	XLERATOR HIGH VELOCITY HAND DRYER	EXCEL DRYER INC.	XL-SB	---	S.S.	WALL MOUNT (OPTIONAL) SUBSTITUTE FOR AC-04
AC-07	ACCESSIBLE TOILET-LH	ZURN	Z5550	WHITE	---	LEFT HAND, FLOOR MOUNT, ELONGATED BOWL, OPEN FRONT SEAT
AC-08	ACCESSIBLE TOILET-RH	ZURN	Z5550	WHITE	---	RIGHT HAND, FLOOR MOUNT, ELONGATED BOWL, OPEN FRONT SEAT
AC-09	ACCESSIBLE SINK	ZURN	Z5340	WHITE	---	WALL MOUNT, MEETS ADA AND ANSI A117.1 REQUIREMENTS WHEN USING 3" A.F.F.

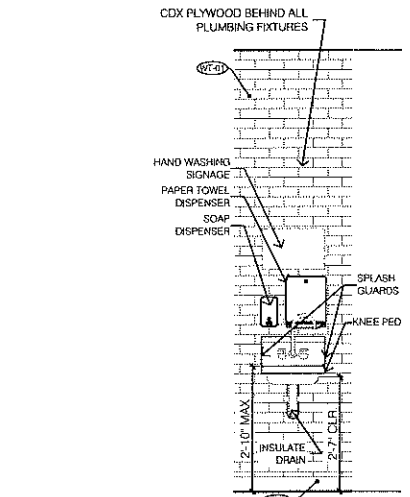
NOTE: FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF WATER CLOSET



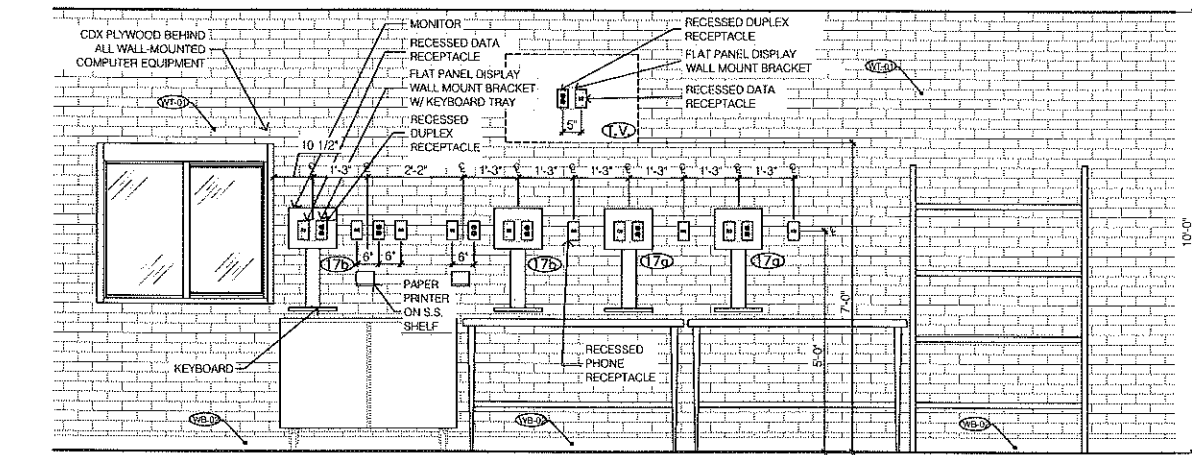
2 RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"



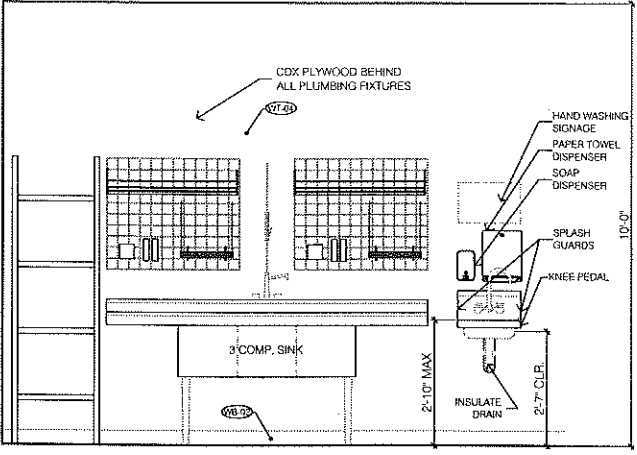
1 RESTROOM ELEVATION
SCALE: 1/2" = 1'-0"



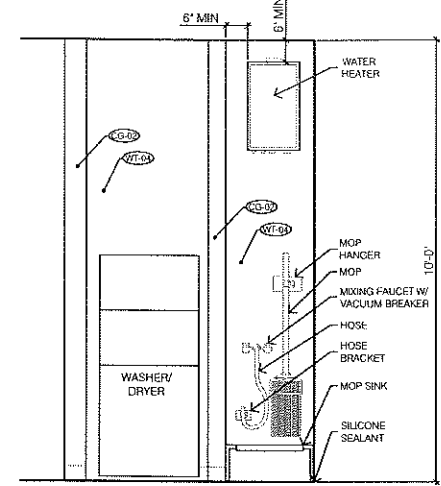
5 TYPICAL HANDSINK ELEVATION
SCALE: 1/2" = 1'-0"



4 DRIVER'S AREA ELEVATION
SCALE: 1/2" = 1'-0"



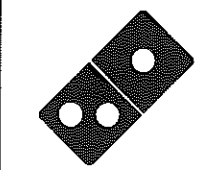
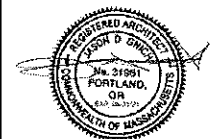
7 CLEAN UP AREA ELEVATION



6 CLEAN UP AREA ELEVATION
SCALE: 1/2" = 1'-0"



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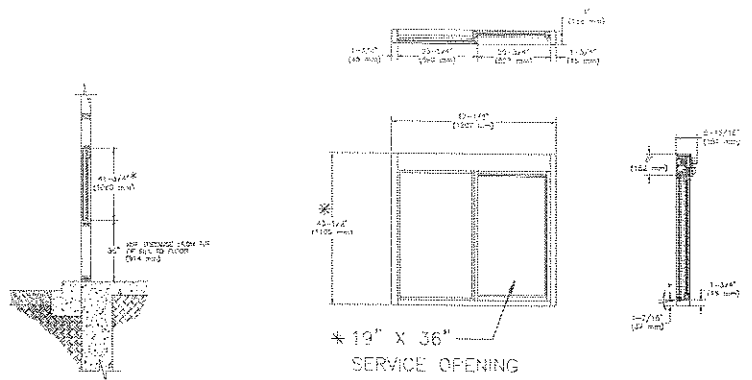
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SHEET NAME:

INTERIOR ELEVATIONS

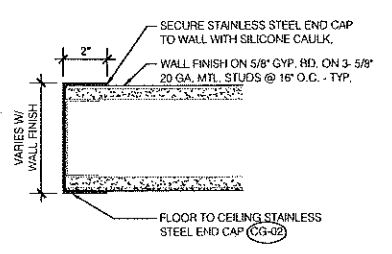
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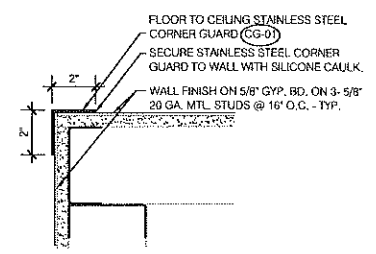


DRIVE-THRU WINDOW DETAIL: READY ACCESS (MODEL 275 ELECTRIC)
CONTACT: (800) 621-5045

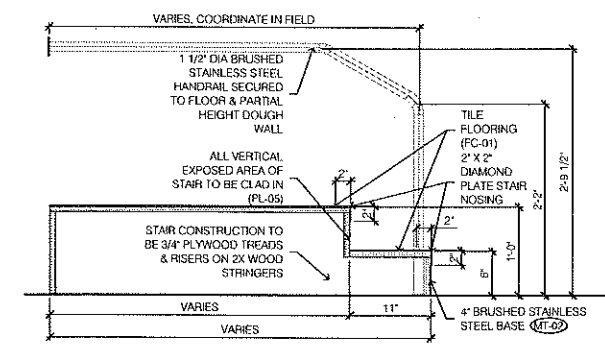
9 PICK UP WINDOW DETAIL
SCALE: NTS



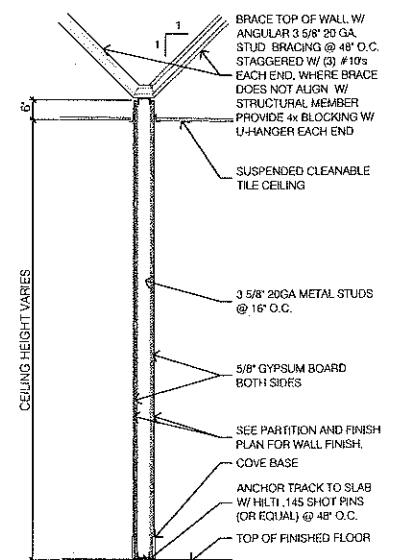
8 STAINLESS STEEL END CAP DETAIL
SCALE: 3" = 1'-0"



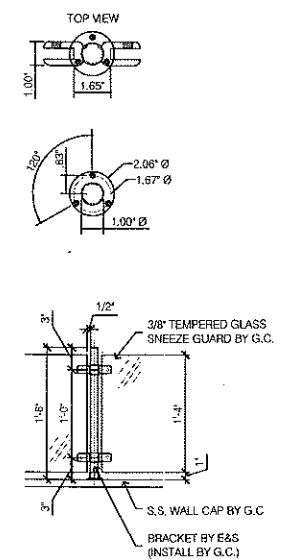
7 STAINLESS STEEL CORNER GUARD DETAIL
SCALE: 3" = 1'-0"



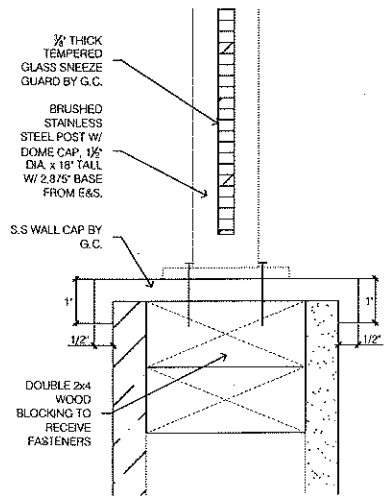
6 CHILD STEP SECTION
SCALE: 1" = 1'-0"



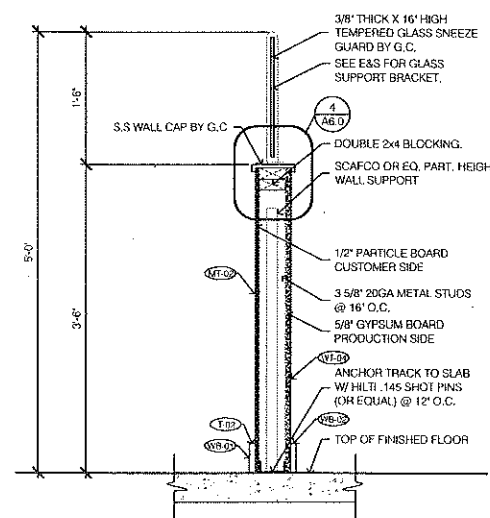
5 TYPICAL INTERIOR PARTITION
SCALE: 1/2" = 1'-0"



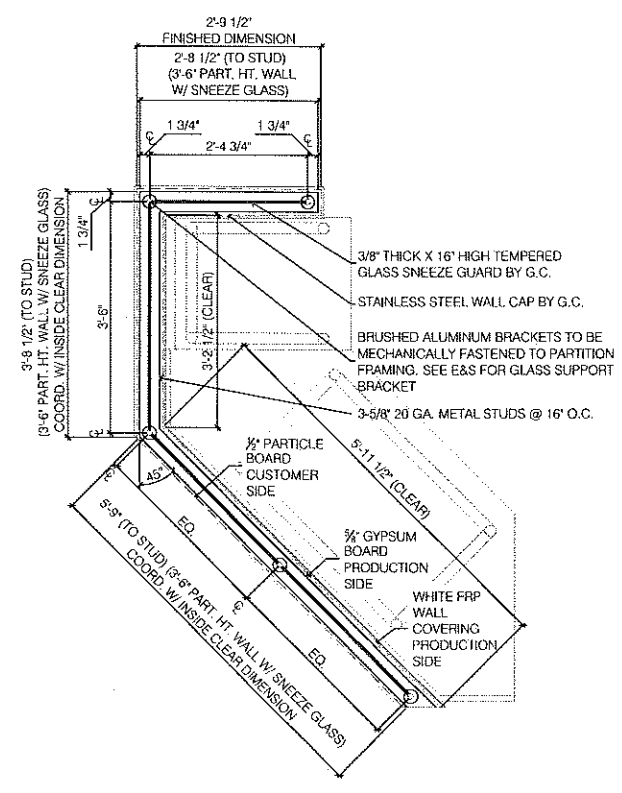
4 SNEEZE GUARD SUPPORT BRACKET DETAIL
SCALE: 1" = 1'-0" & 3" = 1'-0"



3 GLASS SNEEZE GUARD DETAIL
SCALE: 6" = 1'-0"



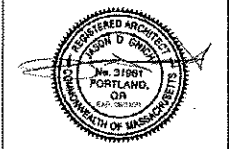
2 9 FT. HEIGHT DOUGH WALL
SCALE: 1" = 1'-0"



1 SNEEZE GUARD WALL PLAN DETAIL
SCALE: 3/4" = 1'-0"



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INTERIOR DETAILS

SHEET NUMBER:

A6.0

- THE ELECTRICAL WORK SHALL INCLUDE FURNISHING ALL LABOR, SUPERVISION, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, INSURANCE AND PERFORMANCE BOND TO CONSTRUCT AND INSTALL COMPLETE AND OPERATIVE ELECTRICAL SYSTEM IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.
- ALL MATERIALS FURNISHED AND ALL WORK INSTALLED SHALL COMPLY WITH THE LATEST ACTIVE OR REVISED EDITIONS OF THE NATIONAL ELECTRICAL CODE, STATE OR LOCAL ELECTRICAL CODES, AND THE REQUIREMENTS OF THE UTILITY COMPANIES, WHERE CONFLICTS OCCUR, THE MORE STRINGENT OR THE CODE ENFORCED BY THE AUTHORITY HAVING JURISDICTION SHALL APPLY.
- WORK INTENDED, BUT HAVING MINOR DETAILS OBVIOUSLY OMITTED OR NOT SHOWN SHALL BE FURNISHED AND INSTALLED COMPLETE TO PERFORM REQUIRED FUNCTION.
- ELECTRICAL PLANS ARE DIMENSIONAL, DO NOT SCALE. COORDINATE ACTUAL LOCATIONS OF ALL DEVICES AND MOUNTING OF ALL RACKS WITH ARCHITECT AND ALL TRADES PRIOR TO ANY ROUGH-IN.
- ALL MATERIALS SHALL BE NEW AND IN GOOD CONDITION. THE MATERIAL SHALL BE THE PRODUCT OF SUBSTANTIALLY ESTABLISHED AND REPUTED MANUFACTURERS.
- THIS CONTRACTOR SHALL COORDINATE HIS WORK SO THAT IT DOES NOT INTERFERE WITH THE WORK OF ALL OTHER TRADES. THIS CONTRACTOR'S RESPONSIBILITY IS TO SEE THAT THIS WORK IS INSTALLED IN A TIMELY MANNER. PLAN AND INSTALL ALL ELECTRICAL WORK IN SUCH A MANNER AS TO PREVENT OBSTRUCTIONS, AND KEEP OPENINGS AND PASSAGES CLEAR. CONSULT ALL CONTRACT DRAWINGS FOR CONDITIONS AFFECTING THIS WORK AND VERIFY SPACES IN WHICH WORK WILL BE INSTALLED. NOTIFY ARCHITECT IMMEDIATELY OF POSSIBLE CONFLICTS, WHERE INTERFERENCE WITH STRUCTURAL, MECHANICAL OR OTHER FEATURES EXIST, OR WHERE JOB CONDITIONS REQUIRE REASONABLE CHANGES IN LOCATIONS AND ARRANGEMENT OF INDICATED EQUIPMENT, CONDUIT, OUTLETS OR WIRING. CONTRACTOR SHALL MAKE SUCH CHANGES WITHOUT EXTRA COST TO OWNER OR ARCHITECT.
- THIS CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND VISIT THE SITE PRIOR TO SUBMITTING HIS BID. HE SHALL INCLUDE ALL WORK IN HIS BID DISCREETLY FROM REVIEW OF DOCUMENTS AND SITE VISIT. NO SUBSEQUENT ALLOWANCES WILL BE MADE FOR LACK OF REASONABLE REVIEW OF DOCUMENTS AND SITE VISIT.
- THIS CONTRACTOR SHALL SUBMIT FOR APPROVAL EIGHT (8) SETS OF SHOP DRAWINGS ON THE FOLLOWING: PANELBOARDS, DISCONNECT SWITCHES, LIGHTING FIXTURES, LAMPS, DEVICES AND COVERPLATES, FIRE ALARM EQUIPMENT AND ANY OTHER ITEMS REQUESTED BY THE ARCHITECT.
- THIS CONTRACTOR SHALL LEAVE EACH ENTIRE ELECTRICAL SYSTEM IN PROPER WORKING ORDER AND SHALL REPLACE ANY WORK OR MATERIAL PROVIDED BY HIM UNDER THIS CONTRACT WHICH DEVELOPS DEFECTS WITHIN (1) YEAR OF FINAL ACCEPTANCE BY OWNER.
- THIS CONTRACTOR SHALL PROVIDE, MAINTAIN AND REMOVE AFTER CONSTRUCTION IS COMPLETE, AND ADEQUATE TEMPORARY POWER AND LIGHTING SYSTEM.
- PANELBOARDS SHALL BE OF THE SAME MANUFACTURER, (SQUARE "D", OUTLER-HAMMER, GE OR ITE/SEimens). PROVIDE SCREED-ON ENGRAVED NAMEPLATES FOR ALL DISTRIBUTION EQUIPMENT.
- THIS CONTRACTOR SHALL PROVIDE NEW, TYPED, PANELBOARD DIRECTORIES FOR ALL NEW AND/OR EXISTING PANELS WITHIN THE SCOPE OF THIS PROJECT. THE DIRECTORIES SHALL INDICATE THE LOAD TYPE AND ALL GENERAL INFORMATION AS NECESSARY.
- LIGHTING FIXTURES SHALL BE FURNISHED COMPLETE WITH LAMPS, HANGERS AND INCIDENTALS. FIXTURES SHALL BE INDEPENDENTLY SUPPORTED FROM THE STRUCTURE ABOVE. ALL LIGHTING FIXTURES, LAMPS AND LENSES SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL ACCEPTANCE.
- WIRING DEVICES SHALL BE SPECIFICATION GRADE WITH HIGH IMPACT NYLON COVERPLATES. COLOR OF DEVICES AND COVERPLATES AS DIRECTED BY THE ARCHITECT. ACCEPTABLE MANUFACTURERS ARE GENERAL ELECTRIC, AND OTHER MANUFACTURERS AS APPROVED BY THE ARCHITECT.
- WIRE SHALL BE THIN OR THIN COPPER, 600 VOLTS, SOLID SIZE 10 AND SMALLER, STRANDED SIZE 8 AND LARGER. ALL FEEDERS AND BRANCH CIRCUITS SHALL HAVE A GREEN CODE SIZE EQUIPMENT GROUND. MINIMUM WIRE SIZE SHALL BE #12 AWG. UNLESS OTHERWISE NOTED.
- ALL INTERIOR WIRING SHALL BE IN EMT WITH STEEL SET SCREW FITTINGS. EMT SHALL BE USED IN ALL BLOCK (CMU) WALLS. TYPE MC (METAL-CLAD) CABLE MAY BE USED ON THIS PROJECT SUBJECT TO MEETING ALL OF THE FOLLOWING CONDITIONS:
A. THE LOCAL AUTHORITIES HAVING JURISDICTION MUST ALLOW THE USE OF MC CABLE.
B. THE ARCHITECT AND OWNER MUST APPROVE THE USE OF MC CABLE.
C. THE CABLE STRIPPING AND INSTALLATION USE IN ACCORDANCE WITH THE NEC AND LOCAL CODE REQUIREMENTS.
D. THE MC CABLE CONDUCTOR SIZE MEETS THE REQUIREMENTS OF THE CONSTRUCTION DRAWINGS AND NEC. THE MINIMUM WIRE SIZE SHALL BE #12 AWG, THIN OR THIN.
E. THE MC CABLE MUST CONTAIN AN NED SIZED GREEN GROUND CONDUCTOR FOR ALL CIRCUITS.
F. RECORD DRAWINGS (AS-BUILT DRAWINGS) SHALL REFLECT THE USE AND ROUTING LOCATIONS OF THE MC CABLE.
- THIS CONTRACTOR SHALL COORDINATE AND MAKE FINAL CONNECTIONS FOR MECHANICAL EQUIPMENT. SIZE ALL FUSES/CIRCUIT BREAKERS PROTECTING MECHANICAL EQUIPMENT PER EQUIPMENT MANUFACTURER'S REQUIREMENTS.
- THIS CONTRACTOR SHALL FURNISH AND INSTALL ALL ELECTRICAL WIRING, RACEWAYS, OUTLET AND JUNCTION BOXES, MOTOR STARTERS, DISCONNECTS AND CONTROLS FOR EQUIPMENT FURNISHED UNDER OTHER SECTIONS, UNLESS NOTED OTHERWISE. VERIFY EQUIPMENT REQUIREMENTS WITH EQUIPMENT MANUFACTURER PRIOR TO BID.
- THIS CONTRACTOR SHALL NOT INTERRUPT OR REMOVE ANY EXISTING CIRCUITS OR EQUIPMENT UNLESS NOTED OTHERWISE ON PLANS. ANY DAMAGED OR DISCONNECTED CIRCUITS OR EQUIPMENT SHALL BE RESTORED TO LIKE NEW CONDITION AT NO ADDITIONAL COST TO OWNER OR ARCHITECT.
- ALL PENETRATIONS OF FIRE-RESISTIVE FLOORS OR SHIRT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION THAT CONFORM TO UNDERWRITER'S LABORATORIES LISTINGS FOR THROUGH-PENETRATION FIRE STOP SYSTEMS. THIS CONTRACTOR SHALL SUBMIT TO THE ARCHITECT, SHOP DRAWING DETAILS, FURNISHED BY THE MANUFACTURER OF THE FIRE STOP MATERIAL, WHICH SHOW COMPLETE CONFORMANCE WITH THE U.L. DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION, WITH UNLESS OTHERWISE NOTED.
- THE FINAL DETERMINATION OF EXIT LIGHTING LOCATIONS AND EGRESS PATHWAYS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE CONTRACTOR SHALL CONSIDER AND VERIFY THE LOCATIONS OF ALL EXIT AND EMERGENCY LIGHTING WITH THE ARCHITECT PRIOR TO ANY INSTALLATION.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE SYSTEM FURNITURE JUNCTION BOX LOCATIONS WITH THE SUPPLIER AND MAKE ALL FINAL FLEXIBLE CONNECTIONS TO SAME.

ABBREVIATIONS		DEVICE MOUNT. HEIGHTS	
AF	ABOVE FINISHED FLOOR	ALL HEIGHTS ARE TO THE CENTERLINE OF THE DEVICE U.L.O.	
AFD	ABOVE FINISHED DECK		
ATS	AUTOMATIC TRANSFER SWITCH		
EDF	ELECTRIC DRINKING FOUNTAIN		
EDF	EXHAUST FAN		
GF	GROUND FAULT INTERRUPTER	RECEPTACLES	+18"
GRD	GROUNDING/BONDING CONDUCTOR	TELEPHONE OUTLETS	+18"
MCC	MOTOR CONTROL CENTER	DATA OUTLETS	+18"
MC	METAL CLAD	ABOVE COUNTER RECEPTACLES, TELEPHONE AND DATA OUTLETS VERIFY TO ARCHITECT PRIOR TO ROUGH IN.	
NL	NIGHT LIGHT		
PNL	PANEL		
SES	SERVICE ENTRANCE SECTION	SWITCHES	+48"
SWBO	SWITCHBOARD	DIMMERS	+48"
UNO	UNLESS NOTED OTHERWISE	OTHER CONTROLS	+48"
WF	WEATHERPROOF	TIME SWITCHES	+48"
A/C	AIR CONDITIONING UNIT	RECEPTACLES LOCATED AT THIS	+48"
E/C	EVAPORATIVE COOLER		
FA	FIRE ALARM CONTROL PANEL	FA MANUAL PULL STATION	+48"
FDD	FURNISHED BY OTHER	FA VISUAL DEVICES	+48"
		FA AUDIO DEVICES	+50"

PANELBOARD SYMBOLS SCHEDULE	
●	INDICATES EXISTING LOAD AND BREAKER TO REMAIN, NO REVISION. EXISTING LOADS MAY HAVE BEEN ESTIMATED.
⊙	INDICATES CIRCUIT BREAKER TO BE SURTABLE AND U.L. LISTED FOR SWITCHING DUTY.
○	INDICATES NEW LOAD HAS BEEN ADDED TO EXISTING BREAKER.
□	INDICATES EXISTING LOAD HAS BEEN REMOVED, BREAKER TO BECOME SPARE.
⊞	INDICATES NEW LOAD AND NEW BREAKER ADDED TO EXISTING BUSSED SPACE.
○	INDICATES EXISTING LOAD AND BREAKER HAS BEEN REMOVED AND REPLACED WITH NEW BREAKER AND NEW LOAD.
⊙	INDICATES PROVIDE LOCK-CLOSED DEVICE ON THE BREAKER.
⊚	INDICATES PROVIDE LOCK-OPEN DEVICE ON THE BREAKER.
▽	INDICATES ISOLATED GROUNDING CIRCUIT.
▲	INDICATES CIRCUIT THRU LIGHTING CONTACTOR. SEE WIRING DIAGRAM.
△	INDICATES CIRCUIT THRU PHOTO ELECTRIC CELL. PROVIDE 20A PHOTO CELL AS REQUIRED.
◆	INDICATES CIRCUIT THRU TIME CLOCK. PROVIDE A TIME CLOCK AS REQUIRED.
N	INDICATES NON-CONTINUOUS LOAD @ 100%
C	INDICATES CONTINUOUS LOAD @ 125%
M	INDICATES MOTOR LOAD @ 100%
LM	INDICATES LARGEST MOTOR LOAD @ 125%
SR	INDICATES SPARE CIRCUIT BREAKER
SP	INDICATES BUSSED SPACE
GF	INDICATES GF-CIRCUIT BREAKER

ELECTRICAL SYMBOLS

- NOTE: SOME SYMBOLS IN THIS LIST MAY NOT BE USED FOR THIS PROJECT.
- CILING MOUNTED LIGHT FIXTURE, LOWER CASE LETTER, IF USED, INDICATES SWITCHING. L_f DESIGNATES TYPE. SEE LIGHT FIXTURE SCHEDULE FOR DETAILS.
- WALL MOUNTED LIGHT FIXTURE, LOWER CASE LETTER, IF USED, INDICATES SWITCHING. L_w DESIGNATES TYPE. SEE LIGHT FIXTURE SCHEDULE FOR DETAILS.
- WALL WASHER LIGHT FIXTURE, ARROW INDICATES GENERAL DIRECTION OF WASH. LOWER CASE LETTER, IF USED, INDICATES SWITCHING. L_w DESIGNATES TYPE. SEE LIGHT FIXTURE SCHEDULE FOR DETAILS.
- FLUORESCENT LIGHT FIXTURE, LOWER CASE LETTER, IF USED, INDICATES SWITCHING. L_f DESIGNATES TYPE. SEE LIGHT FIXTURE SCHEDULE FOR DETAILS.
- TRACK LIGHTING SYSTEM, TRIANGLES DENOTE TRACK LIGHT FIXTURES. LOWER CASE LETTER, IF USED, INDICATES SWITCHING. L_t DESIGNATES TYPE. SEE LIGHT FIXTURE SCHEDULE FOR DETAILS.
- POLE MOUNTED LIGHT FIXTURE, L_p DESIGNATES TYPE. MULTIPLE LUMINAIRES AS SHOWN ON PLANS. SEE LIGHT FIXTURE SCHEDULE FOR DETAIL. SEE POLE MOUNTING DETAIL FOR POLE INFORMATION.
- SPOT OR FLOOD LIGHT, L_s DESIGNATES TYPE. SEE LIGHT FIXTURE SCHEDULE FOR DETAILS.
- FLUORESCENT LIGHT FIXTURE WITH (2) LAMPS SERVED BY A FULL LIGHT OUTPUT EMERGENCY BALLAST, "E" INDICATES FIXTURE SHALL BE CONNECTED TO UNSWITCHED CIRCUIT. LOWER CASE LETTER, IF USED, INDICATES SWITCHING. L_f DESIGNATES TYPE. SEE LIGHT FIXTURE SCHEDULE FOR DETAILS.
- EXIT LIGHT FIXTURE, MOUNTING NOT SHOWN ON DRAWINGS. SHOWN PORTION INDICATES FACE OF SIGL. PROVIDE ARROWS ON FACE(S) OF FIXTURE AS SHOWN ON PLANS. SEE FIXTURE SCHEDULE FOR DETAILS. JUNCTION BOX IN ACCESSIBLE LOCATION.
- FLEXIBLE CONDUIT EQUIPMENT CONNECTION, PROVIDE GROUND BUSHING AND GROUND CONDUCTOR IN ACCORDANCE WITH THE NEC. PROVIDE WEATHERPROOF FLEXIBLE CONDUIT FOR EQUIPMENT LOCATED OUTSIDE.
- TOGGLE SWITCH, MOUNT AT 48" ABOVE FINISHED FLOOR U.L.O. 20 A, 120 V. OR 277 V. AS REQUIRED.
- TWO POLE TOGGLE SWITCH, MOUNT AT 48" ABOVE FINISHED FLOOR U.L.O. 20 A, 120 V. OR 277 V. AS REQUIRED.
- THREE WAY TOGGLE SWITCH, MOUNT AT 48" ABOVE FINISHED FLOOR U.L.O. 20 A, 120 V. OR 277 V. AS REQUIRED.
- FOUR WAY TOGGLE SWITCH, MOUNT AT 48" ABOVE FINISHED FLOOR U.L.O.
- MOTOR RATED SWITCH, VOLTAGE AND PHASE RATED WITH THERMAL OVERLOAD PROTECTION. NEMA 3R WHEN LOCATED OUTSIDE.
- TIMERCLOCK 3-POLE SINGLE THROUGH, 24-HR ASTRONOMICAL DIAL WITH DAY OMITTING DEVICE, RESERVE POWER AND NEMA 1 ENCLOSURE FOR INDOORS - NEMA 3R ENCLOSURE WHEN LOCATED OUTSIDE. EQUAL TO YORK #7000-2L U.L.O.
- PHOTOCELL SWITCH, MOUNT ABOVE ROOF AND AM NORTH. EQUAL TO YORK #2100.
- DISSIPATIVE SWITCH, MOUNT AT 48" ABOVE FINISHED FLOOR U.L.O. SUPERSCRIPT NUMBER INDICATES: 1=1000 WATTS, 2=2000 WATTS, NONE =NO WATTS. DO NOT EXCEED COOLING FSEL.
- DUPLEX RECEPTACLE, MOUNT AT 18" ABOVE FINISHED FLOOR U.L.O.
- DUPLEX RECEPTACLE, MOUNT 6" ABOVE SPLASH OF COUNTER TOP. VERIFY EXACT DIMENSIONS WITH ARCHITECT.
- SWITCH RATED DUPLEX RECEPTACLE, THE STRAP REMOVED FOR "CONSTANT" AND SWITCHED LED CONTROL WIRING.
- CILING MOUNTED DUPLEX RECEPTACLE
- QUAD RECEPTACLE, TWO DUPLEX RECEPTACLES WITH ONE DEVICE PLATE. MOUNT AT 18" ABOVE FINISHED FLOOR U.L.O.
- QUAD RECEPTACLE, TWO DUPLEX RECEPTACLES WITH ONE DEVICE PLATE. MOUNT AT 6" ABOVE SPLASH OF COUNTER TOP. VERIFY EXACT DIMENSIONS WITH ARCHITECT.
- CIRCUIT BREAKER, AMPERAGE/POLES, AS INDICATED.
- SWITCH WITH FUSES, AMPERAGE/POLES, AND FUSE SIZE AND TYPE AS INDICATED.
- FUSED FULL-OUT SWITCH, AMPERAGE/POLES, AND FUSE SIZE AND TYPE AS INDICATED.
- FUSE, SIZE AND TYPE AS INDICATED. ALL FUSE TYPES NOTED ARE BUSMAN DESIGNATIONS U.L.O.
- TRANSFORMER, DRY TYPE, PAD MOUNT, WITH KVA, PRS. & SEC. VOLTAGE, MIN. IMPEDANCE, AND "X" RATINGS AS NOTED. 150°C RISE U.L.O. PROVIDE SEPARATELY DERIVED SOURCE GROUNDING PER NEC 250-26. CONDUCTOR SIZE AS NOTED.
- SERVICE ENTRANCE SECTION, SEE ONE-LINE DIAGRAM.
- FLUSH FLOOR OUTLET WITH DEVICE SHOWN. PROVIDE WITH BRASS DEVICE PLATE AND CAPSET FLANGE, IN COMPETED AREAS. TELEPHONE AND DATA OUTLETS SHALL HAVE MIN. 1" TC, WITH PULL STRING STUBBED UP INTO ACCESSIBLE CEILING SPACE. PROVIDE CONDUIT BUSHING ABOVE CEILING.
- SPECIAL PURPOSE RECEPTACLE WITH NEMA CONFIGURATION NOTED, I.e. 6-50L, 15-20, ETC.
- MULTI OUTLET ASSEMBLY (MOA), MOUNT AT 6" ABOVE COUNTER SPLASH WHERE LOCATED BEHIND COUNTER, OR AT 12" U.L.O.
- RECEPTACLE SUBSCRIPTS - PROVIDE THE FOLLOWING DEVICE FEATURES WHERE NOTED:
G - GROUND FAULT INTERRUPTER
I - ISOLATED GROUND. PROVIDE SEPARATE GROUND CONDUCTOR FROM PANELBOARD WITHOUT ANY SPICE.
V - VERIFY NEMA CONFIGURATION WITH EQUIPMENT TO BE SERVED PRIOR TO ROUGH-IN.
C - COND AND CAP. PROVIDE 6" COND AND CAP FOR THE EQUIPMENT TO MATCH RECEPTACLE TYPE AND AMPERAGE.
- DATA OUTLET, SLASH LINE INDICATES MOUNTING IS ABOVE COUNTER. PROVIDE 3/4". WITH PULL STRING UP INTO ACCESSIBLE CEILING SPACE U.L.O. PROVIDE CONDUIT BUSHING ABOVE CEILING.
- TELEPHONE OUTLET, MOUNT AT 18" ABOVE FINISHED FLOOR U.L.O. SLASH LINE INDICATES MOUNTING IS ABOVE COUNTER. PROVIDE 3/4". WITH PULL STRING UP INTO ACCESSIBLE CEILING SPACE U.L.O. PROVIDE CONDUIT BUSHING ABOVE CEILING. "P" INDICATES PAY PHONE. PROVIDE #6 CU GROUND PER NEC 800-40.
- DATA AND TELEPHONE OUTLETS COMBINED IN ONE BOX. PROVIDE (2) 3/4". WITH PULL STRING UP INTO ACCESSIBLE CEILING SPACE U.L.O. PROVIDE CONDUIT BUSHING ABOVE CEILING.
- SPEAKER, PROVIDE SPEAKER, BACKBOX, AND ORGL. VERIFY MOUNTING TYPE AND LOCATION WITH SPECIFICATIONS AND PLANS.
- 2x 2x 3/4" THICK FIRE RATED TELEPHONE MOUNTING BOARD. MOUNT AT 6" BELOW CEILING. PROVIDE #6 SOLID CU GROUND PER NEC 800-40.
- CIRCUITS IN CONCEALED CONDUIT U.L.O. NO DISTINCTION IS MADE FOR UNDERGROUND OR OVERHEAD CONDUITS. (---) INDICATES HOMERUN TO PANELBOARD OR AS NOTED.
- NUMBERS INDICATE NUMBER OF PHASE AND NEUTRAL CONDUCTORS, WHERE NO NUMBERS ARE SHOWN PROVIDE 2#12 CU, 1#12 CU BOND IN 1/2" CONDUIT, WHEN HOMERUN CONDUCTORS ARE LARGER THAN #12. PROVIDE INDICATED SIZE FOR ENTIRE LENGTH OF CIRCUIT. BOND AND ISOLATED GROUND CONDUCTORS ARE NOT SHOWN. PROVIDE EQUIPMENT BOND WITH ALL CIRCUITS PER NEC 250-65. PROVIDE ISOLATED GROUND FOR IG RECEPTACLES PER NEC 250-85.
- PANELBOARD, SURFACE OR FLUSH MOUNTED AS NOTED IN PANEL SCHEDULE.
- MOTOR, SIZE AND RATING AS SHOWN. "E" INDICATES EXHAUST FAN.
- PREWIRED MOTOR CONTROLLER FURNISHED WITH EQUIPMENT.
- MAGNETIC MOTOR STARTER, SIZE, VOLTAGE, PHASE, AND NUMBER OF POLES AS REQUIRED. FURNISHED WITH (1) N.C./N.O. FIELD CONVERTIBLE AUXILIARY CONTACT. SHALL BE SINGLE SPEED NON-REVERSING U.L.O. PROVIDE NEMA 3R WHEN LOCATED OUTSIDE.
- COMBINATION DISCONNECT SWITCH AND MOTOR STARTER WITH ENCLOSURE. SEE DISCONNECT SWITCH AND MAGNETIC MOTOR STARTER SYMBOLS.
- HEAVY DUTY DISCONNECT SWITCH, PROVIDE AS NOTED: AMPERAGE/VOLTAGE/NO. OF POLES/WEATHERPROOF FUSE SIZE AND DESIGNATION. N_f = NON-FUSIBLE.
- TELEVISION OUTLET, SLASH LINE INDICATES MOUNTING IS ABOVE COUNTER. PROVIDE 3/4". WITH PULL STRING UP INTO ACCESSIBLE CEILING SPACE U.L.O. PROVIDE CONDUIT BUSHING ABOVE CEILING.

- PANEL SCHEDULE KEYED NOTES :**
- (1) INDICATES PROVIDE & INSTALL A LOCK-ON DEVICE.
(2) PROVIDE RED IDENTIFICATION FOR FIRE ALARM EQUIPMENT PER NEC 780.41 (A) & (B).

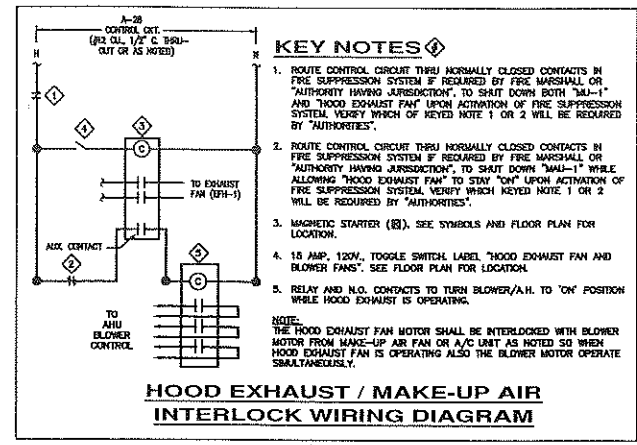
FAULT CURRENT SCHEDULE															
DEVICE	AIC RATING	L-N VOLTS	UTILITY			FED FROM			FEEDER						
			FAULT	X	R	FAULT	X	R	SIZE	X / 1000'	R / 1000'	LENGTH	X	R	
SES	42,000	120V	42,000	0.002802	0.0005903				3/8" EMT	0.04	0.036	0	0		
A	42K/10K	120V	25,824	0.003808	0.002594	SES	42,000	0.002802	0.0005903	#3/3	0.042	0.077	20'	0.0011	0.002
B	42K/10K	120V	19,222	0.004464	0.004374	A	25,824	0.003808	0.002594	#1	0.048	0.15	12'	0.0005	0.0018

ROOM		VOLTS 208Y/120V 3P 4W			AIC 42K/10K		
MOUNTING FLUSH		BUS AMPS 125			NEMA 3R MLD		
FED FROM 909		NEUTRAL 100%			LUGS STANDARD		
NOTE							
OKT #	BRK	CIRCUIT DESCRIPTION	KVA LOAD	OKT #	BRK	CIRCUIT DESCRIPTION	KVA LOAD
1	-/1	SPACE	0	2	20/1	MISC. W/H & PUMP	0.5
3	30/2	K27B WALK-IN COOLER CONDENSING UNIT	1.60	4	20/1	AUTO PICK-UP WIN	0.10
6	-/1	SPACE	1.68	8	20/1	SPACE	0
7	20/1	K27A EVAP UNIT	0.24	9	20/1	K24 60" HEAT LAMP GFCI	1.28
8	20/1	WALK-IN COOLER HEAT TAP & LIGHTS	0.72	10	20/1	K24 60" HEAT LAMP GFCI	1.28
11	20/1	H/O MAXLINE LOP GFCI	1.03	11	20/1	H/O MAXLINE LOP GFCI	1.03
13	20/1	H/O MAXLINE LOP GFCI	1.03	12	20/1	K24 60" HEAT LAMP GFCI	1.28
15	20/1	PROD AREA EXHAUST FAN (L) LIGHTING	1.03	13	-/1	SPACE	0
17	20/1	MISC. SHOW WINDOW LITE	0	14	20/1	SPACE	0.1
21	20/1	TV FOR PICK-UP WIN GFCI	0	15	20/1	SPACE	1.05
23	20/1	K21 3-DOOR WES-COOL GFCI	0	16	20/1	MAXLINE REEL GFCI	0.72
25	20/1	TV FOR GFCI	0.6	17	20/1	TV FOR GFCI	3.54
27	20/1	DPH-1	0.305	18	20/1	SPACE	4.08
28	-/1	SPACE	0.305	19	-/1	SPACE	2.34
31	30/2	STANDED W/D	0.305	20	-/1	SPACE	0
32	-/1	SPACE	0	21	-/1	SPACE	0
33	40/3	RTU-1	3.08	22	-/1	SPACE	0
34	-/1	SPACE	3.08	23	-/1	SPACE	3.08
35	-/1	SPACE	3.08	24	40/3	RTU-2	3.08
41	-/1	SPACE	3.08	25	-/1	SPACE	3.08
				26	-/1	SPACE	3.08
				27	-/1	SPACE	3.08
				28	-/1	SPACE	3.08
				29	-/1	SPACE	3.08
				30	-/1	SPACE	3.08
				31	-/1	SPACE	3.08
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				76	-/1	SPACE	3.08
				77	-/1	SPACE	3.08
				78	-/1	SPACE	3.08
				79	-/1	SPACE	3.08
				80	-/1	SPACE	3.08
				81	-/1	SPACE	3.08
				82	-/1	SPACE	3.08

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LUMINAIRE SCHEDULE								
GALLOUT	SYMBOL	LAMP	MODEL	DESCRIPTION	BALLAST	MOUNTING	INPUT WATTS	VOLTS
A1		(1) LED	COLUMBIA LITZ-50-VLC-FSA12-EDU	2'X2' LED 4718 LUMEN PRISMATIC TROFFER	STANDARD	CEILING	42	120V 1P 2W
AE		(1) LED	COLUMBIA LITZ-50-VLC-FSA12-EDU-ELL14	2'X2' LED 4718 LUMEN PRISMATIC TROFFER NIGHT LIGHT	STANDARD	CEILING	42	120V 1P 2W
B		(1) LED	LOTUS LED LIR-30K-WH-FRP8	6" APERTURE LED 900 LUMEN DOWNLIGHT	STANDARD	RECESSED	17	120V 1P 2W
EM1		(2) 0.50W LED	COMPASS (HUBBELL) CUP	LED EMERGENCY LIGHT WITH EMERGENCY BATTERY BACK UP 90 MINUTE MINIMUM	STANDARD	WALL	1	120V 1P 2W
EM2		(2) 3W LED	COMPASS (HUBBELL) CUP	DECORATIVE LED AC/EMERGENCY LIGHT WATERPROOF	STANDARD	WALL	9	120V 1P 2W
EXL		(1) 4.12W LED	COMPASS (HUBBELL) CUP	EXIT SIGN WITH EMERGENCY BATTERY BACKUP 90 MIN MINIMUM	STANDARD	WALL	4.12	120V 1P 2W
EXWEM		(1) 4.12W LED	COMPASS (HUBBELL) CUP	EXIT SIGN WITH EMERGENCY BATTERY BACKUP 90 MIN MINIMUM	STANDARD	WALL	4.12	MULTIPLE
ST		(1) LED	COLUMBIA MPSB-35MR-HL-EDU	MULTIPURPOSE LINEAR, 8' DB CRN, 3500 K, 9485 LM, MEDIUM LUMEN, 0-10V DIMMING, 120V-277V, 80.2W	STANDARD	SURFACE	80.2	120V 1P 2W

GENERAL NOTES:
 A. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL DEVICE & FIXTURE FINISHES, LOCATIONS AND MOUNTING HEIGHTS WITH ARCHITECT PRIOR TO PURCHASING ANY EQUIPMENT. ALSO CONFIRM THE EXACT CEILING TYPE PRIOR TO ORDERING ANY FIXTURES.



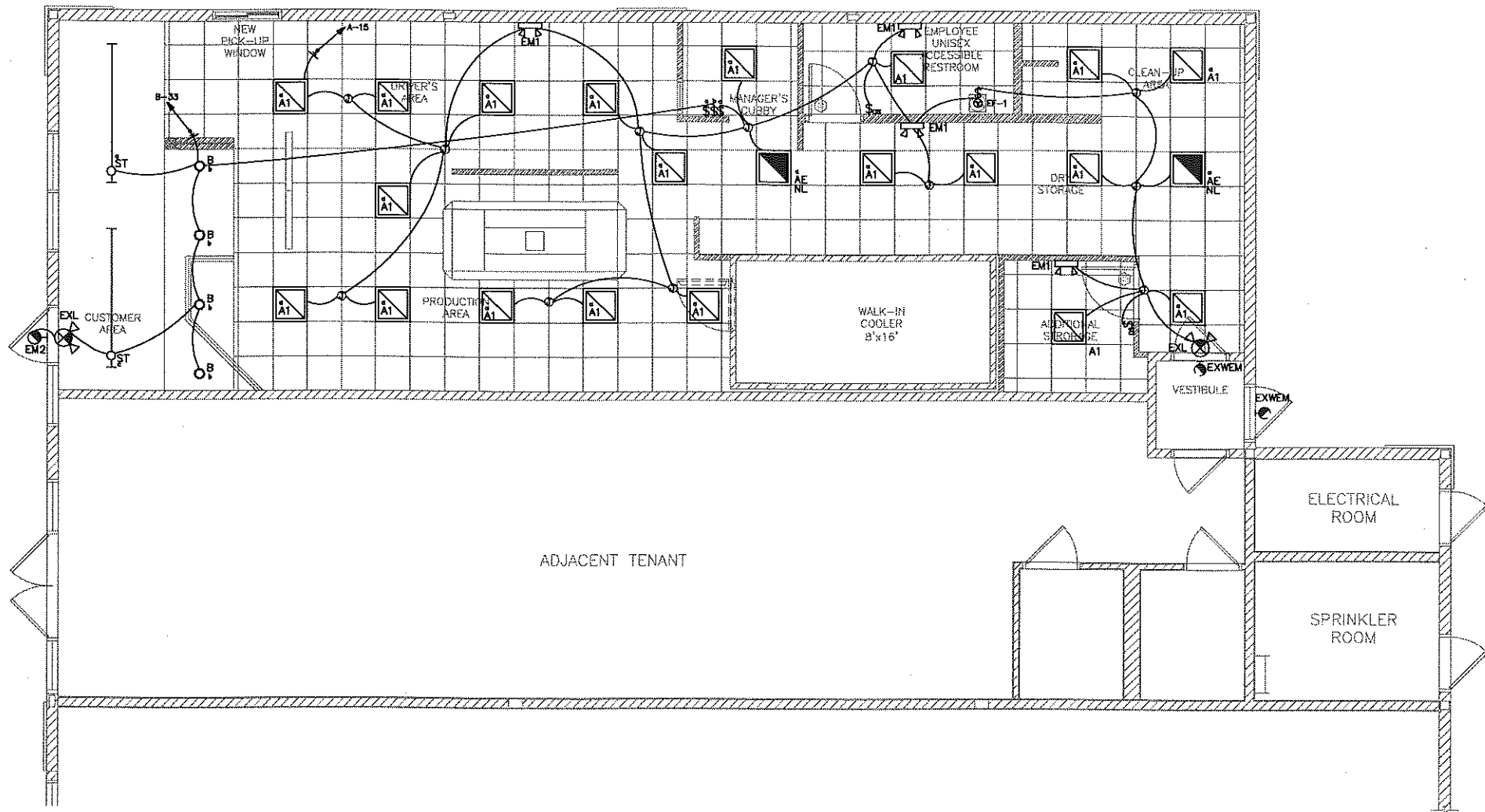
- LIGHT SENSOR SYMBOLS:**
- (U) STANDARD RANGE ULTRASONIC/INFRARED SENSOR (MOUNTED TO CEILING)
MFR: SENSORSWITCH, CAT# CDR-FDT-9. (OR EQUAL)
 - (P) STANDARD RANGE AUTOMATIC DIMMING CONTROL SENSOR (MOUNTED TO CEILING)
MFR: SENSORSWITCH, CAT# CDR-ADC. (OR EQUAL)
LOWER CASE LETTER DESIGNATES WHICH FIXTURES ARE TO BE CONTROLLED BY THIS SENSOR
 - (S) WALL MOUNTED TIME SWITCH WITH CHESSBOARD FUNCTION.
MFR: INTERMATIC, CAT# E8000C. (OR EQUAL)
COORDINATE LOCATION WITH OWNER, CONNECT TO 120V LIGHTING BRANCH CIRCUITS TO PROVIDE AUTOMATIC SHUT-OFF.
 - (DL) DAY LIGHT SENSOR
 - (POS) WALL MOUNTED OCCUPANCY/VACANCY SENSOR SWITCH

IECC 2018

NOTE:
 DAYLIGHT - RESPONSIVE CONTROLS NOT REQUIRED PER C405.2.3 EXCEPTION #3 FOR GROUP A-2 OCCUPANCY (AREA INTENDED FOR FOOD/DRINK CONSUMPTION).

NOTE:
 PREP AREA INTENDED FOR CONTINUOUS USE DURING HOURS OF OPERATION ADDITIONAL CONTROLS NOT REQUIRED DUE TO LIFE SAFETY AND SECURITY CONCERNS

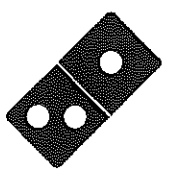
NOTE:
 LESS THAN 150 WATTS OF GENERAL LIGHTING WITHIN DAYLIGHT ZONE PER IECC 2018 C405.2.3 DAYLIGHT-RESPONSIVE CONTROLS ARE NOT REQUIRED.



ELECTRICAL LIGHTING PLAN
 SCALE: 1/4"=1'-0"



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Project No: 5331
 Domino's Pizza Bakery Store
 Pizza Theater Tenant Improvement
 56 Main St., Lakeville, MA 02347
 for S & L Pizza
 711 Southbridge St.
 Auburn, MA 02347

ISSUED FOR PERMIT:
 02.09.2021

REV. DATE:	DESCRIPTION:

SHEET NAME:
 ELECTRICAL LIGHTING PLAN

SDE-21013
 SHEET NUMBER:

E2.0

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- GENERAL NOTES:
 A. PROVIDE DUAL ELEMENT FUSES AND SIZE PER EQUIPMENT NAMEPLATE.
- KEY NOTES:
 E = FURNISHED BY ELECT. CONTRACTOR
 F = FUSED (300V = FRFR / 600V = FRSR)
 B = BREAKER
 I = INTEGRAL WITH UNIT
 NF = NON-FUSED
 O = FURNISHED WITH EQUIP
 NSR = NEMA-3R RATED
 NI = NEMA-1 RATED

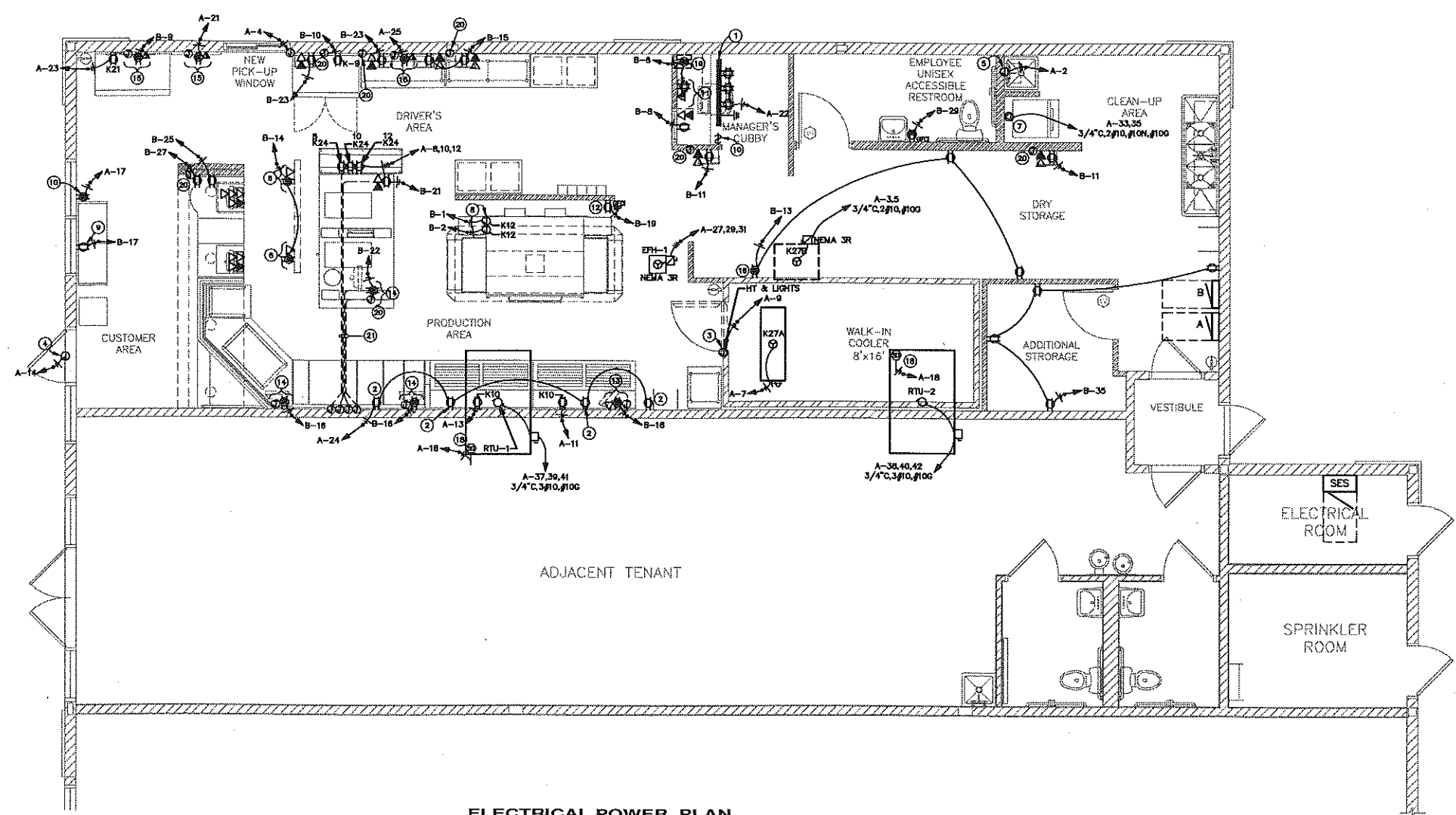
GENERAL EQUIPMENT SCHEDULE									
CALLOUT	SYMBOL	DESCRIPTION	NEMA	VOLTS	AMPS	KVA	CALC. LOAD KVA	CIRCUIT	WIRE CALLOUT
EF-1		EXHAUST FAN #1		120V 1P 2W	0.83	0.1	0.13	A-15	3/4"C,1#10,#10N,#10G
EFH-1		HOOD EXHAUST FAN	NEMA 3R	208V 3P 3W	2.54	0.91	1.14	A-27,29,31	3/4"C,3#12,#12G
HT & LIGHTS		HEAT TAPE & LIGHTS		120V 1P 2W	6	0.72	1	A-9	3/4"C,1#12,#12N,#12G
K-9		DELFIELD UNDER COUNT FRIG		120V 1P 2W	7.5	0.9	1.13	B-10	3/4"C,1#12,#12N,#12G
K10		MAKELINE LCP		120V 1P 2W	8.6	1.03	1	A-11	3/4"C,1#12,#12N,#12G
K10		MAKELINE LCP		120V 1P 2W	8.6	1.03	1	A-13	3/4"C,1#12,#12N,#12G
K12		DOUBLE STACK CONVEYOR		120V 1P 2W	8	0.72	1	B-1	3/4"C,1#12,#12N,#12G
K12		DOUBLE STACK CONVEYOR		120V 1P 2W	6	0.72	1	B-2	3/4"C,1#12,#12N,#12G
K21		DBL DOOR VISI-COOLER		120V 1P 2W	7.5	0.9	1.13	A-23	3/4"C,1#12,#12N,#12G
K24		60" HEAT LAMP		120V 1P 2W	10.5	1.26	1	A-8	3/4"C,1#12,#12N,#12G
K24		60" HEAT LAMP		120V 1P 2W	10.5	1.26	1	A-10	3/4"C,1#12,#12N,#12G
K24		60" HEAT LAMP		120V 1P 2W	10.5	1.26	1	A-12	3/4"C,1#12,#12N,#12G
K27A		COOLER EVAP UNIT		120V 1P 2W	2	0.24	0.3	A-7	3/4"C,1#12,#12N,#12G
K27B		COOLER COND UNIT	NEMA 3R	240V 2P 2W	15.76	3.78	4.73	A-3,5	3/4"C,2#10,#10G
RTU-1		ROOFTOP UNIT #1		208V 3P 3W	25.7	9.26	10.69	A-37,39,41	3/4"C,3#10,#10G
RTU-2		ROOFTOP UNIT #2		208V 3P 3W	25.7	9.26	10.69	A-38,40,42	3/4"C,3#10,#10G

- GENERAL KITCHEN NOTES**
- FINAL CONNECTION TO ALL KITCHEN EQUIPMENT SHALL BE MADE WITH "SEAL-TITE" FLEXIBLE CONDUIT.
 - THE ELECTRICAL CONTRACTOR SHALL MAKE FINAL ELECTRICAL CONNECTIONS TO ALL KITCHEN FOOD SERVICE AND RELATED EQUIPMENT.
 - W# - INDICATES FOOD SERVICE EQUIPMENT IDENTIFICATION NUMBER. SEE KITCHEN SCHEDULE ON THIS SHEET.
 - THE ELECTRICAL CONTRACTOR SHALL VERIFY ROUGH-IN REQUIREMENTS, LOCATIONS, MOUNTING HEIGHTS, VOLTAGE, PHASE, AMP, HP, KW, ETC. FOR ALL FOOD SERVICE EQUIPMENT PRIOR TO ROUGH-IN.
 - PROVIDE SEAL-OFFS FOR ALL CONDUITS ENTERING OR LEAVING WALK-IN BOXES.
 - THE ELECTRICAL CONTRACTOR SHALL VERIFY THE ROUGH-IN REQUIREMENTS, LOCATIONS, ORIENTATION, VOLTAGE, PHASE, HP, KW, ETC. FOR ALL HVAC AND PLUMBING EQUIPMENT PRIOR TO ROUGH-IN.
 - ALL CIRCUITS SHALL HAVE AN INSULATED GROUND WIRE (IGW) SIZED PER N.E.C. 250.122. #12 MINIMUM GROUND. WIRE NOT SHOWN ON DRAWINGS.
 - THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL DISCONNECT SWITCHES, CONDUIT, WIRE AND INSTALL UNDER SUPERVISION OF KITCHEN EQUIPMENT SUPPLIER.
 - THE ELECTRICAL CONTRACTOR SHALL VERIFY THE PLUG CONFIGURATIONS FOR APPLICABLE KITCHEN EQUIPMENT WITH SUPPLIER PRIOR TO ROUGH-IN.
 - PROVIDE GFCI PROTECTION FOR ALL KITCHEN RECEPTACLES PER NEC 210.8(D).
 - ALL RECEPTACLES IN PRODUCTION AREA, LOW WALL SHALL BE MOUNTED HORIZONTALLY AT 48" BELOW LOW WALL CAP U/L/O.

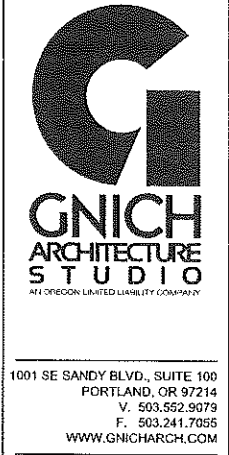
DATA ROUGHS ARE BY GC AND DATA CABLING BY DOMINO'S VENDOR

- KEYED NOTES**
- PROVIDE A FIRE-TREATED 4"x4"x1/4" PLYWOOD WITH #6 CU. CHD. FOR TELEPHONE/COMMUNICATIONS MOUNTING BOARD. 1 1/2" U.S. TO COMPLY WITH NEC 800.100(B). COORDINATE EXACT LOCATION WITH OWNER AND ARCHITECT PRIOR TO INSTALLATION. PROVIDE 3/4" C TO WALK IN BOX TELEPHONE MOUNTING CABINET/BOARD. MOUNT ABOVE SUSPENDED CEILING WHERE SHOWN IN ACCESSIBLE CEILING SPACE.
 - RECEPTACLE BEHIND MAKELINE AND PREP COUNTER RECOMMENDED TO BE MOUNTED AS HIGH AS POSSIBLE U/L/O. COORDINATE MOUNTING HEIGHTS & LOCATION WITH OWNER.
 - WALK-IN BOX FOR CONNECTION TO WALK-IN COOLER DOOR HEAT TAPE AND LIGHTS. PROVIDE W.P. MANUAL SWITCH AND MAKE CONNECTION TO LIGHTS. COORDINATE EXACT ELECTRICAL REQUIREMENTS WITH VENDOR. PROVIDE EXACT ELECTRICAL REQUIREMENTS WITH VENDOR.
 - PROVIDE W.P. JUNCTION BOX FOR CONNECTION TO NEW TENANT STORAGE. VERIFY EXACT LOCATION IN FIELD AND WITH OWNER PRIOR TO ANY WORK. VERIFY ELECTRICAL REQUIREMENTS WITH SOGN SUPPLIER. CIRCUIT THRU TIME CLOCK, PROVIDED BY GC.
 - PROVIDE JUNCTION BOX AND 20A RECEPTACLE FOR CONNECTION TO WATER HEATER IGNITER/CONTROLS/REGULATION PUMP. AS APPLICABLE. COORDINATE EXACT LOCATIONS WITH PLUMBING CONTRACTOR. VERIFY ELECTRICAL REQUIREMENTS WITH W/H SUPPLIER/INSTALLER.
 - PROVIDE A CEILING MOUNTED RECEPTACLE AND DATA OUTLET FOR CONNECTION TO LED LIGHT BOARD. SOGN SUPPLIER (EACH) VERIFY EXACT REQUIREMENTS WITH SUPPLIER AND THE LOCATION IN FIELD.
 - 20A, 120/240V 1PH, RECEPTACLE FOR ELECTRIC COMBINATION CLOTHES WASHER/DRYER. VERIFY LOCATION, RECEPTACLE CONFIGURATION AND ELECTRICAL REQUIREMENTS WITH THE ARCHITECT AND MANUFACTURER. PROVIDE 3#10, 1#10 GND., IN 3/4"C. TO MEET NEC REQUIREMENTS.
 - PROVIDE JUNCTION BOX FOR CONNECTION TO OVEN CONTROLLER. COORDINATE EXACT LOCATION AND ELECTRICAL REQUIREMENTS OF CONTROLS WITH SUPPLIER.
 - PROVIDE A TAMPER RESISTANT COMBINATION 15A, 120V RECEPTACLE AND A USB CHARGER DEVICE TO BE EQUAL TO ARCHITECT TR7740W. MOUNT COMBO-OUTLETS HORIZONTALLY AT +36" AFF.
 - SHOW-WINDOW RECEPTACLE, MOUNT FLUSH IN CEILING. PROVIDE 120V SWA SWITCH AT MANAGERS OFFICE FOR SHOW-WINDOW RECEPTACLES CONTROL. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO ROUGH-IN.
 - PROVIDE TELE/DATA OUTLET AND DUPLEX RECEPTACLE FOR SECURITY EQUIPMENT. COORDINATE EXACT LOCATION WITH ARCHITECT AND/OR OWNER PRIOR TO ROUGH-IN. VERIFY EXACT ELECTRICAL REQUIREMENTS WITH INSTALLER OR OWNER.
 - PROVIDE W/P/GFI RECEPTACLE WITHIN 2'-0" OF HVAC EQUIPMENT. MOUNT RECEPTACLE AT +18" ABOVE ROOF/GROUND AS APPROPRIATE TO MEET NEC.
 - CONTRACTOR TO PROVIDE A DUPLEX RECEPTACLE AND DATA OUTLET AS SHOWN MOUNTED INTO SOFFIT.
 - CONTRACTOR TO PROVIDE DUPLEX RECEPTACLE AND JUNCTION BOXES FOR VGA WIRING (IN 1-1/4" C. RECOMMENDED) MOUNTED INTO SOFFIT. COORDINATE LOCATION WITH OWNER AND/OR ARCHITECT PRIOR TO ROUGH-IN.
 - PROVIDE POLE MOUNTED RECEPTACLE FOR PIZZA TRACKER OR TV.
 - PROVIDE A 20A, 120V, DUPLEX RECEPTACLE IN CEILING FOR MOUNTED OAF-TOPPER AND VERIFY LOCATION AND ADDITIONAL REQUIREMENTS WITH OWNER.
 - NOT USED.
 - SMOKE DETECTOR MOUNT IN DUCT PER MECHANICAL CODE REQUIREMENTS.
 - PROVIDE USB/DUPLEX RECEPTACLE, COORDINATE EXACT LOCATION WITH OWNER PRIOR TO ROUGH IN.
 - PROVIDE JUNCTION BOX AND 1-1/4" E.C. (RECOMMENDED) WITH PULLSTRING FOR MONITOR CABLING BY OTHERS. COORDINATE EXACT LOCATIONS AND REQUIREMENTS WITH SUPPLIER OR OWNER.
 - CONDUIT UNDER GROUND.

LOW VOLTAGE SYSTEM NOTE:
 ELECTRICAL CONTRACTOR SHALL PROVIDE A TELEPHONE MOUNTING BOARD (TMB), AS NOTED ON DRAWINGS AND 1-1/4" CONDUIT, WITH PULLWIRE, TMB, IN MANAGER OFFICE, TO ALL POINT OF SALE (POS) LOCATIONS, DRIVERS STATIONS AND OTHER LOCATIONS AS DIRECTED BY GENERAL CONTRACTOR (GC) AND/OR LOW VOLTAGE CONTRACTOR (LVC) FOR LOW VOLTAGE WIRING SYSTEM. ELECTRICAL CONTRACTOR SHALL MEET WITH GC AND LVC AND COORDINATE ALL REQUIREMENTS AND LOCATIONS FOR LOW VOLTAGE SYSTEM ROUGH-IN, INCLUDING TMB, CONDUITS AND J-BOXES FOR WIRING AND DEVICES PRIOR TO BEGINNING INSTALLATION.



ELECTRICAL POWER PLAN
 SCALE: 1/4"=1'-0"



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Project No: 5331
 Domino's Pizza Bakery Store
 Pizza Theater Tenant Improvement
 56 Main St., Lakeville, MA 02347
 for S & L Pizza
 711 Southbridge St.
 Auburn, MA 02347

ISSUED FOR PERMIT:
 02.09.2021

REV: DATE: DESCRIPTION:

SHEET NAME:
 ELECTRICAL POWER PLAN

SDE-21013
 SHEET NUMBER:

E3.0

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PRIOR TO THE COMMENCEMENT OF WORK, CONTRACTOR TO COORDINATE THE WORK REPRESENTED IN THIS SET OF DOCUMENTS. CONTRACTOR TO FIELD VERIFY CONDITION, LOCATION, SIZE, CAPACITY AND FLOW DIRECTION OF EXISTING SYSTEMS AND COMPONENTS BEING INCORPORATED INTO THE SYSTEMS AS INDICATED IN THESE DOCUMENTS.

UNLESS OTHERWISE NOTED, ALL EQUIPMENT, MATERIAL AND SYSTEM COMPONENTS CONTAINED OR REFERRED TO BY THESE DOCUMENTS ARE TO BE CONSIDERED AS NEW TO BE FURNISHED AND INSTALLED (F&I) AS THUS.

SEE SHEETS M1.0, P1.0, P4.0 AND ARCHITECTURAL DOCUMENTS FOR ADDITIONAL REQUIREMENTS.

UNLESS OTHERWISE NOTED, FLASH AND COUNTER FLASH ALL DUCTS, EQUIPMENT CURBS, ETC. PENETRATING THE ROOF/EXTERIOR WALLS, MAKE WATER TIGHT.

▷ DOES NOT DENOTE AIRFLOW DIRECTION, DENOTES DIRECTION IN WHICH DUCT CROSS SECTIONAL AREA DECREASES.

UNLESS OTHERWISE NOTED, DUCTS TO BE SIZED THE SAME AS THE AIR DISTRIBUTION DEVICE CONNECTED TO THEM.

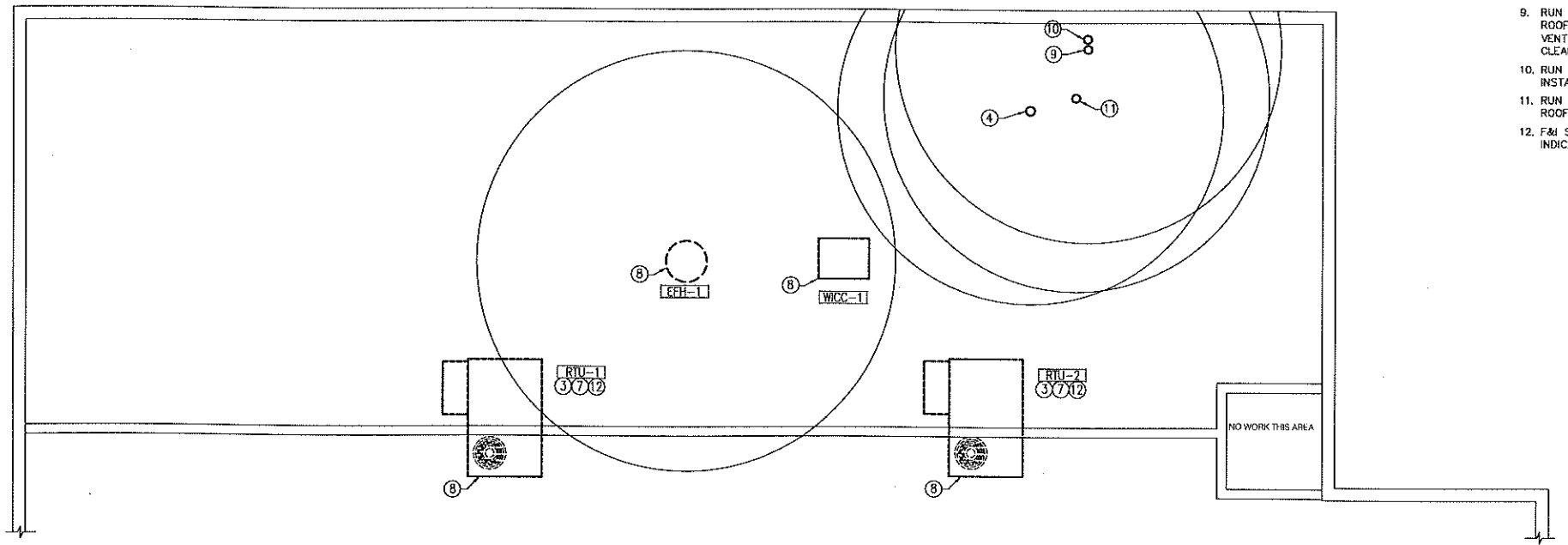
DUCT RUN-OUT SCHEDULE	
DUCT CFM	DUCT SIZE
0-150	6" ROUND
150-270	8" ROUND
270-330	10" ROUND
330-470	12" ROUND
470-530	14" ROUND
530-690	16" ROUND

NOTES:

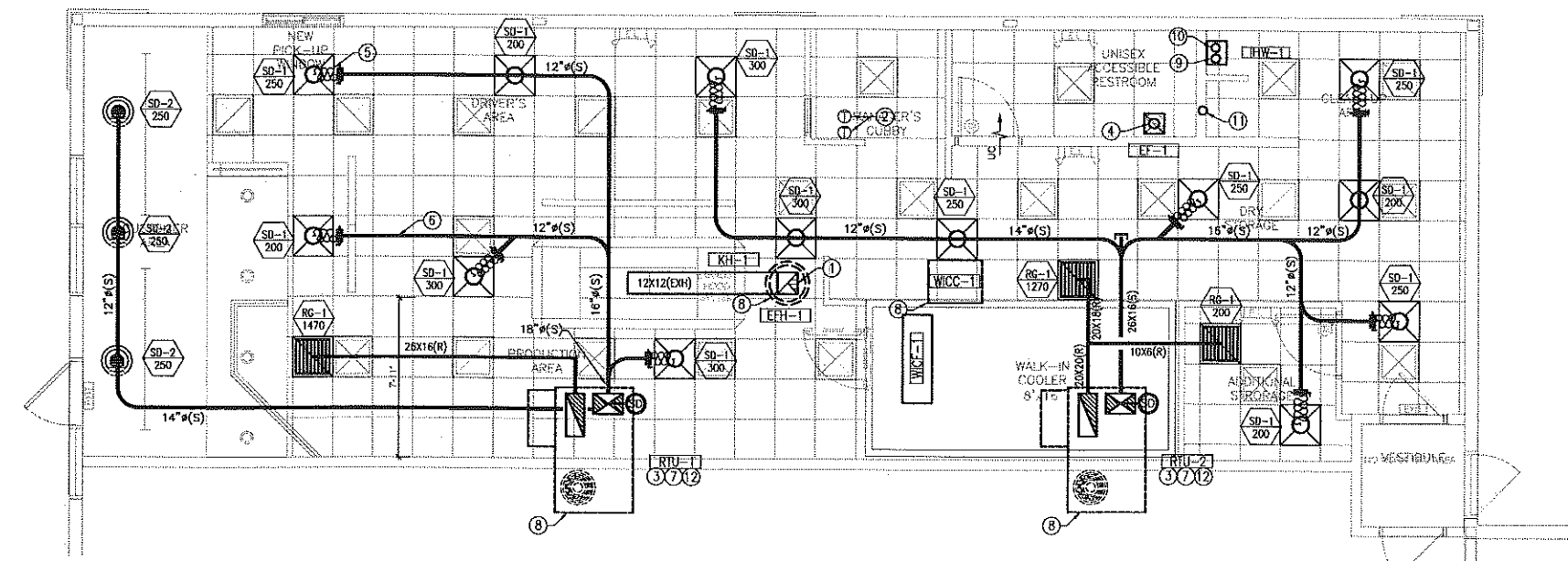
- AIR DEVICE NECK SIZE SHALL BE THE SAME AS RUNOUT SIZE.
- RECTANGULAR DUCT SIZES OF EQUIVALENT FREE AREA MAY BE SUBSTITUTED FOR ROUND DUCT.
- RUNOUTS MAY BE RIGID OR FLEX DUCT PER SPECIFICATIONS.

RETURN AIR DEVICE NECK SIZE	
NECK SIZE	CFM
6X6	0-100
8X8	100-200
10X10	200-400
12X12	400-650
13X13	650-1050
18X18	1050-1350
22X22	1350-2000

- ### HVAC KEYED NOTES:
- DUCTWRAP TO BE F&I FOR DUCTWORK CONNECTED TO EXTERIOR EXHAUST FAN AS PER ASTM-E2336. RISER TO REDUCE AT FAN CONNECTION AS REQUIRED TO FIT DUCTWRAP. MAINTAIN 10 FEET MINIMUM CLEARANCE FROM ALL MA OR OA INTAKE DUCTS.
 - T'STAT FOR UNITS RTU-1, 2 WITH 24 HR, 7 DAYS PROGRAMMABLE THERMOSTATS AND 5 DEGREE DEADBAND TO BE INSTALLED AT 48" ABOVE THE FLOOR.
 - TEMPERATURE SENSORS TO BE INSTALLED IN COMBINED RETURN/OUTSIDE AIR INTAKE.
 - 6" Ø EXHAUST DUCT UP THRU ROOF. TERMINATE WITH FACTORY FABRICATED ROOF JACK. MAINTAIN 10 FEET MINIMUM CLEARANCE FROM ALL MA OR OA INTAKE DUCTS.
 - BRANCHES TO BE FLEX DUCT OR RIGID DUCT (TYP). FLEX DUCT RUNS NOT TO EXCEED 5'.
 - INTERIOR SUPPLY AND RETURN TRUNK DUCTS TO BE FIBERBOARD OR SHEET METAL (TYP).
 - DUCT RISER TO BE FULL SIZE OF UNIT'S DUCT CONNECTION.
 - OUTLINE OF EQUIPMENT ON ROOF.
 - RUN FLUE VENT UP THRU ROOF. TERMINATE WITH FACTORY FABRICATED ROOF JACK. MANUFACTURE'S CONCENTRIC ROOF JACK FOR FLUE VENT/COMBUSTION AIR IS ACCEPTABLE. MAINTAIN 10 FEET MINIMUM CLEARANCE FROM ALL MA OR OA INTAKE DUCTS.
 - RUN COMBUSTION AIR VENT UP THRU ROOF. SEE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR SIZE.
 - RUN DRYER VENT UP THRU ROOF. TERMINATE WITH FACTORY FABRICATED ROOF JACK. SEE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR SIZE.
 - F&I SMOKE DETECTOR INDICATOR LIGHT IN CEILING BELOW UNIT. LABEL INDICATOR LIGHT. (TYP.)



MECHANICAL PLAN
SCALE: 1/4" = 1'-0"



MECHANICAL PLAN
SCALE: 1/4" = 1'-0"



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Project No: 5331
Domino's Pizza Bakery Store
Pizza Theater Tenant Improvement
56 Main St., Lakeville, MA 02347
for S & L Pizza
711 Southbridge St.
Auburn, MA 02347

ISSUED FOR PERMIT:
02.09.2021

REV. DATE: DESCRIPTION:

SHEET NAME:

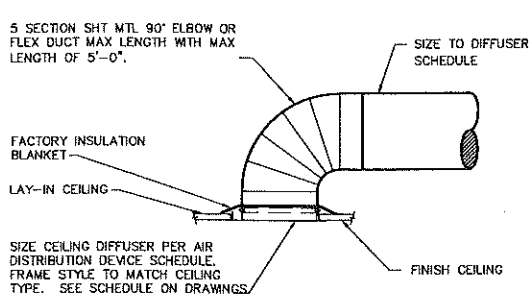
MECHANICAL PLAN

SHEET NUMBER:

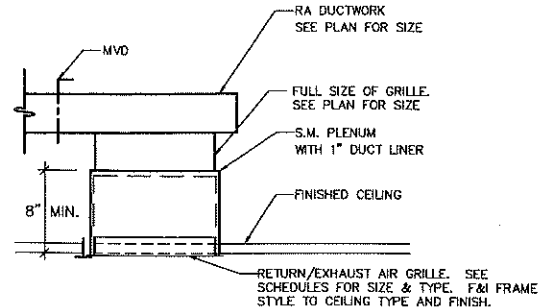
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THE DETAILS ON THIS SHEET ARE STANDARD DETAILS. NOT ALL DETAILS MAY BE RELEVANT TO THIS PROJECT.

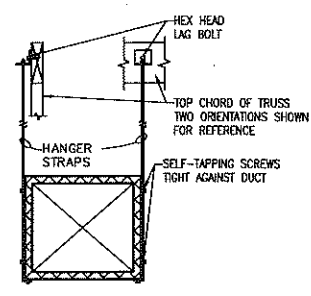
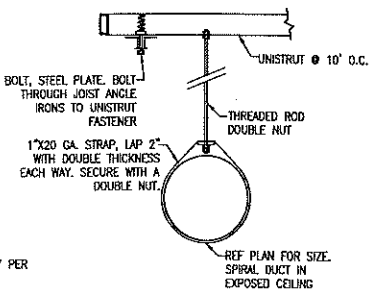


DIFFUSER INSTALLATION DETAIL
NO SCALE



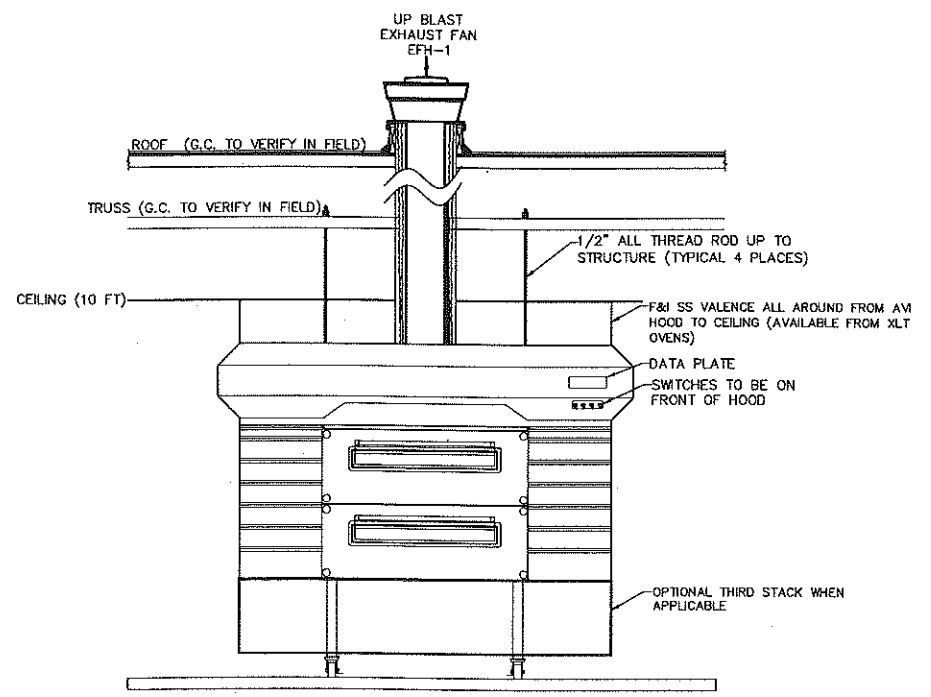
RETURN/EXHAUST AIR GRILLE DETAIL
NO SCALE

DUCT SIZE (SF)	HANGER SIZE	MAX SPACING
>2	1" X 1/8"	8'-0"
2-4	1" X 1/8"	8'-0"
4-10	1" X 1/8"	8'-0"
>10	1" X 1/8"	4'-0"



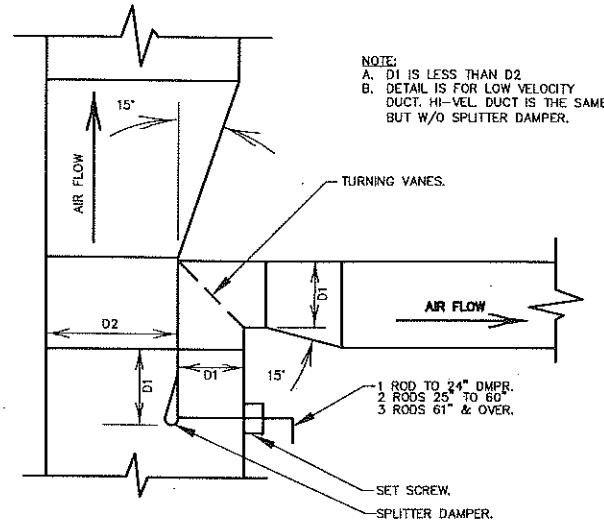
NOTE:
 1. WRAP ALL SUPPLY AIR DUCTS EXTERNALLY PER SPECIFICATIONS.
 2. NO POP RIVETS ALLOWED.

DUCT HANGER DETAIL
NO SCALE



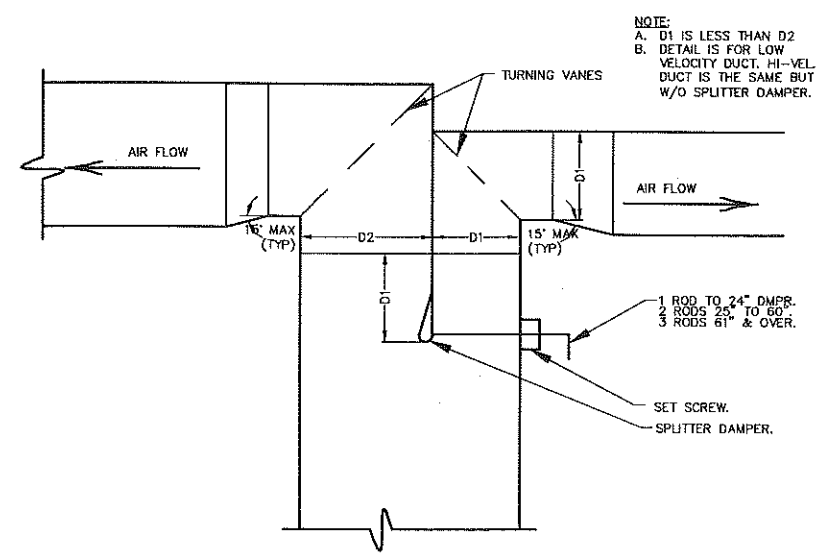
NOTE:
 DETAIL IS DIAGRAMMATIC AND DOES NOT DENOTE THE NUMBER OF OVENS. SEE ARCHITECTURAL PLANS FOR NUMBER OF OVENS.

HOOD CLEARANCES AND DUCTS DETAIL
NO SCALE



NOTE:
 A. D1 IS LESS THAN D2
 B. DETAIL IS FOR LOW VELOCITY DUCT. HI-VEL. DUCT IS THE SAME BUT W/O SPLITTER DAMPER.

TYPICAL MAIN DUCT SPLITTER DAMPER TAKE-OFF DETAIL (SIMILAR FOR ROUND DUCTS)
NO SCALE



NOTE:
 A. D1 IS LESS THAN D2
 B. DETAIL IS FOR LOW VELOCITY DUCT. HI-VEL. DUCT IS THE SAME BUT W/O SPLITTER DAMPER.

TYPICAL DUCT SPLITTER DAMPER DETAIL (SIMILAR FOR ROUND DUCTS)
NO SCALE

TYPE I HOOD SEQUENCE OF OPERATIONS:

- AIR CONDITIONING UNITS (ACU)
 - ALL AIR CONDITIONING UNITS, ROOF TOP (RTU), AND SPLIT SYSTEM CONDENSER UNITS (CU) AND AIR HANDLING UNITS (AHU), SHALL BE CONTROLLED BY A PROGRAMMABLE 24/7 SMART THERMOSTAT DEVICE.
 - DEVICE TO HAVE A 100 F (ADJ) DEADBAND, PROGRAMMABLE START AND STOP TIMES, 3-POSITION ON/OFF/AUTO SELECTOR SWITCH AND A 2 HOUR MANUAL OVERRIDE.
- SUPPLY FANS (RTU & AHU)
 - EACH UNIT'S SUPPLY AIR FANS ARE ENERGIZED AND THE OUTSIDE AIR (OA) DAMPERS MODULATE TO POSITION TO ADEQUATELY PRESSURIZE BUILDING.
 - UNIT'S TEMPERATURE SENSOR, LOCATED IN THE RETURN AIR (RA) DUCT MONITORS THE MIXED (MA), RA & OA TEMPERATURE. IF THE ROOM TEMPERATURE IS NOT WITHIN 1.00F DEGREES OF ROOM TEMPERATURE SET POINTS, UNIT WILL GO INTO HEATING OR COOLING MODE TO MEET THE DESIRED TEMPERATURE SET POINTS.
 - EACH UNIT'S FAN WILL CONTINUE TO RUN FOR 2 MINUTES (ADJ) AFTER THE HEATING OR COOLING ROOM TEMPERATURE SET POINT IS MET.
 - COOLING MODE:
 - COMPRESSOR WILL BE ENERGIZED TO COOL THE AIR TO ROOM AIR TEMPERATURE.
 - COMPRESSOR (S) WILL SHUT OFF WHEN MECHANICAL COOLING IS NO LONGER NEEDED.
 - HEATING MODE:
 - HEATING CONTROLS WILL ENERGIZE GAS BURNER IN FIRST STAGE AND IF NECESSARY TO SECOND STAGE HEATING TO BRING AIR TEMPERATURE UP TO THE HEATING ROOM TEMPERATURE SET POINT.
 - IF GAS HEATING IS NO LONGER NECESSARY, GAS BURNERS WILL SHUT OFF.
- MIXED AIR TEMPERATURE IS WITHIN 1.00F DEGREES OF ROOM TEMPERATURE:
 - COMPRESSOR IS NOT ENERGIZED.
 - GAS BURNERS ARE NOT ENERGIZED.
 - UNIT OPERATES IN THE ECONOMIZER MODE.
 - ECONOMIZER MODE: WHEN OUTDOOR WEATHER CONDITIONS, AS SENSED BY UNIT MOUNTED CONTROLS, ARE BELOW ITS SETTING, AND FREE COOLING IS AVAILABLE, ECONOMIZER MODE SHALL BE ENABLED AND DAMPERS SHALL POSITION TO ENABLE 100% OA ENTERING THE BUILDING. EA DAMPERS TO MODULATE TO EXHAUST THE OA NOT BEING EXHAUSTED BY THE EXHAUST FANS (EFH-1 & EF-X).
 - WHEN THE OA SET-POINT IS BELOW 55F (ADJ), THE MECHANICAL COOLING SHALL BE DISABLED. THE ECONOMIZER CONTROL SHALL RESET OA DAMPERS TO THE MINIMUM RUN OA INTAKE POSITION AND ENERGIZE THE MECHANICAL COOLING WHEN THE OA SET POINT IS EXCEEDED.
 - ADDITIONAL HIGH LIMIT SHUT OFF CONTROLS BELOW.
 - OA TEMPERATURE > 75F
 - OA TEMPERATURE > RA TEMPERATURE
 - (OA TEMPERATURE, OA RELATIVE HUMIDITY)>AIR
 - OA HUMIDITY > RA HUMIDITY
 - OA DEW POINT > 55F
 - OA TEMPERATURE > 75F
 - NO FIXED ENTHALPY CONTROL.
- EXHAUST FANS
 - REST ROOM EXHAUST FANS (EF) ARE TO BE STARTED BY AN OCCUPANCY SENSOR. WHEN THE OCCUPANT VACATES THE ROOM, THE FAN WILL REMAIN RUNNING FOR A MINIMUM OF 10 MINUTES (ADJ).
 - EXHAUST HOOD EXHAUST FAN (EFH-1)
 - GAS OVEN IS MANUALLY STARTED.
 - EXHAUST FAN EFH-1 AUTOMATICALLY ENERGIZES AND STARTS RUNNING.
 - ONCE EFH-1 IS UP TO SPEED, APPROXIMATELY 5 SECONDS (ADJ), THE SUPPLY AIR UNIT (SAU) INTRODUCING THE LARGEST AMOUNT OF OUTSIDE AIR (OA) INTO THE BUILDING STARTS.
 - ROOF TOP UNITS (RTU), AIR HANDLING UNITS (AHU) AND / OR MAKE-UP AIR UNITS (MAU) ARE CONSIDERED AS SUPPLY AIR UNITS (SAU).
 - IF THERE IS A DEDICATED MAKE-UP AIR UNIT PROVIDING OA TO A SELF-COMPENSATING HOODS, THIS UNIT SHALL BE THE FIRST UNIT STARTED.
 - AFTER A 5 SECOND (ADJ) INTERVAL, THE SAU BRING IN THE NEXT LARGEST AMOUNT OF OA INTO THE BUILDING STARTS.
 - THIS PROCESS CONTINUES UNTIL ALL OF THE SAU'S HAVE BEEN STARTED.
 - WHEN GAS OVEN IS TURNED OFF:
 - ANY DEDICATED MAKE-UP AIR UNIT STOPS.
 - ON ALL SUPPLY AIR FANS OA DAMPERS CLOSE TO MINIMUM ALLOWED OA POSITION AND THE EA DAMPER IS SET TO ALLOW SLIGHT BUILDING PRESSURIZATION.
- UNOCCUPIED MODE:
 - VENTILATION AND ECONOMIZER DAMPERS BECOME FULLY CLOSED.
 - THERMOSTAT SENDS SIGNAL TO UNITS TO OPERATE IN SETBACK MODE UNTIL NEXT OCCUPIED MODE CYCLE PER THERMOSTAT PROGRAMMING.
 - DURING HEATING SEASON, THE UNITS TO BE EQUIPPED WITH CONTROLS TO AUTOMATICALLY RESTART AND TEMPORARILY OPERATE TO MAINTAIN A TEMPERATURE ABOVE 55F.
 - DURING COOLING SEASON, THE UNITS TO BE EQUIPPED WITH CONTROLS TO AUTOMATICALLY RESTART AND TEMPORARILY OPERATE TO MAINTAIN A TEMPERATURE BELOW 85F.
 - UNITS SHALL BE SEQUENCED TO MAINTAIN SPACE TEMPERATURE AS FOLLOWS:
 - THE LARGEST TONNAGE UNIT, OR AS THE SEQUENCE NUMBER IN THE AIR CONDITIONING UNIT SCHEDULE INDICATES, SHALL RUN TO MAINTAIN THE SPACE SETBACK TEMPERATURE.
 - IF THE SPACE TEMPERATURE IS MEASURED AS 3/8F ABOVE THE COOLING OR 3/8F BELOW THE HEATING SETBACK TEMPERATURE, OR AS THE SEQUENCE NUMBER IN THE AIR CONDITIONING UNIT SCHEDULE INDICATES, SHALL START TO MAINTAIN THE SPACE SETBACK TEMPERATURE. WHEN THE TEMPERATURE DROPS TO 2/8F BELOW THE SETBACK TEMPERATURE IN COOLING MODE OR ABOVE SETBACK TEMPERATURE IN HEATING MODE, THE SECOND UNIT SHALL TURN OFF.
- AIR CONDITIONING UNIT MANUAL OVERRIDE MODE:
 - VENTILATION AND ECONOMIZER DAMPERS BECOME POSITIONED AT THE MINIMUM OA SETTING.
 - THERMOSTAT SENDS SIGNAL TO UNIT TO OPERATE IN NORMAL MODE.
 - MANUAL OVERRIDE TIMER TO BE SET FOR A PERIOD OF 2 HOURS (ADJ).
- EXHAUST HOOD FIRE SUPPRESSION SYSTEM:
 - WHEN THE EXHAUST HOOD FIRE SUPPRESSION SYSTEM IS ACTIVATED FANS IN ALL UNITS BRINGING OA INTO THE SPACE SHALL BE SHUT DOWN.
 - EFH-1 IS FORCED ON TO FULL SPEED.
- SMOKE DETECTORS
 - IF A FIRE ALARM SYSTEM IS PRESENT IN THE BUILDING, SMOKE DETECTORS TO NOTIFY FIRE ALARM SYSTEM IN THE EVENT OF SMOKE BEING DETECTED.
 - NON-EMERGENCY OPERATION:
 - THERMOSTATS, COMPRESSOR AND FANS RUN AS NORMAL.
 - SMOKE DETECTOR GENERATE VISIBLE ALERT SIGNS.
 - SMOKE DETECTOR SENDS SIGNAL TO HVAC SYSTEM TO SHUT OFF.
 - AIR CONDITIONING AND MAKE-UP AIR UNITS TO HAVE FANS AND COMPRESSORS DE-ENERGIZE.



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Project No: 5331
 Domino's Pizza Bakery Store
 Domino's Theater Tenant Improvement
 56 Main St., Lakeville, MA 02347
 for S & L Pizza
 711 Southbridge St.
 Auburn, MA 02347

ISSUED FOR PERMIT:
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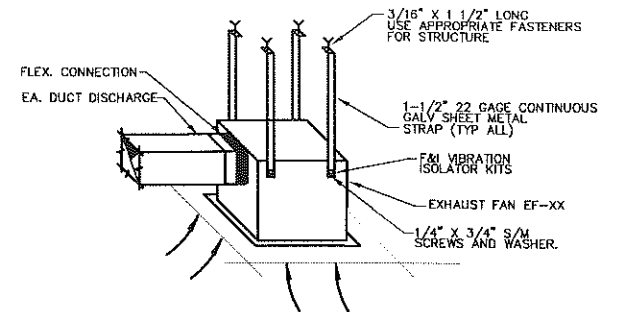
REV: DATE:	DESCRIPTION:

SHEET NAME:
 MECHANICAL DETAILS AND SEQUENCE OF OPERATIONS

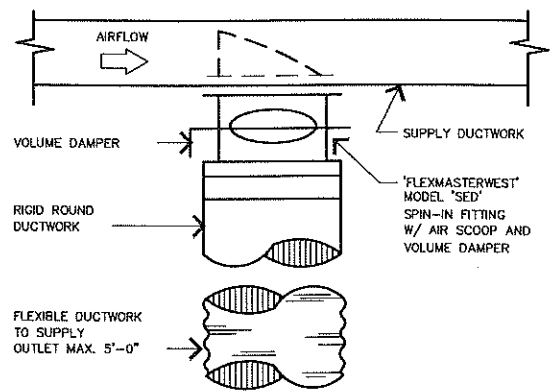
SHEET NUMBER:
M3.0

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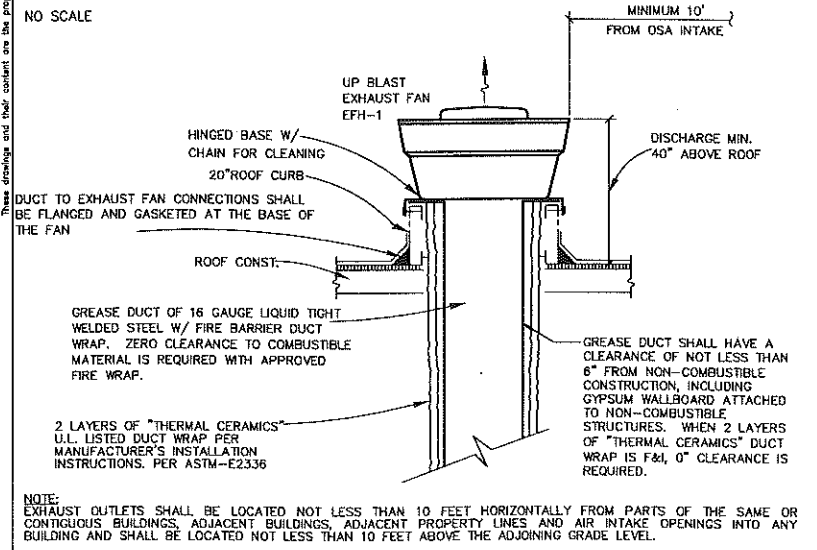
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RESTROOM FAN INSTALLATION DETAIL
 SCALE: N.T.S.

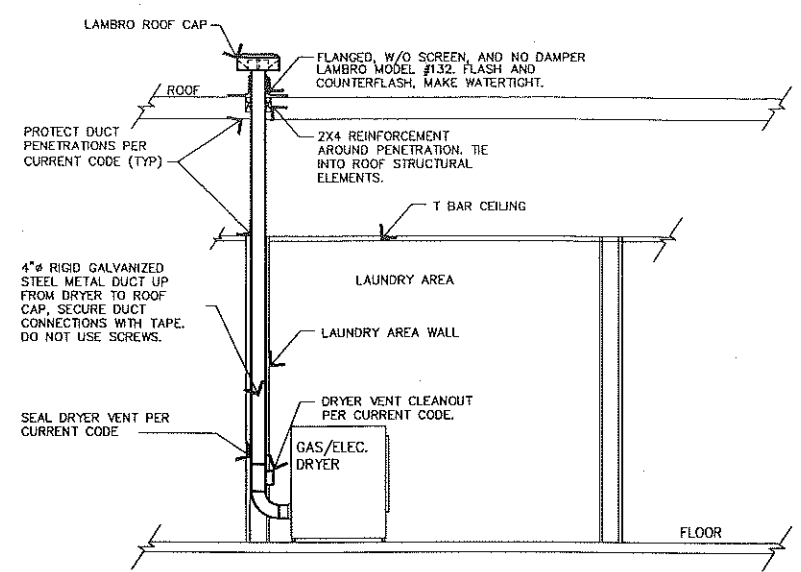


BRANCH DUCT TAKE-OFF DETAIL
 NO SCALE

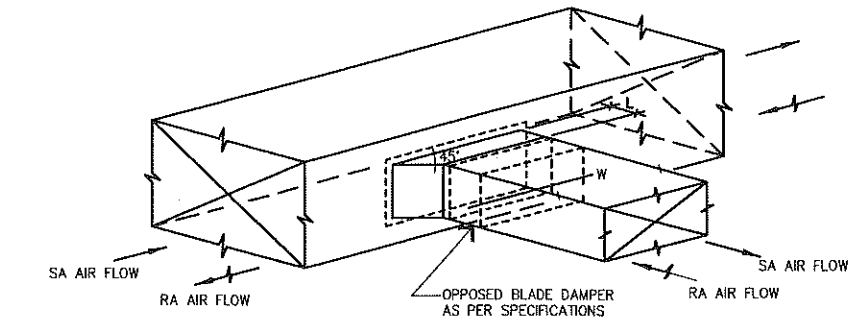


EXHAUST FAN DETAIL
 NO SCALE

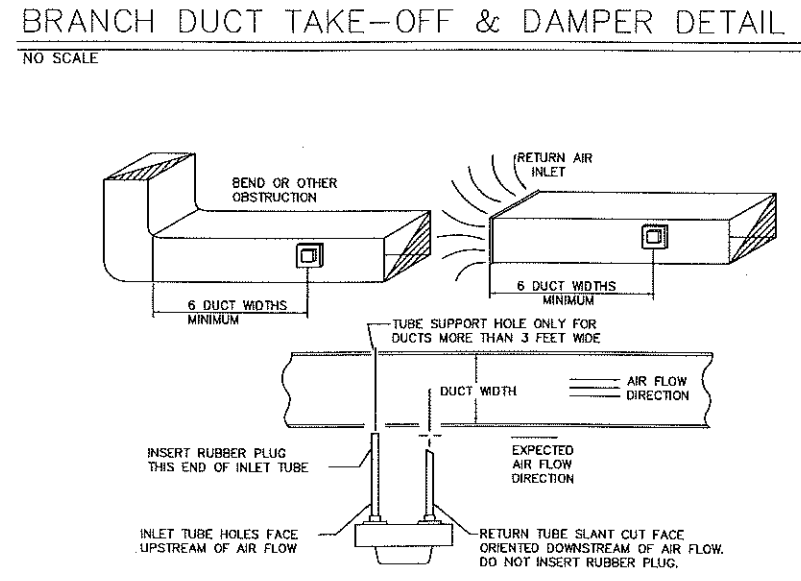
NOTE: EXHAUST OUTLETS SHALL BE LOCATED NOT LESS THAN 10 FEET HORIZONTALLY FROM PARTS OF THE SAME OR CONTIGUOUS BUILDINGS, ADJACENT BUILDINGS, ADJACENT PROPERTY LINES AND AIR INTAKE OPENINGS INTO ANY BUILDING AND SHALL BE LOCATED NOT LESS THAN 10 FEET ABOVE THE ADJOINING GRADE LEVEL.



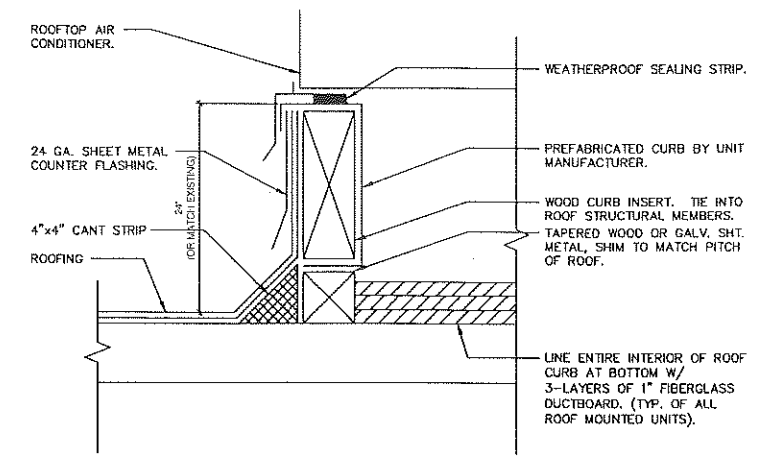
DRYER VENT DETAIL
 NO SCALE



TYPICAL DUCT DETECTOR INSTALLATION
 NO SCALE

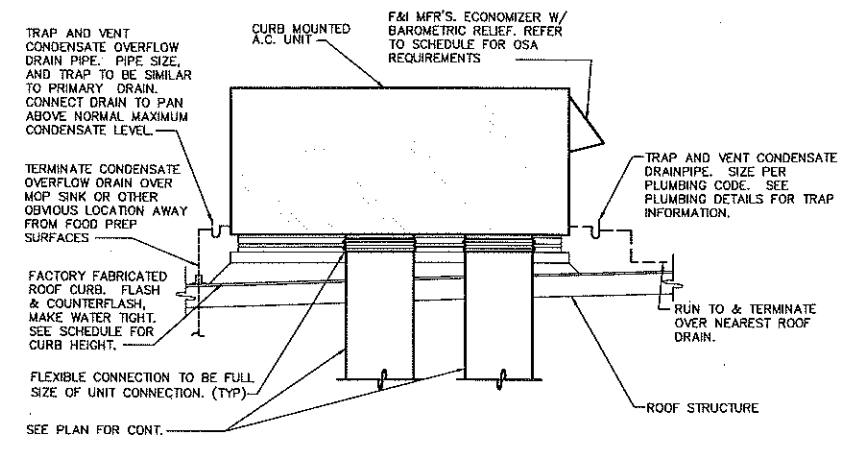


TYP. DUCT CONNECTION
 NO SCALE



NOTES:
 WHERE POSSIBLE ALL ELECTRICAL CONDUIT & DRAIN PIPING SHALL BE ROUTED THROUGH ROOF WITHIN THE CONFINES OF CURB PERIMETER.
 APPLIANCES DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SUPPORTS FOR APPLIANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS AS REQUIRED FOR LOCAL SEISMIC ZONE.

CURB INSTALLATION DETAIL
 NOT TO SCALE



NOTES:
 1. WHERE POSSIBLE ROUTE ALL ELECTRICAL CONDUIT AND DRAIN PIPING THROUGH ROOF, WITHIN THE CONFINES OF CURB PERIMETER.
 2. CONTRACTOR TO FURNISH AND INSTALL FACTORY RECOMMENDED ECONOMIZER, INCLUDING ALL NECESSARY CONTROLS, DAMPERS AND ACCESSORIES. UNITS SHALL BE F&I WITH BAROMETRIC RELIEF DAMPER. FURNISH AND INSTALL DIFFERENTIAL ENTHALPY CONTROLS OPTION. COORDINATE WITH ELECTRICAL AS NECESSARY.

ROOF MOUNTED A.C. UNIT DETAIL
 NO SCALE



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SHEET NAME:
 MECHANICAL DETAILS

SHEET NUMBER:
M4.0

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COMcheck Software Version 4.1.1.0 Mechanical Compliance Certificate

Project Information

Project Name: 701 COMcheck Mechanical System Building Code, 9th Edition, Energy Code, 2019
 Location: 701 COMcheck Mechanical System Building Code, 9th Edition, Energy Code, 2019
 Project Team: [Redacted]
 Designer/Engineer: [Redacted]
 Mechanical System Type: [Redacted]

Mechanical Compliance Statement

The proposed mechanical system project complies with the Building Code requirements for mechanical systems. The proposed mechanical system has been reviewed and found to comply with the Building Code requirements for mechanical systems. The proposed mechanical system has been reviewed and found to comply with the Building Code requirements for mechanical systems.

COMcheck Software Version 4.1.1.0 Inspection Checklist

Energy Code: 780 CMR Massachusetts State Building Code, 9th Edition, Requirements, 2019

Requirements, 2019 are addressed directly in the COMcheck software. The user is responsible for ensuring that the proposed mechanical system complies with the Building Code requirements for mechanical systems. The user is responsible for ensuring that the proposed mechanical system complies with the Building Code requirements for mechanical systems.

Additional Comments/Assumptions:

[Redacted]

COMcheck Software Version 4.1.1.0 Inspection Checklist

Energy Code: 780 CMR Massachusetts State Building Code, 9th Edition, Requirements, 2019

Requirements, 2019 are addressed directly in the COMcheck software. The user is responsible for ensuring that the proposed mechanical system complies with the Building Code requirements for mechanical systems. The user is responsible for ensuring that the proposed mechanical system complies with the Building Code requirements for mechanical systems.

Additional Comments/Assumptions:

[Redacted]

COMcheck Software Version 4.1.1.0 Inspection Checklist

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Additional Comments/Assumptions:

[Redacted]

COMcheck Software Version 4.1.1.0 Inspection Checklist

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Additional Comments/Assumptions:

[Redacted]

Project Title: [Redacted]
 Report Date: 02/09/21
 Page 1 of 9

Project Title: [Redacted]
 Report Date: 02/09/21
 Page 2 of 9

Project Title: [Redacted]
 Report Date: 02/09/21
 Page 3 of 9

Project Title: [Redacted]
 Report Date: 02/09/21
 Page 4 of 9

Project Title: [Redacted]
 Report Date: 02/09/21
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Section	Mechanical System Inspection	Compliance	Comments/Assumptions
4.1.1.1	...	Compliant	...
4.1.1.2	...	Compliant	...

Section	Mechanical System Inspection	Compliance	Comments/Assumptions
4.1.1.3	...	Compliant	...
4.1.1.4	...	Compliant	...

Section	Mechanical System Inspection	Compliance	Comments/Assumptions
4.1.1.5	...	Compliant	...
4.1.1.6	...	Compliant	...

Section	Mechanical System Inspection	Compliance	Comments/Assumptions
4.1.1.7	...	Compliant	...
4.1.1.8	...	Compliant	...

Section	Mechanical System Inspection	Compliance	Comments/Assumptions
4.1.1.9	...	Compliant	...
4.1.1.10	...	Compliant	...

Project Title: [Redacted]
 Report Date: 02/09/21
 Page 6 of 9

Project Title: [Redacted]
 Report Date: 02/09/21
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Project Title: [Redacted]
 Report Date: 02/09/21
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Project Title: [Redacted]
 Report Date: 02/09/21
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REV	DATE	DESCRIPTION

SHEET NAME:
 MECHANICAL ENERGY CERTIFICATE
 SHEET NUMBER:
M5.0

MECHANICAL SPECIFICATIONS

WORK INCLUDED -
ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE INSTALLATION OF AN OPERATING HVAC SYSTEM INCLUDING HVAC EQUIPMENT, DUCTWORK, GRILLES, REGISTERS, CONTROL AND RELATED ITEMS AS REQUIRED OR SPECIFIED. OBTAIN AND PAY FOR BUILDING PERMITS, FEES, TESTS, AND INSPECTIONS REQUIRED IN CONNECTION WITH WORK. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH ALL GOVERNING CODES AND ORDINANCES. THE FINAL PRODUCT SHALL BE A COMPLETE WORKING SYSTEM.

GENERAL -
ALL HVAC EQUIPMENT AND ACCESSORIES SHALL BE INSTALLED AS PER MANUFACTURERS INSTALLATION INSTRUCTIONS. THE DRAWINGS ARE GENERALLY DIAGRAMMATIC, AND ARE INTENDED TO CONVEY SCOPE OF WORK AND TO INDICATE GENERAL ARRANGEMENT OF EQUIPMENT, DUCTS AND PIPING. THEY ARE NOT INTENDED TO SHOW EVERY OFFSET OR FITTING OR STRUCTURAL CONFLICT THAT MAY BE ENCOUNTERED DURING INSTALLATION OF WORK. DO NOT SCALE DRAWINGS. THE LOCATION OF ALL DUCTWORK, EQUIPMENT AND RELATED ITEMS SHALL BE VERIFIED IN THE FIELD PRIOR TO FABRICATION. THE EQUIPMENT AND DUCTWORK/DIFFUSER LOCATIONS AS SHOWN ARE ACCURATE TO THE BEST OF OUR KNOWLEDGE. HOWEVER, IN SOME INSTANCES, THE EQUIPMENT ITEM MAY VARY FROM WHAT IS SHOWN. VERIFY ALL CRITICAL DIMENSIONS AND ROUNG-IN REQUIREMENTS WITH THE EQUIPMENT SUPPLIER PRIOR TO CONSTRUCTION. FAILURE OF THE CONTRACTOR TO VERIFY THESE DIMENSIONS SHALL PLACE THE RESPONSIBILITY FOR ANY SUBSEQUENT RELOCATIONS DIRECTLY UPON THE CONTRACTOR.

SUBSTITUTIONS -
IF THE CONTRACTOR DESIRES TO USE EQUIPMENT AND/OR MATERIAL OF EQUAL QUALITY OTHER THAN THAT SPECIFIED, HE SHALL HAVE REQUESTED, IN WRITING, APPROVAL OF EACH SUCH SUBSTITUTION AND RECEIVED APPROVAL PRIOR TO BID OPENING. A CONTRACTOR OFFERING A SUBSTITUTION SHALL ACCEPT RESPONSIBILITY FOR ITS EFFECT ON THE WORK OF ALL TRADES. THE CONTRACTOR WHO REQUESTED SUCH SUBSTITUTION SHALL PAY ALL COST AND CHANGES RESULTING FROM THE INCLUSION OF SUBSTITUTIONS.

DISCREPANCIES - IN THE EVENT THAT THE CONTRACTOR FINDS DISCREPANCIES OR OMISSIONS, OR IS IN DOUBT AS TO THE EXACT MEANING OF THE PLANS AND/OR SPECIFICATIONS, HE SHALL, BEFORE COMMENCING WORK, CONTACT THE ARCHITECT FOR CLARIFICATION.

FIRE/DRAFT STOP SURVEY -
THE CONTRACTOR SHALL REVIEW THE ARCHITECTURAL DRAWINGS TO VERIFY THE LOCATION OF ALL FIRE AND/OR DRAFT BARRIERS IN THIS PROJECT PRIOR TO CONSTRUCTION. F&I UL AND LOCAL CODE APPROVED FIRE/SMOKE DAMPERS AND MECHANICAL PIPING PENETRATION, CONSTRUCTION MATERIALS AND INSTALLATION METHODS FOR BARRIER RATING ENCOUNTERED. INCLUDE RATED ACCESS PANELS FOR EACH DAMPER. FAILURE OF THE CONTRACTOR TO VERIFY REQUIRED FIRE/DRAFT BARRIER REQUIREMENTS PRIOR TO BIDDING THESE DOCUMENTS SHALL PLACE THE RESPONSIBILITY FOR ANY SUBSEQUENT RELOCATIONS OR REVISIONS DIRECTLY ON THE CONTRACTOR.

ACCEPTABLE MANUFACTURERS -
THE FOLLOWING IS A LIST OF MANUFACTURERS WHOSE EQUIPMENT AND HVAC MATERIALS ARE ACCEPTABLE, SUBJECT TO CONFORMANCE WITH CONTRACT DOCUMENTS. VERIFY THAT THE EQUIPMENT WILL MEET ALL CAPACITIES, SPACE ALLOCATIONS, AND THAT THE WEIGHTS WILL NOT EXCEED STRUCTURAL DESIGN LOADS.

- HVAC EQUIPMENT: TRANE, CARRIER, PAYNE, YORK, DAY & NIGHT, LENNOX, RUUD AND ICC COMMERCIAL.
- DUCT & PIPE INSTALLATION: KNAUF, OWENS-CORNING, MANVILLE, CERTAIN-TEED AND PCP
- EVAPORATE COOLERS: ARIM, GOETT, MASTER COOL, UNITED METAL PRODUCTS
- MAKE-UP AIR UNITS: ARIES, REZNO, WESTERN AND STERLING
- HVAC CONTROLS: HONEYWELL, BARBER-COLEMAN, ROBERT SHAW, OR HVAC EQUIPMENT SUPPLIER FURNISHED
- GRILLES, REGISTERS, DIFFUSERS & LOUVERS: ANEMOSTAT, KRUEGER, METAL-AIRE, ITIUS, RUSKIN AND PENN
- ACCESS DOORS: MILCOR, VENTIGAB AND POTTER-ROEMER
- FLEXIBLE DUCT: GENFLEX, THERMAFLEX, OR EQUIVALENT
- EXHAUST FANS: GREENHECK, ACME, ILG, LOREN COOK, PENN AND BROAD
- SMOKE & FIRE DAMPERS: RUSKIN, PHILLIPS AND AIR BALANCE

AIR CONDITIONING UNITS -
SELF CONTAINED OR SPLIT SYSTEM. ELECTRIC HEAT PUMP AIR CONDITIONING AND ELECTRIC RESISTANCE OR GAS HEATING SECTION. TYPE, CAPABILITIES AND RATING INDICATED ON THE DRAWINGS. ARI, AND/OR AGA CERTIFIED, UL LISTED. INCLUDE FACTORY ACCESSORIES NECESSARY TO MAKE EQUIPMENT COMPLETELY OPERATIONAL.

EVAPORATIVE COOLER UNITS -
FURNISH AND INSTALL EVAPORATIVE COOLERS. EACH UNIT SHALL BE COMPLETE WITH BLOWER AND MOTOR WITH STARTERS, F&I SNAP LOCK PAD FRAMES, UNDERCOATING OF RESERVOIR, STRAINER BASKET, FLOAT KIT, WATER CONNECTION KIT, "AQUATRIL" BLEED CONTROL PUMP, MODELS AND CAPACITIES AS INDICATED ON DRAWINGS. APPROVED UNITS SHALL BE CERTIFIED FOR AIR DELIVERY OR BE INCREASED IN SIZE TO MEET DESIGN STANDARDS. INCLUDE FACTORY ACCESSORIES NECESSARY TO MAKE EQUIPMENT COMPLETELY OPERATIONAL. COOLER SHALL BE CONNECTED TO A SYSTEM OF DRAINAGE TO FACILITATE THE DRAINING OF COOLER AND THE BLEED-OFF LINES. LINES SHALL BE TYPE "M" COPPER. TERMINATE DRAINAGE LINES AS INDICATED ON DRAWINGS. EVAPORATIVE COOLING EQUIPMENT SHALL BE UL LISTED AND MUST HAVE A PERMANENTLY ATTACHED LABEL.

HVAC EQUIPMENT DRAINS -
TO BE INSTALLED AS INDICATED OR REQUIRED. USE TYPE "M" COPPER TUBING AND WROUGHT COPPER MECHANICAL FITTINGS. EXTEND DRAINS TO NEAREST CODE APPROVED RECEPTOR, LAVATORY TAILPIECE (FURNISHED BY PLUMBER) OR DRAIN OUTSIDE IN PLANTER AREA. SLOPE DRAIN AT A MINIMUM OF 1/8" PER FT.
NOTE: INSULATE ALL CONDENSATE DRAIN LINES ABOVE CEILING.
NOTE: CONTRACTOR OPTION TO USE PVC WITH OWNERS APPROVAL. SCHEDULE 40 PVC ACCEPTABLE WHERE CONCEALED WITHIN STRUCTURE. NO PVC PIPING ABOVE ROOF OR AT EXTERIOR OF BUILDING.

TEMPERATURE CONTROL SYSTEM -
AS INDICATED OR REQUIRED. F&I THERMOSTAT AND SUB BASE, WITH HINGED AND LOCKABLE OPAQUE COVER (PUBLIC AREAS ONLY). CONTROLS SHALL BE FURNISHED AS RECOMMENDED BY HVAC EQUIPMENT SUPPLIER, SUITABLE FOR APPLICATION. UNLESS OTHERWISE INDICATED ON THE DRAWINGS, CONTRACTOR TO COORDINATE EXACT LOCATION AND MOUNTING HEIGHT WITH THE ARCHITECT/OWNER.
NOTE: CONTRACTOR TO F&I PROGRAMMABLE THERMOSTAT.
NOTE: EACH HEATING AND COOLING SYSTEM SHALL HAVE AT LEAST ONE SOLID-STATE PROGRAMMABLE THERMOSTAT. THE THERMOSTAT SHALL HAVE THE CAPABILITY TO SET BACK OR SHUT DOWN THE SYSTEM BASED ON DAY OF THE WEEK AND TIME OF DAY, AND F&I A READILY ACCESSIBLE MANUAL OVERRIDE THAT WILL RETURN TO THE PRE-SETBACK OR SHUTDOWN WITHOUT REPROGRAMMING.

EXHAUST FANS -
SIZE, CAPACITIES, AND TYPE AS INDICATED ON THE DRAWINGS. FURNISH COMPLETE WITH FACTORY CURBS/ROOF CAPS, BAROMETRIC DAMPER, SPEED CONTROL, DISCONNECT, STARTER (IF REQUIRED) AND BIRD SCREEN. FURNISH ROOF MOUNTED FANS WITH INSULATED ROOF CURB, F&I CEILING MOUNTED FANS WITH WALL/ROOF CAP.
NOTE: ALL EXHAUST SYSTEMS MUST HAVE DAMPERS THAT ARE AUTOMATICALLY CLOSED WHILE THE EQUIPMENT IS NOT OPERATING.

GRILLES, DIFFUSERS AND REGISTERS -
SIZE, CAPACITIES, AND TYPE AS INDICATED ON THE DRAWINGS. INSTALL IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS. F&I ALUMINUM TYPE FOR EVAPORATIVE COOLERS AND AREAS SUBJECT TO MOISTURE. F&I EXTRACTORS BEHIND ALL SUPPLY REGISTERS.
NOTE: EACH SUPPLY AIR OUTLET OR DIFFUSER MUST HAVE ITS OWN BALANCING DEVICE. ACCEPTABLE BALANCING DEVICES INCLUDE ADJUSTABLE DAMPERS LOCATED WITHIN THE DUCTWORK, TERMINAL DEVICES AND SUPPLY AIR DIFFUSERS. EACH BALANCING DEVICE OR OTHER MEANS OF SUPPLY AIR ADJUSTMENT USED IN BALANCING SHALL BE FURNISHED WITH ACCESS.

DUCTWORK -
ALL DUCTWORK INSTALLATIONS MUST CONFORM TO REQUIREMENTS OF THE LATEST EDITION OF THE CODE. ALL LOW PRESSURE HEATING AND AIR CONDITIONING DUCTWORK SHALL BE FABRICATED FROM LOCK FORMING PRIME GRADE GALVANIZED STEEL SHEETS (MAKE-UP AIR DUCTWORK CONVEYING EVAPORATIVE COOLED AIR SHALL BE FABRICATED FROM ALUMINUM SHEETS), AND INSTALLED BY SKILLED MECHANICS IN STRICT CONFORMANCE WITH THE LATEST SMACNA MANUAL. CROSS BREAK ALL SIDES OF DUCTS. SUPPORT ALL DUCTWORK FROM OVERHEAD STRUCTURE WITH STRAP IRON OR ANCHES. ALL DUCT DIMENSIONS ARE NET FREE AREA AND DO NOT INCLUDE ALLOWANCE FOR INSULATION. ALL JOINTS, LONGITUDINAL AND TRANSVERSE SEAMS, AND CONNECTIONS IN DUCTWORK MUST BE SECURELY SEALED USING WELDMENTS, MECHANICAL FASTENERS WITH SEALS, GASKETS, OR MASTICS, MESH AND MASTIC SEALING SYSTEMS, OR TAPES. TAPES AND MASTICS MUST BE LISTED AND LABELED IN ACCORDANCE WITH UL 181A OR U.L. 181B.

HORIZONTAL AND VERTICAL DUCT SUPPORTERS -
REFER TO CURRENT CODE EDITION FOR DUCT SUPPORTS.

DUCTWORK FABRICATION -
F&I CONNECTIONS BETWEEN EQUIPMENT AND DUCTWORK (DURDYNE "GRIP LOCK" OR EQUAL), F&I SHEET METAL SHIELDED OVER EXPOSED JOINTS. COVER ALL JOINTS, SEAMS AND LOCKS ON INTERIOR AND EXTERIOR DUCTWORK WITH 4 OZ. CANVAS SATURATED WITH VINYL ACRYLIC DUCT SEALANT (UL LISTED, FLAME SPREAD 0) TO MAKE AIR TIGHT. WHERE DUCTS PASS THROUGH THE WALLS OR ROOF, FLASH AND COUNTER FLASH TO LEAVE WATERPROOF INSTALLATION. PATCH ALL EXPOSED DUCTWORK TO MATCH SURROUNDING CONSTRUCTION OR AS RECOMMENDED BY ARCHITECT. F&I RPIVAL, TURNING VANES ON ALL 90°-IN-ANGLE ELBOWS. F&I VOLUME AND SPLITTER DAMPERS WHERE SHOWN ON DRAWINGS AND AS REQUIRED. FLEXIBLE DUCTWORK SHALL BE OF FLEXIBLE WIRE REINFORCED FIBERGLASS DUCT (TYPE UL, CLASS 1), AND NYLON LINER AND COVER, CONNECTORS TO BE UL APPROVED. FLEXIBLE DUCTWORK SHALL BE LIMITED TO RUN-OUTS TO DIFFUSERS OF (5) FIVE FT. OR LESS, SUPPORTED WITH STRAP HANGERS.

DUCTWORK INSULATION -
ALL ACUSTIC LINER TO BE MINIMUM 1.5 PCF DENSITY. WITH NFPA 90A APPROVED LINER OR COATING. THERMAL INSULATION SHALL BE MINIMUM 3/4 PCF DENSITY, WITH A MAXIMUM K' FACTOR OF 0.33 AT 75DEGREES F AND SHALL HAVE A FLAME RETARDANT FOL-SKIMGRAFT VAPOR BARRIER (FSK), FASTENED TO DUCTWORK WITH 16 GA. WIRE @ 12" O.C. ALL INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS, AND A SMOKE DEVELOPED RATING OF 10 OR LESS. EXTERIOR HVAC DUCTWORK TO BE LINED WITH 2" DUCT LINER 1-1/2" PCF, K=0.28 AT 75DEGREES F, R=8. INTERIOR DUCTWORK BELOW CEILING INSULATION TO BE LINED WITH 1" DUCT LINER 1-1/2" PCF, K=0.28 AT 75DEGREES F, R=8 (MIN.), OR WRAP WITH 1-1/2" FIBERGLASS DUCT WRAP, 3/4 PCF, K=0.31 AT 75DEGREES F, R=8 (MIN.) AND FLAME RETARDANT FOL-SKIMGRAFT VAPOR BARRIER (FSK). INTERIOR SHEET METAL DUCTWORK ABOVE CEILING INSULATION TO BE LINED WITH 2" DUCT LINER 1-1/2" PCF, K=0.28 AT 75DEGREES F, R=8 (MIN.) OR WRAP WITH FIBERGLASS DUCT WRAP, 3/4 PCF, K=0.31 AT 75DEGREES F, R=8 (MIN.). COMBINATION HEATING/COOLING MAKE-UP AIR DUCTWORK CONVEYING EVAPORATIVE COOLED AIR SHALL BE INSULATED ON THE EXTERIOR WITH 1-1/2" THICK GLASS FIBER RIGID BOARD WITH ALL SERVICE JACKET (MIN. 3 PCF DENSITY, K=0.23 R=8). RIGID INSULATION ON OUTDOOR DUCTWORK SHALL BE COVERED WITH A LAYER OF OPTM WEAVE GLASS CLOTH EMBEDDED BETWEEN TWO COATS OF WEATHERPROOF MASTIC OF NOT LESS THAN 1/8" TOTAL THICKNESS. DUCTWORK CONVEYING EVAPORATIVE COOLED AIR ONLY SHALL NOT BE INSULATED.

DUCTWORK INSULATION SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT ENERGY CODE. EDITION AND SHALL BE INSTALLED BY LICENSED INSULATION CONTRACTOR, IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS. ALL AIR DUCTS MUST BE INSULATED TO THE FOLLOWING LEVELS:

- A. SUPPLY AND RETURN AIR DUCTS FOR CONDITIONED AIR LOCATED IN UNCONDITIONED SPACES (SPACES NEITHER HEATED NOR COOLED) MUST BE INSULATED WITH A MINIMUM OF R-5. UNCONDITIONED SPACES INCLUDE ATTICS, CRAWL SPACES, UNHEATED BASEMENTS AND UNHEATED GARAGES.
- B. SUPPLY AND RETURN AIR DUCTS AND PLENUMS MUST BE INSULATED TO A MINIMUM OF R-9 WHEN LOCATED OUTSIDE THE BUILDING.
- C. WHEN DUCTS ARE LOCATED WITHIN EXTERIOR COMPONENTS (E.G. FLOORS OR ROOFS), MINIMUM R-8 INSULATION IS REQUIRED ONLY BETWEEN THE DUCT AND THE BUILDING EXTERIOR.

EXCEPTION: DUCT INSULATION IS NOT REQUIRED ON DUCTS LOCATED WITHIN THE EQUIPMENT
EXCEPTION: DUCT INSULATION IS NOT REQUIRED WHEN THE DESIGN TEMPERATURE DIFFERENCE BETWEEN THE INTERIOR AND EXTERIOR OF THE DUCT OR PLENUM DOES NOT EXCEED 10DEGREES F.

- D. MECHANICAL FASTENERS AND SEALS, MASTICS, OR GASKETS MUST BE USED WHEN CONNECTING DUCTS TO FANS AND OTHER AIR DISTRIBUTION EQUIPMENT, INCLUDING MULTIPLE-ZONE TERMINAL UNITS.
- E. ALL JOINTS, LONGITUDINAL AND TRANSVERSE SEAMS, AND CONNECTIONS IN DUCTWORK MUST BE SECURELY SEALED USING WELDMENTS, MECHANICAL FASTENERS WITH SEALS, GASKETS, OR MASTICS, MESH AND MASTIC SEALING SYSTEMS, OR TAPES. TAPES AND MASTICS MUST BE LISTED AND LABELED IN ACCORDANCE WITH UL 181A AND FIRE/DRAFT BARRIER REQUIREMENTS. 181A-M FOR MASTIC OR 181A-H FOR HEAT-SENSITIVE TAPE. TAPES AND MASTICS USED TO SEAL FLEXIBLE AIR DUCTS AND FLEXIBLE AIR CONNECTORS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED "181B-FX" FOR PRESSURE SENSITIVE TAPE OR "181B-M" FOR MASTIC. UNLISTED DUCT TAPE IS NOT PERMITTED AS A SEALANT ON ANY METAL DUCTS.

LOW PRESSURE HVAC DUCTWORK -
LOW PRESSURE DUCTWORK TO BE ANY DUCTWORK AT 2" W.G. OR LESS. CONSTRUCT PARTITION FORMING PLENUMS OR SUCTION CHAMBERS WITH 1-1/2" GALVANIZED OR 3/16" GALVANIZED IRON ANCHES AND FITS TO FORM SEAM CONNECTIONS AND STIFFENING. ALL SUPPLY, RETURN AND EXHAUST DUCTS (AS NOTED) SHALL BE PRIME STEEL SHEETS HOT-DIPPED GALVANIZED OF THE FOLLOWING GAUGES:

- UP TO 12" WIDE OR DIAMETER - #26
- 13" UP TO 30" WIDE OR DIAMETER - #24
- 31" UP TO 45" WIDE OR DIAMETER - #22
- ALL EXHAUST DUCTWORK SHALL BE - #24

HVAC INTERLOCKS/ SMOKE DETECTORS -
F&I ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED TO INTERLOCK HVAC SUPPLY AND EXHAUST SYSTEMS SPECIFIED ON THE DRAWINGS OR REQUIRED BY THE CURRENT MECHANICAL CODE. FURNISH, INSTALL AND CONNECT SMOKE DETECTORS (APPROVED BY REGULATING AGENCY) ON THE RETURN SIDE OF ALL HVAC FANS EXCEEDING 2000 CFM OR AS REQUIRED PER LOCAL REGULATIONS TO SHUT DOWN FAN IF SMOKE IS DETECTED IN DUCTWORK.

SMOKE DETECTOR SHALL BE MOUNTED IN RETURN AIR DUCT. AUTOMATIC SHUT-OFF SHALL BE ACCOMPLISHED BY INTERRUPTING THE POWER SOURCE OF THE MECHANICAL UNIT. UPON DETECTION OF SMOKE IN THE MAIN RETURN AIR DUCT, ACTIVATION OF ANY DETECTOR SHALL SHUT DOWN ALL UNITS WITHIN THE SYSTEM. SMOKE DETECTOR SHALL BE LABELED BY AN APPROVED AGENCY FOR AIR DUCT INSTALLATION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS. SUCH DEVICES SHALL BE COMPATIBLE WITH THE OPERATION VELOCITIES, PRESSURES, TEMPERATURE AND HUMIDITY OF THE SYSTEM. DETECTOR SHALL BE 120 V/1 PHASE (OR AS DIRECTED BY THE ELECTRICAL CONTRACTOR) AND UL LISTED. COORDINATE AS REQUIRED PRIOR TO ORDERING AND INSTALLING. DETECTOR SHALL BE FURNISHED AND INSTALLED BY MECHANICAL, LINE VOLTAGE BY ELECTRICAL.

NOTE: IF A FIRE ALARM SYSTEM IS AVAILABLE, THE DUCT SMOKE DETECTOR(S) SHALL BE CONNECTED TO THE FIRE ALARM SYSTEM PER THE CURRENT MECHANICAL CODE. IF A FIRE ALARM SYSTEM IS NOT AVAILABLE, F&I A VISIBLE AND AUDIBLE SUPERVISORY SIGNAL AT A CONSTANTLY SUPERVISED LOCATION TRIGGERED BY THE ACTIVATION OF A DUCT SMOKE DETECTOR. INCLUDE THE AIR DUCT DETECTOR TROUBLE INDICATOR (LED AT THE CEILING BELOW THE DUCT DETECTOR) AS REQUIRED BY THE CURRENT MECHANICAL CODE.

NOTE: SMOKE DETECTORS ASSOCIATED WITH SMOKE DAMPERS AND HVAC SHUT-OFFS SHALL BE TESTED BY AN APPROVED TESTING AGENCY OR A QUALIFIED THIRD PARTY SPECIAL INSPECTOR. THE SPECIAL INSPECTOR/TESTING AGENCY SHALL BE AN INDEPENDENT THIRD PARTY INDIVIDUAL, OR FIRM AND SHALL NOT BE THE INSTALLING CONTRACTOR. A PROFESSIONAL ENGINEER SHALL SUBMIT A FINAL SIGNED AND SEALED REPORT TO THE MECHANICAL INSPECTOR TO CITY/STATE OF FINAL INSPECTION APPROVAL OR OCCUPANCY APPROVAL, INCLUDING CONDITIONAL OCCUPANCY APPROVAL.

NOTE: IF A COMPLETE FIRE ALARM DETECTION SYSTEM IS INSTALLED IN THE BUILDING THEN SMOKE DUCT DETECTORS ARE NOT REQUIRED PER THE CURRENT MECHANICAL CODE, AS LONG AS THE FIRE ALARM SYSTEM IS INTERCONNECTED TO THE MECHANICAL UNITS TO SHUT DOWN IN THE EVENT OF FIRE ALARM ACTIVATION IN ACCORDANCE WITH THE CURRENT MECHANICAL CODE.

ELECTRICAL WORK -
MECHANICAL DIVISION SHALL FURNISH ALL MOTOR STARTERS REQUIRED FOR MECHANICAL EQUIPMENT, UNLESS INCLUDED AS AN INTEGRAL PART OF THE HVAC EQUIPMENT. F&I SUITABLE ENCLOSURE PER NEMA STANDARDS. ALL LOW VOLTAGE (24V) CONTROL WIRING OR THERMOSTATS AND OTHER CONTROL REQUIREMENTS TO BE THE RESPONSIBILITY OF MECHANICAL CONTRACTOR. ALL LINE VOLTAGE WIRING AND CONDUIT INCLUDING LOW VOLTAGE CONTROL CONDUIT TO BE INSTALLED BY ELECTRICAL CONTRACTOR. SMOKE DETECTORS TO BE WIRED BY THE ELECTRICAL CONTRACTOR.

OUTSIDE AIR REQUIREMENTS -
LOCATE ALL OUTSIDE AIR/INTAKE AIR OPENINGS A MINIMUM OF 10'-0" FROM PLUMBING VENTS, EXHAUST FANS, AND/OR GAS FLUE VENTS, F&I OUTSIDE AIR GRILLE FILTER (IF REQUIRED) AND OBD.

NOTE: MINIMUM OSA REQUIREMENTS SHALL COMPLY WITH THE CURRENT MECHANICAL CODE.
CONTRACTOR TO BALANCE OUTSIDE AIR TO CFM SHOWN ON OUTSIDE AIR SCHEDULE.
CONTRACTOR SHALL F&I A COPY OF AIR BALANCE TEST REPORT TO FIELD INSPECTOR PRIOR TO FINAL INSPECTION. VENTILATION SYSTEMS SHALL BE BALANCED BY AN APPROVED METHOD. A BALANCE REPORT SHALL VERIFY THAT THE VENTILATION SYSTEM IS CAPABLE OF SUPPLYING AIR FLOW RATES REQUIRED BY THE CURRENT ENERGY CODE.

SYSTEM START-UP/AIR BALANCE -
BEFORE FINAL ACCEPTANCE, CONTRACTOR SHALL DEMONSTRATE THAT ALL APPARATUS IS FUNCTIONING PROPERLY IN ACCORDANCE WITH FACTORY START-UP RECOMMENDATIONS. AIR QUANTITIES SHALL BE BALANCED FOR EVEN TEMPERATURES THROUGHOUT CONTROLS AND/OR INTERLOCKS/SMOKE DETECTORS ADJUSTED, AND THE SYSTEM PLACED INTO OPERATION. AIR BALANCE WORK SHALL BE PERFORMED BY QUALIFIED PERSONNEL LISTED WITH NEBB OR ABC. FURNISH THE FOLLOWING START-UP BALANCE INFORMATION IN TWO (2) COPIES TO THE OWNER/ARCHITECT FOR REVIEW PRIOR TO PROJECT CLOSE: SUPPLY/EXHAUST CFM AT EACH DIFFUSER/REGISTER (USING FLOW HOOD), OUTSIDE AIR QUANTITY TO EACH HVAC UNIT, DISCHARGE/RETURN AIR TEMPERATURES AT THE HVAC UNIT (FOR BOTH HEATING AND COOLING MODE), AND THE HVAC MOTOR AMP DRAW. FURNISH OWNER WITH WRITTEN CERTIFICATION FROM THE HVAC EQUIPMENT SUPPLIER(S) THAT ALL EQUIPMENT HAS BEEN INSTALLED PER MANUFACTURERS RECOMMENDATIONS, INCLUDE THE COST OF ANY ADDITIONAL OPPOSED BLADE VOLUME DAMPERS, MOTOR SHEAVES, ETC. NECESSARY TO ACHIEVE AIR QUANTITIES LISTED. INCLUDE AN EXTENDED 90 DAY WARRANTY, DURING WHICH TIME THE ENGINEER MAY REQUEST A RECHECK OR RESETTING OF ANY AIR QUALITY, OR NOT MORE THAN TWO CHANGES OF NON-ADJUSTABLE SHEAVES TO OBTAIN DESIRED AIR QUANTITIES. CONTRACTOR SHALL MAKE ANY CHANGES IN PULLEYS, BELTS, OR ADDITIONAL DAMPERS REQUIRED FOR CORRECTED AIR BALANCE AS REQUIRED BY BALANCE AGENCY AT NO ADDITIONAL COST TO THE OWNER.

INSTRUCTIONS/ O&M MANUAL -
THE CONTRACTOR SHALL INSTRUCT THE OWNER IN THE PROPER OPERATION AND MAINTENANCE OF ALL INSTALLED HVAC EQUIPMENT. THE CONTRACTOR SHALL FURNISH A MINIMUM OF TWO (2) BOUND OPERATING AND MAINTENANCE MANUALS TO THE OWNER AT THE COMPLETION OF THE PROJECT. THE MANUAL SHALL INCLUDE: EQUIPMENT CAPACITY (INPUT AND OUTPUT), CONTROL AND/OR INTERLOCK WIRING DIAGRAMS, SEQUENCE OF OPERATION, PREVENTATIVE MAINTENANCE SCHEDULE, NAME, ADDRESS AND PHONE NUMBER OF THE LOCAL PRODUCT REPRESENTATIVE.

WARRANTY -
ALL LABOR AND MATERIALS FURNISHED OR INSTALLED UNDER THIS SECTION SHALL CARRY A WRITTEN ONE (1) YEAR WARRANTY BY THE MECHANICAL CONTRACTOR TO THE OWNER, COVERING MATERIALS AND WORKMANSHIP IN FULL. FURNISH EXTENDED FIVE (5) YEARS FACTORY PARTS AND LABOR WARRANTY ON ALL AIR CONDITIONING COMPRESSORS, EXISTING HVAC EQUIPMENT, DUCTWORK AND/OR HVAC COMPONENTS REUSED IN THE JOB ARE NOT COVERED UNDER THIS WARRANTY.

MECHANICAL GENERAL NOTES

- PRIOR TO THE CONTRACTOR ORDERING OR PLACING ANY AIR CONDITIONING EQUIPMENT, DUCTWORK, OR AIR DEVICE, HE SHALL VERIFY LOCATION OF PLACEMENT WITH STRUCTURAL DRAWINGS AND CONFIRM WEIGHTS, DISCHARGE CONFIGURATION, SIZES, ELECTRICAL CHARACTERISTICS AND ANY OTHER DIMENSIONAL DATA WHICH MIGHT AFFECT THE SUCCESSFUL INSTALLATION OF THE MECHANICAL SYSTEM.
- FURNISH CLEARANCES AS PER MANUFACTURERS RECOMMENDATIONS.
- F&I EQUIPMENT IDENTIFICATION AS TO THE SPACE OR AREA SERVED.
- REFER TO ARCHITECTURAL DRAWINGS FOR ACCESS TO ROOF INSTALLED MECHANICAL EQUIPMENT.
- PRIOR TO PENETRATION AND/OR INSTALLATION OF ANY ROOF TOP EQUIPMENT, CONTRACTOR IS TO COORDINATE WITH LANDLORD ROOF MONITOR. ALL ROOF WORK TO BE PERFORMED BY LANDLORD ROOF MONITOR CONTRACTOR. CONTRACTOR SHALL COORDINATE WITH ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO COMMENCING WORK.
- FIELD COORDINATE SIZE AND PLACEMENT OF DRAIN LINES REQUIRED FOR ROOFTOP HEAT PUMPS, EVAPORATIVE COOLERS, FURNACES, HUMIDIFIERS, ETC., WITH PLUMBING CONTRACTOR TO ROUGH-IN.
- F&I VIBRATION ISOLATORS FOR ALL MECHANICAL EQUIPMENT SUPPORTED FROM STRUCTURE.
- NOTIFY GENERAL CONTRACTOR AND/OR ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROUGH-IN.
- ALL HVAC EQUIPMENT, INCLUDING EVAPORATIVE COOLERS, SHALL BE UL ETL AND/OR AGA LISTED.
- F&I ALL EXHAUST AIR DUCTS WITH BACKDRAFT DAMPER.
- F&I AN ELECTRICAL INTERLOCK FOR MAKE-UP AIR UNITS AND ASSOCIATED EXHAUST FANS AS REQUIRED. SEE SCHEDULES.

- KITCHEN HOOD AND EXHAUST DUCTWORK TO CONFORM TO NFPA-96 STANDARDS AND THE CURRENT MECHANICAL CODE FOR DOMESTIC AND SECTION 506 FOR COMMERCIAL KITCHENS.
- SLOPE ALL HORIZONTAL EXHAUST DUCTS AT 1/4" PER FOOT TOWARDS HOOD INTAKE.
- F&I CLEAN-OUT ACCESS PANELS AS SHOWN HAVING A FIRE RESISTIVE RATING EQUAL TO SHAFT ENCLOSURE.
- EXTERNAL WELD ALL JOINTS AND SEAMS OF ALL KITCHEN EXHAUST DUCTS.
- MECHANICAL CONTRACTOR TO COORDINATE EXACT KITCHEN HOOD OPENINGS WITH KITCHEN CONTRACTOR PRIOR TO ANY CONSTRUCTION.
- F&I FIRE DAMPERS AT ALL PENETRATIONS THROUGH FIRE RATED WALLS, CEILINGS AND FLOOR. FIRE DAMPER AND FIRE DAMPER INSTALLATION SHALL CONFORM TO LOCAL BUILDING AND MECHANICAL CODE REQUIREMENTS AND SMACNA STANDARDS. F&I WITH ACCESS DOOR AS REQUIRED.
- FLUE AND COMBUSTION AIR DUCTS PENETRATING ROOF STRUCTURE SHALL BE ENCLOSED IN ONE-HOUR SHAFT.
- ALL TEMPERATURE CONTROLS ARE TO BE TESTED, ADJUSTED AND CALIBRATED FOR PROPER OPERATION.
- MOUNT ALL THERMOSTATS AT 48" THROUGH 54" ABOVE FINISHED FLOOR. COORDINATE EXACT LOCATION AND MOUNTING HEIGHT WITH THE ARCHITECT/OWNER. F&I WITH LOCKING COVER AS REQUIRED BY THE ARCHITECT AND/OR OWNER. F&I WITH PROGRAMMABLE THERMOSTAT.
- INSTALL CLEANOUTS AT EVERY 90DEGREE TURN ON AIR CONDITIONING CONDENSATE DRAIN LINES.
- KEEP ALL FLUES, VENTS THROUGH ROOF AND EXHAUST DUCTS A MINIMUM OF 10'-0" FROM OUTSIDE AIR INTAKES OR WINDOWS AND FROM ALL VERTICAL PORTIONS OF THE BUILDING.
- ALL GAS VENTS SHALL BE UL LISTED TYPE "B" DOUBLE WALL AS MANUFACTURED BY "METALBESTOS" OR EQUIVALENT.
- COMBUSTION AIR DUCT OPENINGS TO BE COVERED WITH CORROSION RESISTANT SCREEN OF 1/4" MESH.
- CONTRACTOR SHALL BALANCE AIR DISTRIBUTION TO WITHIN 10% OF VALUES LISTED ON DRAWINGS. CONTRACTOR SHALL FURNISH TENANT WITH A COPY OF FINAL HVAC AIR TEST AND BALANCE REPORT FROM INDEPENDENT NEBB OR ABC CERTIFIED CONTRACTOR.
- LIGHTING LOCATIONS TAKE PRECEDENCE OVER DIFFUSER LOCATION. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO DIFFUSERS TO AVOID ANY CONFLICT WITH LIGHTING LAYOUT. EXACT PLACEMENT OF DIFFUSERS AND REGISTERS TO BE COORDINATED WITH ARCHITECT AND CONTRACTORS.
- UNDERCUT ALL DOORS TO ROOMS WHERE A SUPPLY DIFFUSER EXISTS BUT NO RETURN GRILLE IS PRESENT BY A MINIMUM OF 1". THIS WILL ALLOW FOR FREE MIGRATION OF RETURN AIR.
- COORDINATE OPENINGS FOR GRILLES, REGISTERS, DIFFUSERS, AND DUCTWORK WITH FRAMING CONTRACTOR PRIOR TO ROUGH-IN.
- F&I RADIUS ELBOWS, TURNING VANES, AND SPLITTER DAMPERS IN BRANCHES AND EXTRACTORS WHERE APPLICABLE. TURNING VANES SHALL BE INSTALLED IN ALL MITERED ELBOWS.
- INSULATE FIRST TEN FEET (10') OF DUCTWORK WITH 1" THICK INTERNAL ACOUSTICAL INSULATION. INSULATE ALL SUPPLY AND RETURN AIR DUCTWORK, ALL EXTERIOR DUCTWORK AND OTHER DUCTWORK NOT WITHIN THE ENVELOPE OF THE AIR CONDITIONED SPACE.
- NOTE: FLEXIBLE DUCTWORK NOT ALLOWED AT EXPOSED LOCATIONS.
- ALL DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS AND IN CONFORMANCE WITH REQUIREMENTS OF LOCAL BUILDING AND MECHANICAL CODES, WHERE MORE THAN ONE REGULATION OR CODE APPLIES. THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- FLEXIBLE DUCTWORK SHALL COMPLY WITH THE CLASS 1 REQUIREMENTS OF THE NFPA BULLETIN NO. 90A AND SHALL BE INSULATED WITH 1" FIBERGLASS, SUPPORTED BY HEAVILY WOUND STEEL WIRE WITH REINFORCED METALIZED OUTER JACKET RATED FOR USE IN PLENUMS. ATTACHMENT SHALL BE WITH WORM DRIVE CLAMPS. LENGTH SHALL NOT EXCEED 8'-0" F&I RIGID ROUND DUCTWORK FOR RUNS EXCEEDING 8'-0" IN TOTAL LENGTH.

NOTE: FLEXIBLE DUCTWORK NOT ALLOWED AT EXPOSED LOCATIONS.

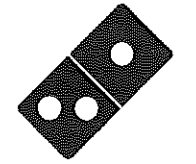
- TAPE ALL DUCT JOINTS WITH CANVAS AND ARABOL ADHESIVE.
- DUCTWORK CONSTRUCTION AND INSTALLATION INCLUDING SHEET METAL GAUGES, REINFORCEMENT, JOINT SEALING, AIR LEAKAGE AND DETAILS NOT SPECIFICALLY SHOWN ON DRAWINGS SHALL BE IN ACCORDANCE WITH THE CURRENT MECHANICAL CODE FOR LOW VELOCITY DUCT CONSTRUCTION STANDARDS.
- ALL DUCT DIMENSIONS SHOWN ARE CLEAR DIMENSIONS INSIDE DUCT LINER.
- TAKE-OFF FITTINGS SHALL BE BELL MOUTH SPIN-IN TYPE WITH QUADRANT DAMPER. F&I VOLUME DAMPER AT EACH AND EVERY SUPPLY AIR BRANCH DUCT TAKE-OFF.
- ABOVE CEILING DUCTWORK IS FABRICATED OF SHEET METAL. HANGERS SHALL BE INSTALLED AS REQUIRED BY THE CURRENT MECHANICAL CODE.
- MECHANICAL CONTRACTOR TO VERIFY THAT ALL DUCTWORK WILL FIT WHERE INDICATED WITHOUT INTERFERENCES.
- DUCTS SHALL CONFORM TO DIMENSIONS ON THE DRAWINGS UNLESS LOCATION OF STRUCTURAL MEMBERS PROHIBIT. IN CASE OF A CHANGE IN DIMENSIONS, CROSS SECTIONAL AREAS SHALL BE MAINTAINED, AND A MAXIMUM OF 1:4 RATIO FOR RECTANGULAR DUCTS SHALL ALSO BE MAINTAINED. DUCT SIZES SHOWN ARE CLEAR INSIDE DIMENSIONS.
NOTE: CONTRACTOR OPTION TO USE ROUND DUCT WITH THE SAME CUBIC INCH VOLUME.
- EXHAUST DUCTS SHALL BE 26 GAUGE GALVANIZED STEEL. SEE MECHANICAL EQUIPMENT SCHEDULE OR FLOOR PLAN FOR SIZES AND TERMINATION POINTS.
- ALL "FACTORY MADE" DUCTS MUST BE CLASS "D" OR CLASS "1".
- AIR CONDITIONING UNITS SERVING EVAPORATIVE COOLERS/MAKE-UP AIR UNITS SHALL BE FABRICATED FROM ALUMINUM SHEETS AND HAVE NO DUCT LINER.
- ALL PENETRATIONS THROUGH DRAFT-STOPS TO BE SEALED.
- FURNISH ALL LABOR, MATERIALS, TOOLS EQUIPMENT, TRANSPORTATION COSTS, PIGGING, FEES, PERMITS, CERTIFICATES OF INSPECTION, ETC., NECESSARY OR REASONABLE AS REQUIRED FOR THE COMPLETE INSTALLATION OF ALL AIR CONDITIONING WORK. THE WORK SHALL BE IN STRICT ACCORDANCE WITH ASHRAE GUIDE, AND ALL LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
- UPON COMPLETION AND TESTING OF AIR CONDITIONING EQUIPMENT, THE CONTRACTOR SHALL REPLACE ALL CONSTRUCTION AIR FILTERS WITH NEW FILTERS OF THE SIZE SPECIFIED BY THE MANUFACTURER.
- THE MECHANICAL CONTRACTOR SHALL ADEQUATELY SUPPORT, ERECT AND BALANCE ALL MATERIALS AND EQUIPMENT IN CONFORMANCE WITH LOCAL CODES AND HIGH STANDARDS OF CONSTRUCTION PRINCIPLES AND PRACTICES.
- THE CONTRACTOR SHALL DO ALL THE NECESSARY CUTTING OF WALLS AND CEILING, NO STRUCTURAL MEMBER SHALL BE CUT WITHOUT PERMISSION FROM THE ARCHITECT AND THE ENGINEER. PATCH AROUND ALL OPENINGS TO MATCH EXISTING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BRING ALL SURFACES FLOOR, WALLS AND CEILINGS) BACK TO ORIGINAL CONDITION AFTER MODIFICATIONS HAVE BEEN MADE.
- INSTALL A COMPLETE AND WORKING MECHANICAL SYSTEM IN STRICT ACCORDANCE WITH THE CURRENT MECHANICAL CODE AND SMACNA STANDARDS.
- COORDINATE EXACT LOCATION OF MECHANICAL EQUIPMENT, AIR DEVICES, PIPING, DUCTWORK, ETC., WITH PLUMBING, ELECTRICAL, STRUCTURAL, ARCHITECTURAL AND GENERAL CONTRACTORS DRAWINGS.
- WORKMANSHIP: ALL EQUIPMENT APPURTENANCES, DEVICES AND PIPING SHALL BE INSTALLED IN CONFORMANCE WITH THE PROVISIONS AND INTENT OF THE CURRENT MECHANICAL CODE.
- CONTRACTOR SHALL CHECK FOR PROPER OPERATION AND INSTALLATION, AND SHALL THOROUGHLY EXAMINE, CLEAN AND INSPECT ALL EXISTING EQUIPMENT PRIOR TO COMMENCING WORK. NOTIFY BUILDING OWNER OF ANY DYSFUNCTIONAL EQUIPMENT IMMEDIATELY.
- CONTRACTOR SHALL INSURE THAT ALL EXISTING MECHANICAL EQUIPMENT IS IN SATISFACTORY WORKING CONDITION SO HE MAY MAKE PROVISIONS IN HIS BID TO ACCOMMODATE ANY REPAIRS AND/OR REPLACEMENTS

REQUIRED.

- CONTRACTOR MAY, AT HIS DISCRETION, REUSE ANY/ALL EXISTING EQUIPMENT NOT SPECIFICALLY NOTED TO BE REMOVED OR ABANDONED AS LONG AS SUCH EQUIPMENT SATISFACTORILY MEETS THE DESIGN REQUIREMENTS SET FORTH IN THESE DOCUMENTS.
- SIZES SHOWN ON AIR DEVICES ARE MIN. SIZE REQUIRED. CONTRACTOR SHALL VERIFY ALL AIR DEVICE SIZES AND REPLACE WITH NEW SIZE AS NECESSARY. BALANCE ALL AIR DEVICES (TO CFM NOTED OR AS REQUIRED) TO FURNISH EVEN TEMPERATURES.
- VERIFY EXACT SIZE, LOCATION, ROUTING, ETC., OF ALL EXISTING MECHANICAL EQUIPMENT, DUCTWORK, AIR DEVICES, THERMOSTATS, SENSORS, PIPING, ETC., WHICH ARE TO BE REMOVED, REPLACED, ABANDONED, REWORKED, ETC., AS REQUIRED AND AS SHOWN ON DRAWINGS.
- ALL SA/VAGEABLE ITEMS SHALL BE RETURNED TO THE OWNER. MECHANICAL CONTRACTOR SHALL RETURN ALL HVAC EQUIPMENT NOTED TO BE REMOVED UNDER THIS CONTRACT TO BUILDING OWNER.
- PROJECT INVOLVES WORK IN AN EXISTING FACILITY. DRAWING IS DIAGRAMMATIC AND IS NOT INTENDED TO SHOW EVERY OFFSET AND FITTING. CONTRACTOR SHOULD BE AWARE THAT EXISTING CONDITIONS MAY CONFLICT WITH PLANS. DURING DEMOLITION/CONSTRUCTION WORK, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND BE PREPARED TO OFFSET OR REROUTE DUCTS WHERE NECESSARY.
- ALL PATCHING AND/OR REPAIRING OF THE EXISTING WALLS, FLOORS, CEILINGS, ETC., DAMAGED DUE TO REMOVAL OF EXISTING EQUIPMENT OR INSTALLATION OF NEW EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR.
- MECHANICAL CONTRACTOR TO VERIFY EXACT LOCATION, SIZE, AND CONDITION OF ALL EQUIPMENT, DUCTWORK, PIPING, ETC., PRIOR TO SUBMITTING A BID FOR DOING WORK ON THIS PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- BEFORE BEGINNING ANY CUTTING OR DEMOLITION WORK, CONTRACTOR SHALL CAREFULLY SURVEY EXISTING WORK AND EXAMINE ALL DRAWINGS TO DETERMINE EXTENT OF THE WORK. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE AGAINST DAMAGE DUE TO EXISTING WORK TO REMAIN IN PLACE. TO BE RE-USED, OR TO REMAIN PROPERTY OF THE OWNER, AND ANY DAMAGE TO SUCH WORK SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO OWNER. CONTRACTOR SHALL CAREFULLY COORDINATE WORK OF THIS SECTION WITH OTHER WORK AND CONSTRUCT AND MAINTAIN SHORING, BRACING, AND SUPPORTS AS REQUIRED.
- WHERE PIPING, DUCTWORK AND/OR EQUIPMENT IS TO BE REMOVED, REMOVE ALL ASSOCIATED HANGERS, SUPPORTS, INSULATION, ETC. VALVES SHALL REMAIN WHERE APPROPRIATE AND/OR ADDED WHERE REQUIRED.
- NEW HVAC EQUIPMENT AND AIR DEVICES ARE REQUIRED TO MATCH EXISTING. CONTRACTOR TO FIELD VERIFY MANUFACTURER AND MODEL NUMBER OF EXISTING HVAC EQUIPMENT AND EXISTING AIR DEVICES AND USE SAME TYPE FOR NEW AND RENOVATED CONSTRUCTION.
- CONTRACTOR MAY BE REQUIRED TO REPLACE EXISTING AIR DEVICE WITH NEW AIR DEVICE AS MAY BE REQUIRED BY DIFFERENT CEILING, DIFFERENT CFM REQUIREMENTS, DAMAGED AIR DEVICE, ETC.
- CONTRACTOR SHALL VERIFY IN FIELD THAT ALL EQUIPMENT, DUCTWORK, AIR DEVICES, ETC. FOR EACH SYSTEM SERVE THE SAME ZONE AND THAT ANY ONE SYSTEM DOES NOT SERVE MORE THAN ONE TENANT, WHERE A CONFLICT OCCURS, THE ARCHITECT SHALL BE PROMPTLY NOTIFIED AND HIS/HER DECISION SHALL BE FINAL.
- CONTRACTOR IS TO MAKE ARRANGEMENTS WITH ANY EXISTING TENANTS PRIOR TO CONSTRUCTION FOR ALLOWABLE CONSTRUCTION TIMES WITHIN THEIR SPACE.
- NEW EQUIPMENT AND AIR DEVICES ARE REQUIRED TO MATCH EXISTING. CONTRACTOR TO FIELD VERIFY MANUFACTURER AND MODEL NUMBER OF EXISTING EQUIPMENT AIR DEVICES AND USE SAME TYPE FOR NEW AND RENOVATED CONSTRUCTION.
- MANUFACTURERS AND MODEL NUMBERS LISTED ARE INTENDED TO ESTABLISH A MINIMUM QUALITY AND PERFORMANCE LEVEL. SUBSTITUTIONS WILL BE EVALUATED UPON REQUEST.
- ALL ROOF MOUNTED EQUIPMENT WITHIN 10 FT. OF THE ROOF LINE SHALL BE FULLY SCREENED BY PARAPET WALLS (OR APPROVED SCREENING) EQUAL TO OR GREATER THAN THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE PERMANENTLY MARKED IN AN APPROVED MANNER (SUNLIGHT RESISTANT) THAT UNIQUELY IDENTIFIES THE APPLIANCE AND THE AREA IT SERVES, AS REQUIRED BY THE CURRENT MECHANICAL CODE.
- HVAC SYSTEM SHOWN IS BASED ON PREVIOUS T.I. DRAWINGS AND NOT ACTUAL FIELD MEASUREMENTS OR AS-BUILT DRAWINGS.
- REMOVE ALL EXISTING HVAC DUCTWORK AND DIFFUSERS AND REPLACE WITH NEW AS SHOWN AND AS REQUIRED.



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Project No: 5331
Domino's Pizza Bakery Store
Pizza Theater Tenant Improvement
56 Main St., Lakeville, MA 02347
for S & L Pizza
711 Southbridge St.
Auburn, MA 02347

ISSUED FOR PERMIT:
02.04.2021

REV.	DATE	DESCRIPTION

SHEET NAME:
MECHANICAL
GENERAL NOTES AND
SPECIFICATIONS

SHEET NUMBER:
M6.0

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PLUMBING LEGEND

SYMBOL		ABBREVIATION	DESCRIPTION
EXISTING	NEW		
		ACD	AIR CONDITIONING CONDENSATE DRAIN
		CW	COLD WATER
		DHW	DOMESTIC HOT WATER (110°F)
		DHW (140)	DOMESTIC HOT WATER (140°F)
		DHWR	DOMESTIC HOT WATER RETURN
		G	NATURAL OR LIQUEFIED PETROLEUM GAS
		S	SANITARY
		S	SANITARY BELOW FLOOR/GRADE
		ST	STORM DRAIN
		V	VENT LINE
SYMBOL		ABBREVIATION	DESCRIPTION
EXISTING	NEW		
		POC	POINT OF CONNECT TO EXISTING
		UP / DOWN	PIPE UP / DOWN
		FS	FLOOR SINK
		FD	FLOOR DRAIN
			FIXTURE TRAP W/ VENT CONN.
		HB / WHT	HOSE BIBB / WALL HYDRANT
		SOV / BV / GV	SHUT-OFF, BALL OR GATE VALVE
		SOV	SHUT-OFF VALVE IN VALVE BOX
		WM	WATER METER IN BOX
		VTR	VENT THRU ROOF
		CO / FCO / GCO	CLEANOUT / FLOOR / GRADE
		CO / FCO / GCO	2-WAY CLEANOUT / FLOOR / GRADE
		WCO	WALL CLEANOUT
		POP	PUMP OUT PORT
			PIPE TRANSITION
			FLOW DIRECTION

ABBREVIATIONS

ABBREV.	DESCRIPTION
A/C	ABOVE CEILING
A/G	ABOVE GRADE
ACD	CONDENSATE DRAIN
AFF	ABOVE FINISHED FLOOR
B/F	BELOW FLOOR
B/G	BELOW GRADE
BP	BACKFLOW PREVENTER
COTG	CLEANOUT TO GRADE
CW	DOMESTIC COLD WATER
DHW	DOMESTIC HOT WATER
DHWR	DOMESTIC HOT WATER RETURN
DJ	DRAINAGE FIXTURE UNITS
F&I	FURNISH AND INSTALL
FCO	FLOOR CLEANOUT
FF	FINISHED FLOOR
GC	GAS COCK
GPM	GALLONS PER MINUTE
MPG	MEDIUM PRESSURE GAS PIPING
PRV	PRESSURE RELIEF VALVE
RD	ROOF DRAIN
RWL	RAIN WATER LEADER
SD	STORM DRAIN
UNOT	UNLESS OTHERWISE NOTED
VTR	VENT THRU ROOF
WCO	WALL CLEANOUT
WJ	POTABLE WATER FIXTURE UNITS

NATURAL GAS DOMESTIC HOT WATER HEATER SCHEDULE

MARK	MAKE	MODEL NO.	GAS (MBH)		FLOW RATE		EFF (%)	WATER TEMP (°F)		CONNECTION SIZES (IN)										REMARKS				
			INPUT	OUTPUT	MIN (GPM)	MAX (GPM)		EWT	LWT	STOP	CW	HW	GAS	COND DRAIN	FLUE	COM B BAR	VIPIH 1/2	NORMAL	STANDBY		FREEZE PROT.	MAX CURRENT	FUSE	OPER WEIGHT (LBS)
MH-1	RINNAI	RUR1991(REU-NP3237F-US)	199	195	0.25	3.8	98%	40	140	---	3/4	3/4	3/4	3/4	4	4	120/160	205 W	3 W	150 W	8 AMPS	10 AMPS	73	NOTES 1,2,3,4&5

NOTES:
 1 F&I WITH FORCED AIR COMBUSTION UNIT, 12 V DC TEMPERATURE CONTROLLER, MC-91-2US CONTROLLER, 3 WATT ANTI-FROST PROTECTION, PE-X CONCENTRIC 4" VENT KIT. UNIT ACTIVATION FLOW RATE 0.4 GPM. HEATER TO BE CONFIGURED FOR CROSSOVER RECIRCULATION OPERATION.
 2 BASED UPON AN ENERGY FACTOR FOR NATURAL GAS = 0.85. UNIT TO CONFORM TO DOE 10 CFR PART 430.
 3 USE FEMALE UNF-THREADED, SOCKETED ENDS, LONG TURN (SWEPT) ELBOWS FOR ALL CHANGES IN FLUE PIPE & COMBUSTION AIR PIPE DIRECTION CHANGES. F&I WITH FACTORY CONDENSATE NEUTRALIZER SIZED FOR UNIT.
 4 USE UBBINK POLYPROPYLENE CONCENTRIC VENT, TWIN PIPE PVC / CPVC PIPING SYSTEM OR CENTRO THERM POLYPROPYLENE TWIN PIPE ADAPTOR KIT.
 5 BUILT-IN RECIRCULATION PUMP.

PLUMBING FIXTURES SCHEDULE

FIXTURE	DESIGNATION	MFR. AND MODEL NUMBER	FITTING AND CAPACITY	ACCESSORIES/REMARKS	COLD WATER	HOT WATER	WASTE	VENT SIZE
KITCHEN SINK	KS-1	AERO 3 COMPARTMENT SINK, 91.5"W X 27"D X 40"H, INCLUDING 7" BACKSPASH, 14 GAUGE SS SINK MODEL# 2F3-2116-18LR, BOWL SIZE 16"W X 21"D X 14"D. UNIT DRILLED FOR FAUCET 8" O.C. AND CONFIGURED FOR LEFT SIDE DISHWASHER MOUNTING.	F&I AMERICAN STANDARD 4298.152 FAUCET W/AERATOR, ECONOMY SPRAYER, WALL BRACKET & ADD-ON FAUCET	F&I W/ DEARBORN 3785A STRAINER, WASTE LEVER; BRASS CRAFT SC4R19-Z LOOSE KEY ANGLE STOPS; E29 AERATOR. SEE NOTE 2.	3/4"	3/4"	2"	1 1/2"
MOP SINK	MS-1	MUSTEE 63P	ROUGH CHROME FINISHED FAUCET W/WALL BRACKET AND 30 INCH HOSE.	F&I W/VACUUM BREAKER, 3/4" HOSE CONNECTION ON SPOUT/OUTLET AND MOP HANGER. SEE NOTE 2.	3/4"	3/4"	3"	2"
HAND SINK	HS-1&2	AERO SS HAND SINK MODEL# HSF2S W/BACKSPASH AND SPLASH GUARDS ON BOTH SIDES.	FAUCET TO BE CHROME FINISHED W/KNEE CONTROLS AND AERATOR.	CW & DHW WATER HAMMER ARRESTERS; BRASS CRAFT SC4R19-Z LOOSE KEY ANGLE STOPS AND E29 AERATOR; RISER TAILPIECE AND P-TRAP & ARM W/CLEANOUT AND ESCUTCHEON. SEE NOTES 1 & 2.	1/2"	1/2"	2"	1 1/2"
WATER CLOSET	WC-1	ZURN Z5555-K, FLOOR MOUNTED, ADA COMPLIANT, ELONGATED BOWL, SIPHON JET WATER CLOSET.	FLUSH TANK, 1.28GAL PER FLUSH	CHURCH SEAT 9500C, FRONT OPEN SEAT AND BRASS CRAFT SC4R19-Z LOOSE KEY ANGLE STOPS. SEE NOTE 2.	1/2"	---	3"	2"
LAVATORY	LV-1	VITROUS CHINA, ADA COMPLIANT LAVATORY WITH 4" CENTERS. ZURN MODEL # Z5340	ZURN Z81104-XL-3M FAUCET ON 4" CENTERS W/4" WRIST BLADES	SEE NOTES 1, 2, 3 & 4.	1/2"	1/2"	1 1/4"	1 1/4"
FLOOR SINK	FS-1	ZURN FD-1749	FOR FINISHED FLOOR AREA	12" SQ TOP X 4" DEEP. SEE NOTES 6 & 7	---	---	2"	1 1/2"
FLOOR DRAIN	FD-1	ZURN FD1-B-FS FLOOR DRAIN WITH 5" ROUND POLISHED BRASS TOP & ABS BODY.	FOR FINISHED FLOOR AREA	F&I WITH OR ASSE 1072 APPROVED TRAP SEAL. SEE NOTES 5 & 6 (2" THROUGH 4").	---	---	2"	1 1/2"
GREASE INTERCEPTOR	GI-1	SCHIER GB-2	50 GPM 127 LBS CAPACITY	INTEGRATED FLOW CONTROL DEVICE AND PUMPOUT PORT.	---	---	3"	---
CLOTHES WASHER BOX	CWB-1	GUY GRAY #GB-200	F&I WITH CW & DHW WATER HAMMER ARRESTER	QUARTER TURN 3" SWEAT VALVES, STANDPIPE TO BE A MAXIMUM OF 30".	3/4"	3/4"	2"	1 1/2"

- NOTES:
 1. F&I W/ 1/2" WATTS LFMMV--M1 TEMPERATURE MIXING VALVE SET AT 110°F OUTPUT.
 2. SHUT-OFF VALVES ON UPSTREAM SIDE OF CW & DHW LINES ABOVE CEILING.
 3. BRASS CRAFT SC4R19-Z LOOSE KEY ANGLE STOPS W/FLEXIBLE SUPPLIES; Z8700 P-TRAP & Z8746-PC GRID STRAINER.
 4. Z8946-3-NT ADA TRAP AND ARM W/CLEANOUT AND ESCUTCHEON; AND STOP & SUPPLY PROTECTORS FOR OFFSET GRID STRAINER.
 5. 5" ROUND TOP, WITH CLAMPING COLLAR, ADJUSTABLE NICKEL BRONZE STRAINER ASSEMBLY, Z1012-FC DEEP-SEAL TRAP ADJUSTABLE C.I. FLOOR CLEANOUT & PLUG, AND ASSE 1072 APPROVED TRAP SEAL.
 6. MODEL P2400X GREEN DRAIN WATERLESS TRAP SEAL.
 7. WITH ACID RESISTANT BODY, NICKEL BRONZE DOME STRAINER; CLAMPING COLLAR; AND NON-TILT LOOSE GRATE WITH 1/2" SQUARE OPENINGS. 1/2 OR 3/4 GRATE AS REQUIRED BY SIZE AND NUMBER OF PIPES DISCHARGING TO UNIT.

WATER PRESSURE CALCULATION

ASSUMED AVAILABLE STATIC PRESSURE	65.0 PSI
PRESSURE DROP THRU METER	6.0 PSI
PRESSURE DROP @ BACKFLOW PREVENTER	10.0 PSI
AVAILABLE PRESS. ON HOUSE SIDE OF METER	49.0 PSI
ESTIMATED PIPE LENGTH -- METER TO BLDG WALL	5 FT
EQUIV. LENGTH -- METER TO BUILDING WALL	6 FT
P.D. -- METER TO BUILDING WALL @ 6 PSIG/100 FT	0.3 PSI
PRESSURE AVAILABLE AT BUILDING WALL	48.7 PSI
PSI REQ. AT END OF THE LINE	20.0 PSI
PRESS. DROP @ THROUGH WATER HEATER	3.0 PSI
PRESS. DROP DUE TO PIPE ELEVATION CHANGES	4.3 PSI
REMAINING PRESSURE	21.3 PSI
SYSTEM LENGTH	140 FT
EQUIVALENT PIPE LENGTH	231 FT
ALLOWABLE LOSS/100FT OF PIPE: REMAINING PRESS. X 100/EQ. LENGTH OF PIPE	9.24 PSI

FIXTURE UNITS DOMESTIC WATER

FIXTURES	AMNT.	INDIVIDUAL FIXTURE UNITS		CUMMULATIVE FIXTURE UNITS		
		TOT CW	DHW PER FIXT	CW MAIN	CW	DHW
LAVATORY (LV-X)	1	2.0	1.50	2.00	1.50	1.50
MOP SINK (MS-1)	1	3.0	2.25	3.00	2.25	2.25
HAND SINK (HS-X)	2	2.0	1.50	4.00	3.00	3.00
WATER CLOSET (WC-X)	1	2.0	2.00	2.00	2.00	---
CLOTHES WASHER BOX (CWB-1)	1	3.0	2.25	3.00	2.25	2.25
KITCHEN (KS-1)	1	4.0	3.00	4.00	3.00	3.00
TOTAL				18.00	14.00	12.00
GPM				18.8	17.0	16.0

NOTES AND FIELD CONDITIONS:

- CONTRACTOR TO FIELD VERIFY SIZE AND LOCATION OF (E) CW PIPE TO BE AS INDICATED THESE DRAWINGS.
- CONTRACTOR TO FIELD VERIFY AVAILABLE PRESSURE AT THE POINT OF CONNECTION (POC) TO THE CW SERVICE. POC TO CW PIPE TO BE AS INDICATED IN THESE PLANS AT THE BUILDING WALL.
- CONTRACTOR SHALL VERIFY ACTUAL WATER PRESSURE AND PIPE LENGTHS PRIOR TO CONSTRUCTION. IF PRESSURE IS LESS THAN OR ACTUAL PIPE LENGTH IS MORE THAN LISTED ABOVE, CONTRACTOR SHALL CONTACT THE ENGINEER FOR PIPE SIZING EVALUATION. IF PRESSURE EXCEEDS 80 PSI, F&I A PRESSURE REDUCING VALVE.

POTABLE WATER PIPE SIZING

PIPE SIZE (IN)	FLUSH TANK F.U.	FLUSH VALVE F.U.	FLOW (GPM)
1/2	1.2	---	3.3
3/4	4.9	---	9.3
1	12	---	16
1 1/4	29	8	23
1 1/2	60	16	32
2	250	180	58

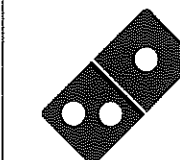
GENERAL NOTES:

- ALL PLUMBING FIXTURES SHALL BE LABELED AS MEETING EPA WATER SENSE (WWW.EPA.GOV/WATERSENSE).
- LOCATION OF PLUMBING FIXTURES SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS.
- BEFORE SUBMITTING BID, THE PLUMBING CONTRACTOR SHALL REVIEW THE ARCHITECTURAL DRAWINGS AND INCLUDE IN HIS BID AN AMOUNT TO FURNISH AND INSTALL ANY FIXTURES WHICH ARE SHOWN IN ADDITION TO FIXTURES SHOWN ON THE PLUMBING DRAWINGS.
- CONTRACTOR SHALL VERIFY AND COORDINATE LOCATION OF ALL PLUMBING LINES WITH DUCTWORK AND ELECTRICAL SERVICES.
- THE INSTALLATION OF ALL VALVES, UNIONS, THERMOMETERS, GAUGES, OR OTHER INDICATING OR RECORDING EQUIPMENT, OR SPECIALTIES REQUIRING FREQUENT READING, REPAIRS, ADJUSTMENT, INSPECTION, REMOVAL OR REPLACEMENT SHALL BE CONVENIENTLY AND ACCESSIBLY LOCATED WITH REFERENCE TO THE FINISHED BUILDING.
- WHERE POSSIBLE, COMBINE PLUMBING VENTS TOGETHER SO AS TO MAKE THE MINIMUM NUMBER OF ROOF PENETRATIONS.
- WATER CLOSETS IN PUBLIC TOILET ROOMS SHALL CENTER ON THE FINAL LAYOUT OF TOILET PARTITIONS AND BE INSTALLED AS INDICATED IN THE ARCHITECTURAL DRAWINGS.
- ALL FLUE VENTS AND VTRS THROUGH ROOF SHALL BE A MINIMUM OF 10' FROM ALL AIR INTAKES AND EVAP. COOLERS.
- CONTRACTOR SHALL NOT CUT HOLES IN STRUCTURAL MEMBERS WITHOUT FIRST SECURING WRITTEN APPROVAL FROM ARCHITECT.
- CONTRACTOR SHALL INSTALL DIELECTRIC UNIONS AT CONNECTION OF DISSIMILAR METALS.
- CONTRACTOR SHALL ROUGH-IN ALL WASTE AND SUPPLIES TO SPECIAL EQUIP. ACCORDING TO MANUFACTURERS SHOP DRAWINGS AND MAKE FINAL CONNECTIONS. ALL SUPPLIES SHALL BE VALVED.
- COPPER POTABLE WATER PIPING VELOCITY: FOR PIPE SIZES < 2 1/2" PIPE VELOCITY SHALL NOT TO EXCEED 5 FPS.
- CONTRACTOR SHALL VERIFY INVERT ELEVATION OF SEWERS TO WHICH NEW WASTE LINES ARE TO BE CONNECTED PRIOR TO MAKING UP OR INSTALLING ANY OF THE NEW SANITARY SYSTEM.
- FLASHED AND COUNTERFLASH ALL VTRS, PIPES AND FLUES THRU ROOF. MAKE PENETRATIONS WATER TIGHT.

FIELD VERIFICATION NOTES:

- THE PLUMBING CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO FIELD VERIFY ALL EXISTING CONDITIONS WHICH MAY AFFECT HIS BID. THE FOLLOWING ITEMS SHALL BE VERIFIED.
 - PLACEMENT SIZE CAPACITY MANUFACTURER AND CONDITION OF ALL EXISTING PLUMBING EQUIPMENT WITHIN SCOPE OF WORK, WHETHER SPECIFICALLY SHOWN OR NOT.
 - SIZE AND LOCATION OF ALL EXISTING WASTE, GREASE WASTE, VENT, GAS AND WATER PIPING.
- ALL REFERENCES IN THESE DRAWINGS TO EXISTING EQUIPMENT, FIXTURES AND PIPING TO BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING THE BID. THE BID SHALL INCLUDE ANY AND ALL AMOUNTS REQUIRED TO ACCOMMODATE EXISTING CONDITIONS.
- NO ALLOWANCES WILL BE MADE AFTER THE PROJECT HAS BEEN AWARDED FOR FAILURE TO VERIFY EXISTING CONDITIONS.
- ANY DISCREPANCIES WHICH MAY AFFECT THE CONTRACTOR BID SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND ARCHITECT FOR DIRECTION.
- PLUMBING ROUTINGS BASED ON OWNER'S SCHEMATICS OF LOCATION OF EXISTING FIXTURES AND SHELL DRAWINGS. CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ACTUAL LOCATION OF SUPPLY LINES AND MAKING APPROPRIATE ADJUSTMENTS TO ACTUAL CONDITIONS IN THE FIELD.
- CONTRACTOR SHALL VERIFY INVERT ELEVATION OF SEWERS TO WHICH NEW SANITARY LINES ARE TO BE CONNECTED BEFORE SUBMITTING THE BID.
- PRIOR TO CONSTRUCTION VERIFY THE LOCATION OF THE HVAC/WALK-IN CONDENSATE FLOOR SINK. IF SLOPE AND DISTANCE OR IF IT IS INFEASIBLE TO DISPOSE OF WALK-IN COOLER CONDENSATE. USE A CONDENSATE PUMP.

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Project No: 5331
 Domino's Pizza Bakery Store
 Pizza Theater Tenant Improvement
 56 Main St., Lakeville, MA 02347
 for S & L Pizza
 711 Southbridge St.
 Auburn, MA 02347

ISSUED FOR PERMIT:
 02.09.2021

REV. DATE	DESCRIPTION

SHEET NAME:
 PLUMBING LEGEND,
 CALCULATIONS
 AND SCHEDULES

SHEET NUMBER:
P1.0

617.642.7994

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PRIOR TO THE COMMENCEMENT OF WORK, CONTRACTOR TO COORDINATE THE WORK REPRESENTED IN THIS SET OF DOCUMENTS WITH ALL TRADES. CONTRACTOR TO FIELD VERIFY CONDITION, LOCATION, SIZE, CAPACITY AND FLOW DIRECTION OF EXISTING SYSTEMS AND COMPONENTS BEING INCORPORATED INTO THE SYSTEMS AS INDICATED IN THESE DOCUMENTS.

ALL PIPE PENETRATIONS THROUGH BURIED STRUCTURAL ELEMENTS SHALL HAVE A PIPE SLEEVE AND SHALL BE MADE WATERTIGHT WITH A MODULAR SEAL SUCH AS LINKSEAL.

UNLESS OTHERWISE NOTED, ALL EQUIPMENT, MATERIAL AND SYSTEM COMPONENTS CONTAINED OR REFERED TO BY THESE DOCUMENTS ARE TO BE CONSIDERED AS NEW TO BE FURNISHED AND INSTALLED (F&I) AS THUS.

SEE SHEETS P1.0, P5.0 AND MECHANICAL & ARCHITECTURAL DOCUMENTS FOR FURTHER REQUIREMENTS.

FOR PIPE SIZES NOT INDICATED, SEE PLUMBING FIXTURE SCHEDULE ON P1.0.

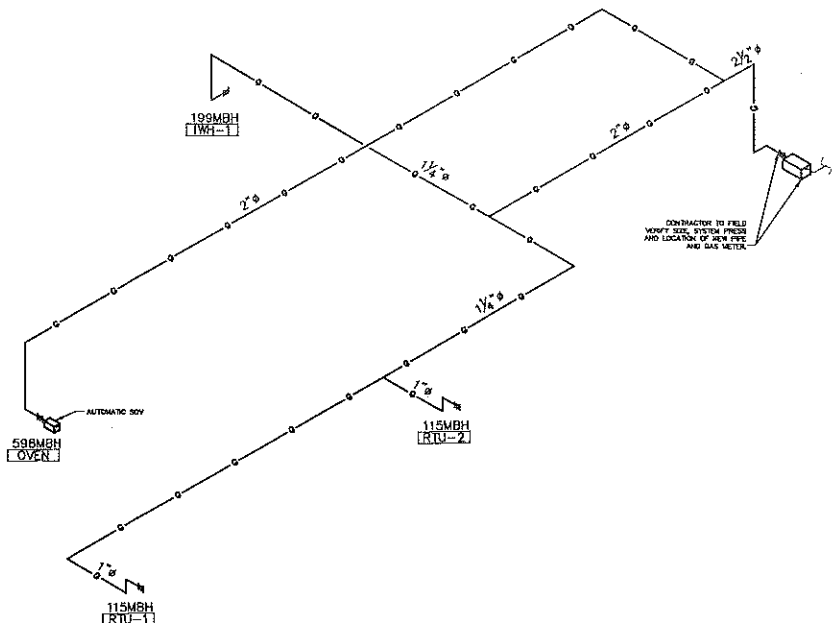
FOR DOMESTIC WATER SYSTEMS ONLY, PEX PIPING IS AN ACCEPTABLE SUBSTITUTION FOR COPPER TUBING UNLESS OTHERWISE NOTED.

LOW PRESSURE NATURAL GAS CALCULATION

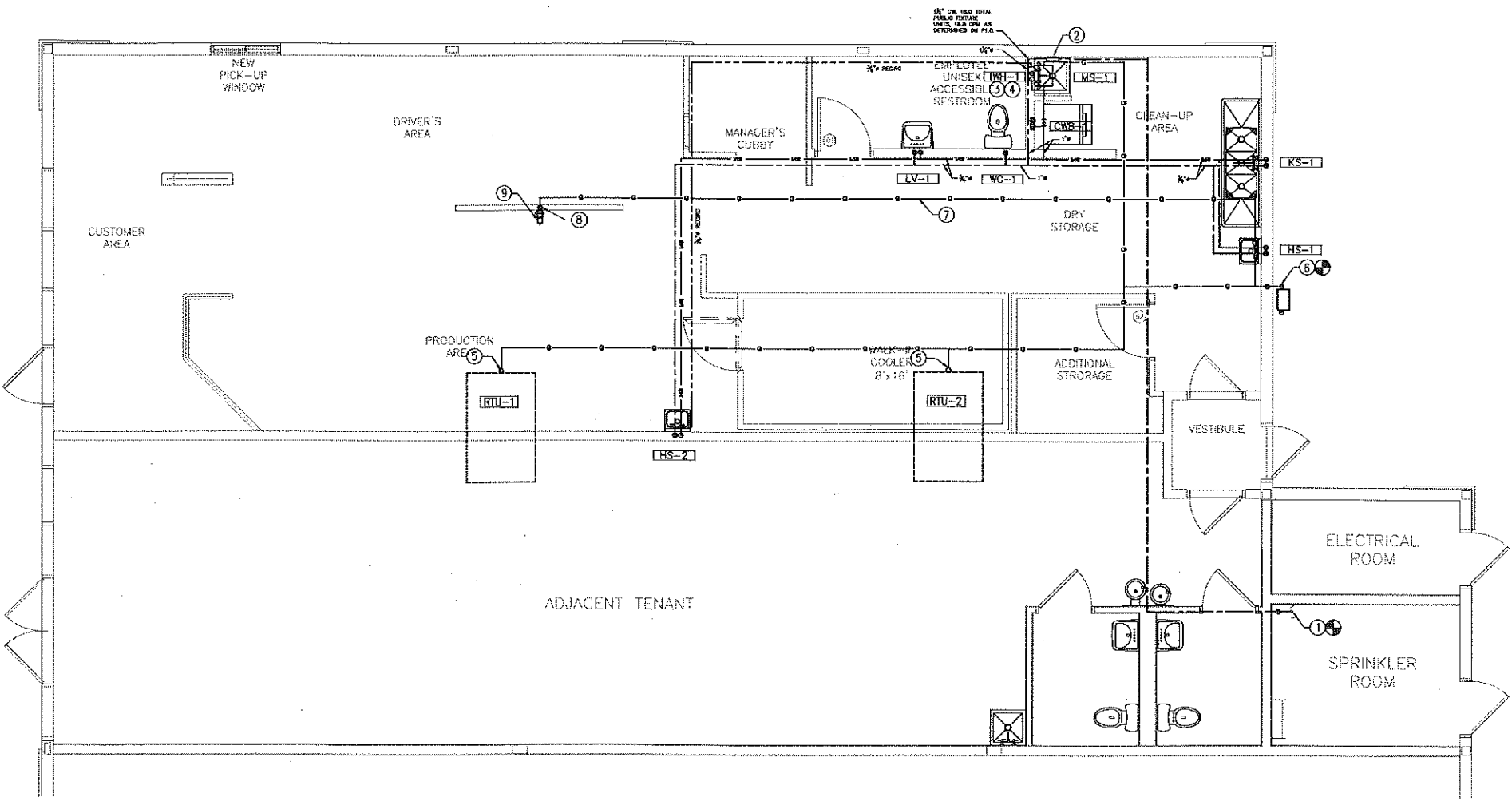
APPLIANCES	PIPE LENGTH (FT)	DEMAND (MBH)
WH-1		199
OVEN		598
RTU-1		115
RTU-2		115
TOTAL		1027
PIPE LENGTH FROM DEMISING WALL TO METER/PRV ASSEMBLY	15	
PIPE FITTINGS EQUIV. LENGTH FROM BLDG TO METER/PRV	23	
LENGTH OF PIPE IN TENANT SPACE	56	
EQUIV. LENGTH OF PIPE IN OR ON THE BUILDING	84	
TOTAL EQUIVALENT SYSTEM PIPE LENGTH	107	

- NOTES:**
- PIPE SIZING BASED ON 2018 IFGC, TABLE 402.4(1) PIPE SIZING FOR PRESSURE LESS THAN 2 PSI, PRESSURE DROP OF 0.3" W.C. AND SPECIFIC GRAVITY OF 0.60.
 - CONTRACTOR SHALL VERIFY ACTUAL GAS PRESSURE AVAILABLE, PIPE LENGTHS, METER/PRV ASSEMBLY SIZE AND LOCATION PRIOR TO CONSTRUCTION. IF PRESSURE IS LESS THAN LISTED ABOVE, ACTUAL PIPE LENGTH IS MORE THAN LISTED ABOVE, CONTRACTOR SHALL CONTACT THE ENGINEER FOR PIPE SIZING EVALUATION. COORDINATE WITH LOCAL UTILITY.

GENERAL GAS PIPING NOTES:
 A. F&I UNIONS AT ALL VALVES AND DEVICES.



NATURAL GAS SCHEMATIC DIAGRAM
 NO SCALE



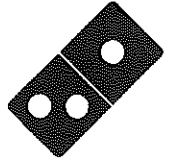
POTABLE WATER & GAS PLUMBING PLAN
 SCALE: 1/4" = 1'-0"

KEYED NOTES:

- ROUTE COLD WATER PIPING TO CONNECT TO NEW SERVICE WATER PIPING. FIELD VERIFY SIZE, LENGTH OF RUN FROM BUILDING WALL TO METER/PRV ASSEMBLY, CAPACITY, WATER PRESSURE AND LOCATION OF THE METER/PRV ASSEMBLY AND PIPE. ESTIMATED LENGTH OF PIPE FROM THE BUILDING WALL TO THE METER/PRV ASSEMBLY IS SHOWN IN CALCULATIONS ON SHEET P1.0. F&I NEW METER AS REQUIRED.
- F&I WATTS LF009 BACKFLOW PREVENTER ABOVE MOP SINK. ROUTE RELIEF PIPE TO DISCHARGE ABOVE TO MOP SINK WITH 1" AIR GAP.
- ALL DHW AND 8 FEET OF CW PIPING CONNECTED TO THE WATER HEATER SHALL BE INSULATED WITH 1" THICK INSULATION. INSULATION TO HAVE AN "R" RATING OF R=4.2 FOR PIPE SIZES < 1 1/4". PIPE SIZES > 1" SHALL BE INSULATED WITH 1-1/2" THICK INSULATION HAVING AN "R" RATING NOT LESS THAN R=6.
- SEE MECHANICAL SHEETS FOR VENT & COMBUSTION AIR.
- GAS PIPE UP THRU ROOF. CONNECT TO UNIT ON ROOF. RUN GAS BACK TO GAS METER. SEE GAS PIPING SCHEMATIC DIAGRAM.
- RUN NEW GAS LINE BACK TO NEW GAS METER/PRV ASSEMBLY (METER BANK). FIELD VERIFY SIZE, LENGTH OF RUN FROM THIS POINT TO METER/PRV ASSEMBLY; PIPE AND METER/PRV ASSEMBLY CAPACITY; GAS PRESSURE INLET AND OUTLET OF GAS METER/PRV ASSEMBLY; AND LOCATION OF THE METER AND PIPE. ESTIMATED LENGTH OF PIPE FROM THIS POINT TO METER/PRV ASSEMBLY IS SHOWN IN CALCULATIONS ON SHEET P1.0. CONNECT TO NEW AND/OR EXISTING METER/PRV ASSEMBLY.
- OVEN DEDICATED GAS LINE.
- GAS LINE TO DROP DOWN TO OVEN MANFOLD.
- AUTOMATIC SHUT OFF VALVE TO CUT GAS SUPPLY TO OVEN WHEN HOOD FIRE PROTECTION SYSTEM ACTIVATES.



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SHEET NAME:
 POTABLE WATER & GAS PLUMBING PLAN

SHEET NUMBER:
 P2.0

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SEE SHEETS P1.0, P5.0 AND MECHANICAL & ARCHITECTURAL DOCUMENTS FOR FURTHER REQUIREMENTS.

FOR PIPE SIZES NOT INDICATED, SEE PLUMBING FIXTURE SCHEDULE ON P1.0.

SANITARY SEWER FIXTURE UNITS

FIXTURES	AMT.	DRY U. CA.	DIS-TOTAL (DWU)
LAVATORY (LV-1)	1	1	1
MOP SINK (MS-1)	1	2	2
HAND SINK (HS-1,2)	2	2	4
WATER CLOSET (WC-1)	1	4	4
KITCHEN SINK (KT-1)	1	5	5
FLOOR SINK (FS-2)	1	2	2
FLOOR DRAIN (FD-1)	1	2	2
CLOTHES WASHER BOX (CWB-1)	1	2	2
TOTALS	9	22	

KEYED NOTES:

1. ACD PIPE DOWN FROM EQUIPMENT ON ROOF.
2. 3/4" ACD PIPE TYPICAL U.O.N.
3. 1" ACD PIPE.
4. TERMINATE ACD PIPE OVER FS-2 WITH A MINIMUM AIR GAP OF 2X THE DIAMETER DRAINING PIPE.
5. ROUTE GREASE PIPING TO CONNECT TO EXISTING GREASE MAIN TO EXISTING EXTERIOR GRAVITY GREASE INTERCEPTOR. VERIFY EXACT LOCATION.
6. ROUTE SANITARY PIPING TO CONNECT TO EXISTING SANITARY MAIN. VERIFY EXACT LOCATION.
7. GREASE INTERCEPTOR 2" VENT LINE. NOT TO BE FLAT VENTED.
8. W.C. F&I ON HOUSE SIDE OF WALL.
9. KITCHEN 3-COMP SINK GREASE LINE TO DISCHARGE DIRECTLY TO THE GREASE TRAP.
10. 2 1/2" VENT UP THRU ROOF TO 4" VTR. MAINTAIN MINIMUM 10'-0" FROM OUTSIDE AIR INTAKES.
11. GREASE INTERCEPTOR. SEE SHEETS P1 & P4

GREASE INTERCEPTOR CALCULATIONS

Reviewed by: Andy

Reference No. 24059

Project Name: Domino's - Lakeville, MA (5331)

Step 1: Flow rate to grease interceptor

Fixture flow rate: (cu in / 2.31) = gal x 0.75 / 2 min = 2 min flow rate

NAME	TYPE	DIMENSIONS	QTY	UOM	FLOW RATE
3 Comp	3 Compartment Sink	21" x 16" x 14" (3)	1	14,112	22.91 GPM

Total 22.91 GPM

Step 2: Grease Production

Servings per day x Grease production value x Days between pump-outs = Grease output

Number of meals served per day: 300

Grease production value: 0.005 lbs per serving (Pizza Carryout: Low / No flatware)

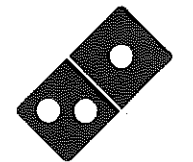
Days between pump-outs: 90 days

300 x 0.005 x 90 = 135 lbs of FOG

SCHIER MODEL	Description: Polyethylene Grease Interceptor
GB2	Dimensions: Length: 35", Width: 23", Height: 13.75" Flow Rates/Grease Capacities: 35 GPM / 130.5 lbs Liquid Capacity: 20 gal



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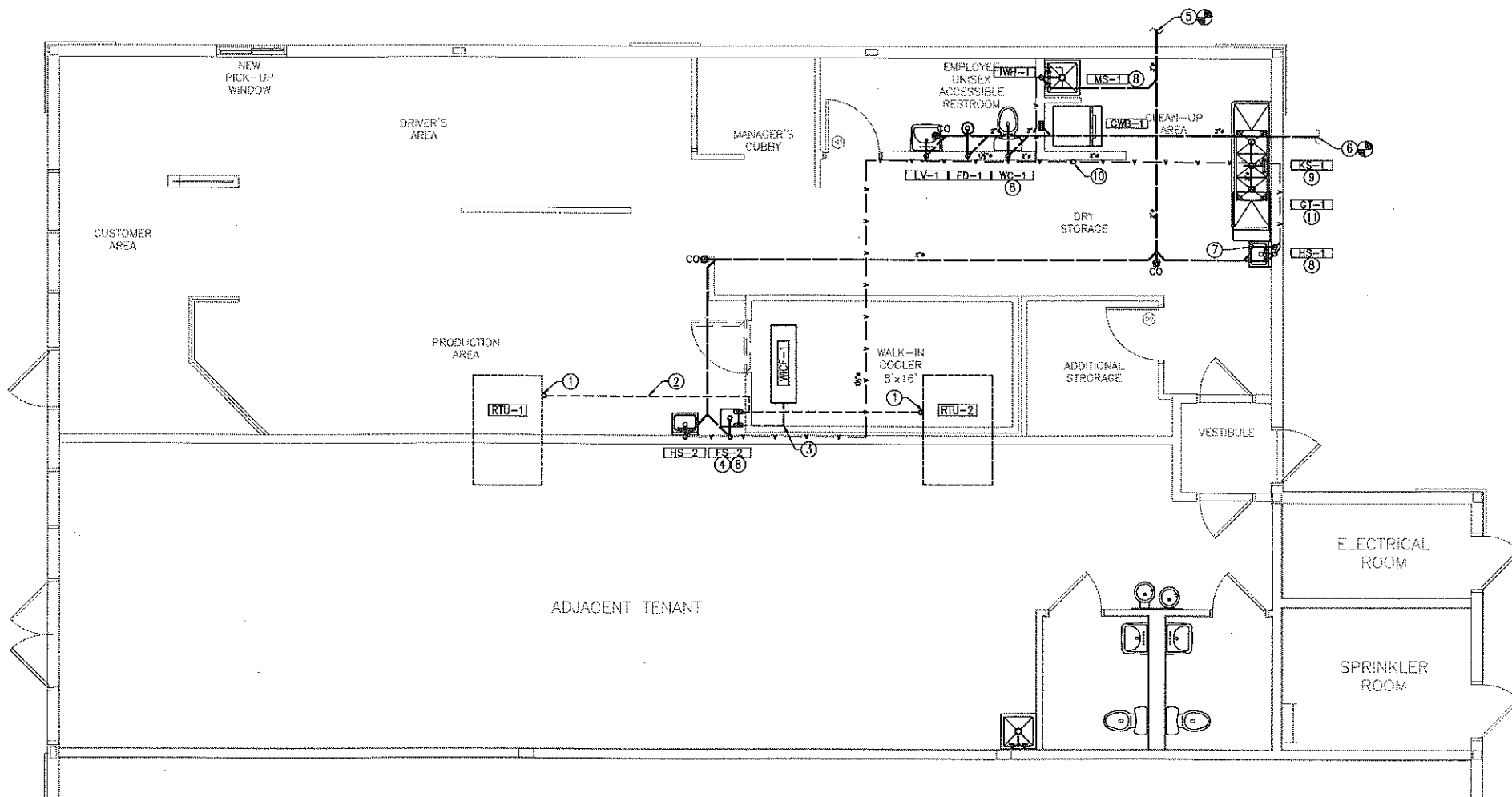
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SANITARY SEWER PLUMBING PLAN

SHEET NUMBER:

P2.1

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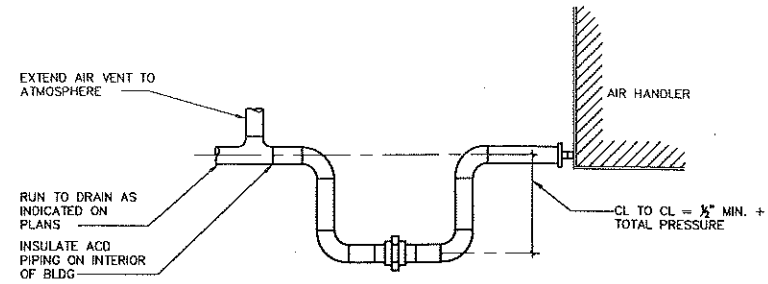


SANITARY SEWER PLUMBING FLOOR PLAN

SCALE: 1/4" = 1'-0"

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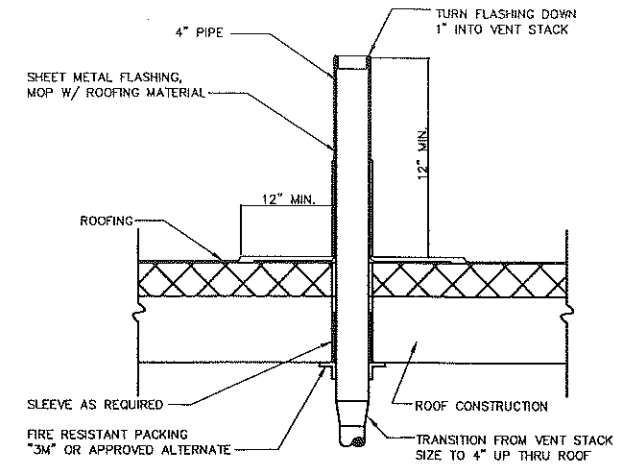
THE DETAILS ON THIS SHEET ARE STANDARD DETAILS. NOT ALL DETAILS MAY BE RELEVANT TO THIS PROJECT.



NOTE: DRAIN PIPING TO BE MINIMUM UNIT CONNECTION SIZE. LARGER UNITS (+20 TONS) DRAIN PIPING (1) SIZE AS NOTED ON PLANS.

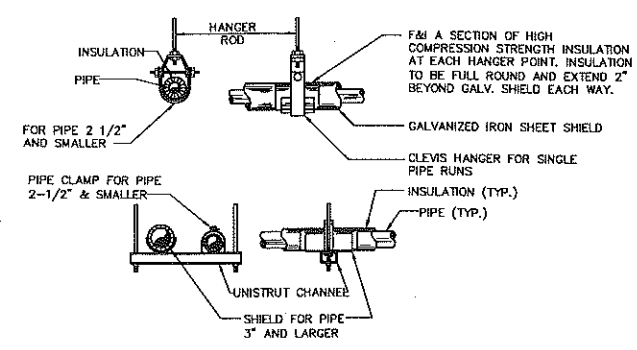
CONDENSATE TRAP DETAIL

NO SCALE



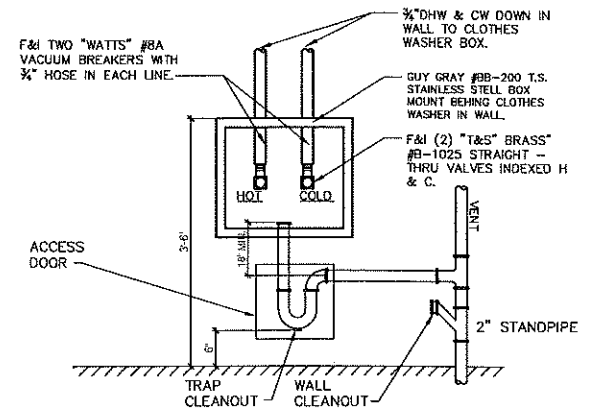
TYPICAL VENT THRU ROOF DETAIL

NO SCALE



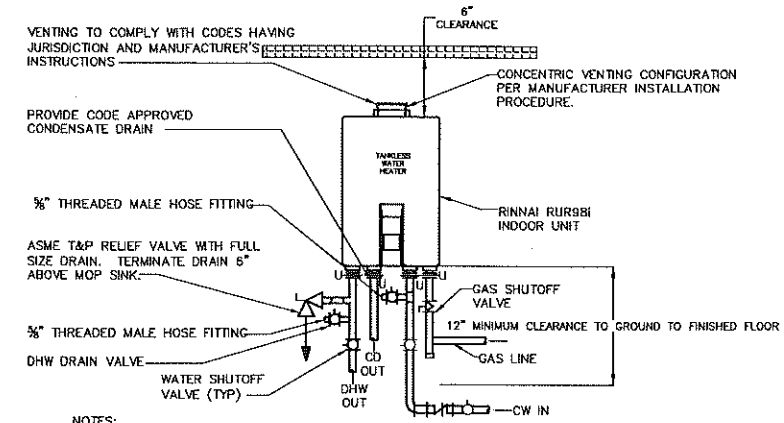
TYPICAL WATER, DRAIN, WASTE AND VENT PIPE SUPPORT DETAIL

NO SCALE



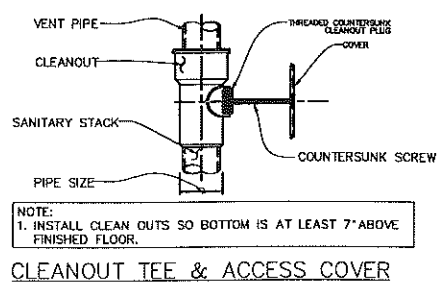
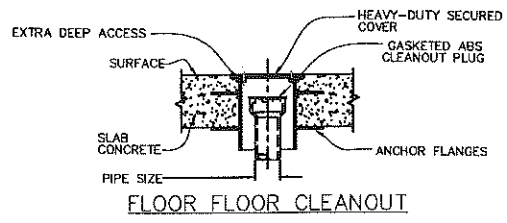
CLOTHES WASHER BOX CONNECTION DETAIL

NO SCALE



INSTANT DOMESTIC WATER HEATER DETAIL

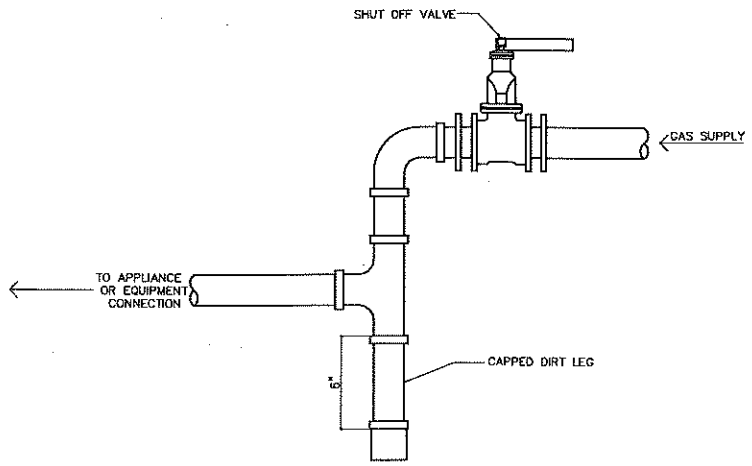
NO SCALE



NOTE: 1. INSTALL CLEAN OUTS SO BOTTOM IS AT LEAST 7\"/>

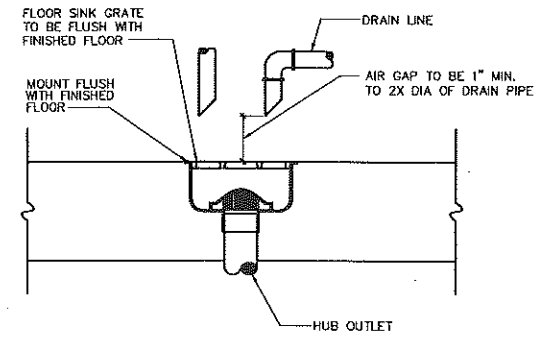
TYPICAL CLEANOUT DETAILS

NO SCALE



GAS EQUIPMENT CONNECTION DETAIL

NO SCALE



FLOOR SINK DETAIL

NO SCALE



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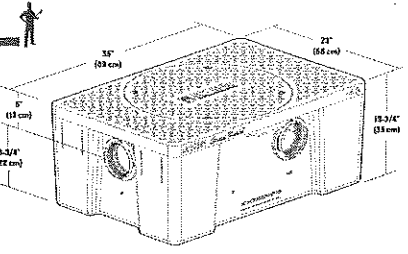
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GB2
35/50 GPM
grease interceptor

Specification and Submittal



SUBMITTAL

Standard	Options
Location: Kitchen	None
Location: Dishwasher	None
Location: Laundry	None
Location: Utility Room	None
Location: Basement	None
Location: Attic	None
Location: Outside	None
Location: Other	None
Material: Cast Iron	None
Material: Steel	None
Material: Aluminum	None
Material: Stainless Steel	None
Material: Other	None
Finish: Painted	None
Finish: Powder Coat	None
Finish: Other	None

SCHIER MODEL NUMBER: **GB2** DESCRIPTION: 35/50 GPM GREASE INTERCEPTOR

SPECIAL PRECAUTIONS
All All Other Grease Interceptor Installation Instructions apply to this product.

Installation Instructions

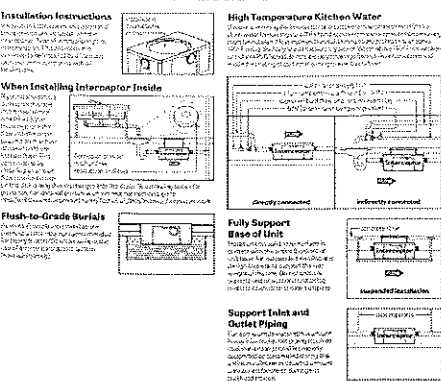
High Temperature Kitchen Water

When Installing Interceptor Inside

Flush-to-Grade Basins

Fully Support Base of Unit

Support Inlet and Outlet Piping



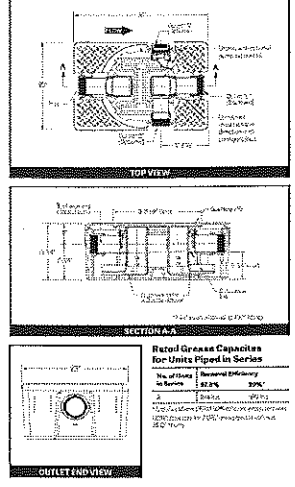
SCHIER MODEL NUMBER: **GB2** DESCRIPTION: 35/50 GPM GREASE INTERCEPTOR

SPECIFICATION

Notes

Engineer Specification Data

Grease Interceptor Data



SCHIER MODEL NUMBER: **GB2** DESCRIPTION: 35/50 GPM GREASE INTERCEPTOR

GREASE INTERCEPTOR PRODUCT DATA

A. GENERAL NOTES

1. DRAWINGS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND ALL OTHER SPECIFICATION SECTIONS, APPLY TO ALL PORTIONS OF THE PLUMBING RELATED WORK.
2. THE PLUMBING CONTRACTOR (PC) IS REQUIRED TO READ THE SPECIFICATIONS AND REVIEW ALL DOCUMENTATION AND DRAWINGS FOR ALL DIVISIONS OF WORK PRIOR TO BEGINNING WORK. THE PC IS RESPONSIBLE FOR THE COORDINATION OF THEIR WORK AND THE WORK OF THEIR SUBCONTRACTORS WITH ALL DIVISIONS OF WORK. IT IS THIS CONTRACTOR'S RESPONSIBILITY OF THE PC TO FURNISH COMPLETE SETS OF DOCUMENTS THEIR SUBCONTRACTORS.
3. THE PC IS RESPONSIBLE FOR SCHEDULING THE COMPLETION AND INSPECTION OF THEIR WORK AND THE WORK OF THEIR SUBCONTRACTORS TO COMPLY WITH THE CONSTRUCTION SCHEDULE.
4. THE PC SHALL VISIT THE SITE PRIOR TO SUBMITTAL OF BID TO DETERMINE CONDITIONS AFFECTING THE WORK. ANY ITEMS WHICH ARE NOT COVERED IN THE BID DOCUMENTS OR ANY PROPOSED SUBSTITUTIONS SHALL BE LISTED SEPARATELY AND QUALIFIED IN THE PC'S BID. SUBMITTAL OF A BID SHALL SERVE AS EVIDENCE OF KNOWLEDGE OF EXISTING CONDITIONS AND THE PERFORMANCE OF ANY MODIFICATIONS WHICH ARE REQUIRED TO MEET THE INTENT OF THE DOCUMENTS. MODIFICATIONS REQUIRED SHALL BE INCLUDED IN THE BID. FAILURE TO VISIT THE SITE DOES NOT RELIEVE THE PC OF THEIR RESPONSIBILITY IN PERFORMANCE OF WORK.

B. GENERAL REQUIREMENTS:

1. THE PC SHALL F&I ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, TOOLS, TRANSPORTATION, AND FACILITIES NECESSARY TO COMPLETE PLUMBING SYSTEMS AS INDICATED IN THESE DOCUMENTS AND AS REQUIRED BY JOB CONDITIONS. ALL WORK NECESSARY AND NOT SPECIFICALLY NOTED TO BE F&I BY OTHERS SHALL BE FURNISHED AND INSTALLED / OR COORDINATED BY THE PC.
2. ALL WORK SHALL BE PERFORMED IN A NEAT, PROFESSIONAL MANNER USING GOOD CONSTRUCTION PRACTICES AND AS INDICATED BY THESE DOCUMENTS.
3. UNLESS OTHERWISE NOTED, MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW, TESTED, LISTED AND SIZED IN CONFORMANCE WITH REQUIREMENTS OF THE CURRENT CODES AND AS ENFORCED BY THE AUTHORITIES HAVING JURISDICTION (A.H.J.), WHICHEVER IS MORE STRINGENT.
4. ALL WORK SHALL BE INSTALLED SO AS TO BE READILY ACCESSIBLE FOR OPERATING, SERVICING, MAINTAINING AND REPAIRING. THE PC IS RESPONSIBLE FOR PROVIDING SUFFICIENT SERVICE ACCESS, AS INDICATED BY EQUIPMENT MANUFACTURER'S INSTRUCTIONS, TO ALL EQUIPMENT.
5. FIELD MEASURE AND DETERMINE THE ACTUAL FIELD CONDITIONS. FURNISH ALL REQUIRED OFFSETS, ADDITIONAL ELBOWS, SUPPORTS, COMPONENTS, ETC. AS REQUIRED TO INSTALL COMPLETE SYSTEMS.

C. CODES

1. ALL WORK SHALL COMPLY WITH THE CODES AND OTHER STATE, COUNTY, CITY AND LOCAL ORDINANCES, SAFETY AND HEALTH CODES AND NFPA CODES AS INDICATED HEREIN AND AS INDICATED ON SHEET G1.0 OF THESE DOCUMENTS. THE WORK PERFORMED TO CONFORM TO ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. THE PC SHALL INCLUDE ANY CHANGES REQUIRED BY THE A.H.J. IN THEIR BID. IF THESE CHANGES ARE NOT INCLUDED IN THE BID, THEY MUST BE QUALIFIED AS A SEPARATE LINE ITEM IN THE BID. AFTER CONTRACT IS ISSUED, NO ADDITIONAL COST DUE TO CODE OR ORDINANCE ISSUES SHALL BE REIMBURSED TO THE PC.

D. LICENSES, PERMITS AND INSPECTION FEES

1. THE PC SHALL OBTAIN AND PAY FOR ALL LICENSES, PERMITS, INSPECTIONS AND FEES REQUIRED OR RELATED TO THE PERFORMANCE OF THEIR WORK.
2. FURNISH TO THE (OWNER) ALL CERTIFICATES OF INSPECTION AND FINAL INSPECTION APPROVAL AT COMPLETION OF PROJECT.

E. GUARANTEE

1. THE PC SHALL GUARANTEE ALL MATERIALS AND LABOR F&I UNDER THEIR CONTRACT AND SHALL MAKE GOOD, REPAIR DEFECTIVE MATERIALS, EQUIPMENT AND LABOR AT THEIR OWN EXPENSE. ANY DEFECTIVE MATERIAL, EQUIPMENT AND LABOR DISCOVERED WITHIN A PERIOD OF 12 MONTHS OF WRITTEN ACCEPTANCE OF THE WORK, AND AS INDICATED BY THE EXTENDED WARRANTIES FOR THE INDIVIDUAL EQUIPMENT SHALL BE REPAIRED OR REPLACED BY THE PC
2. HOT WATER HEATERS SHALL BE FURNISHED WITH A 5 YEAR HEAT EXCHANGER WARRANTY.

F. PHASING REQUIREMENTS (IF APPLICABLE)

1. THE PC SHALL INCLUDE IN THEIR BID ALL NECESSARY SERVICE REQUIRED TO KEEP THE OPERATING PORTION OF THE BUILDING'S (HVAC, PLUMBING AND SPRINKLER) SERVICES IN OPERATION. CONTRACTOR MUST SCHEDULE IN WRITING ONE WEEK PRIOR TO ANY SHUT DOWN OF THE HVAC, PLUMBING OR FIRE PROTECTION) SYSTEMS.
2. THE PC IS RESPONSIBLE FOR THE COORDINATION OF THE DEMOLITION OF EXISTING WORK AND THE RENOVATION WORK. COORDINATE WORK AFFECTING ANY EXISTING EQUIPMENT TO BE LEFT INTACT. THE PC SHALL REMOVE ALL EXISTING FIRE PROTECTION SYSTEMS, PLUMBING FIXTURES, PIPING SYSTEMS, REFRIGERANT SYSTEMS, HVAC SYSTEMS, AND ASSOCIATED ROOF CURBS OR RAILS NOT TO BE REUSED ON THIS PROJECT, UNLESS OTHERWISE NOTED. PC SHALL VERIFY ALL ABANDONED EQUIPMENT TO BE REMOVED (PIPES, DUCTWORK, EQUIPMENT, FIXTURES, ETC.) ARE NOT NEEDED BY OTHER PORTIONS OF THE BUILDING PRIOR TO THEIR REMOVAL. REPAIR THE ROOF MEMBRANE WHEN REMOVING ROOF CURBS, EQUIPMENT SLEEPERS, PIPES, DUCTS OR CONDUITS THROUGH THE ROOF.
3. ALL EXTRANEUS ITEMS IN THE SPACE, ASSOCIATED WITH THE SPACE, OR ON THE ROOF AND NOT APPLICABLE TO THE WORK MUST BE REMOVED AND ROOF/WALL/FLOOR PATCHED/REPAIRED TO MATCH EXISTING SURROUNDINGS. EXISTING ABANDONED (PIPES, DUCTS OR EQUIPMENT) IN THE FLOOR, EMBEDDED IN CONCRETE, OR OTHERWISE INACCESSIBLE TO BE CUT OFF AND SEALED BELOW THE FLOOR OR WALL SURFACE, OR WITHIN THE FLOOR OR WALL WHEN THEY ARE NOT TO BE REUSED IN THIS PROJECT.

4. ABANDONED PIPING AND/OR DUCTWORK MUST BE REMOVED BACK TO ITS POINT OF ORIGIN.
5. CONFIRM THE EXTENT OF DEMOLITION PRIOR TO BID AND INCLUDE IN BID PROPOSAL.

G. SLEEVES

1. THIS CONTRACTOR SHALL F&I PIPE SLEEVES. SLEEVES SHALL EXTEND THROUGH ITS RESPECTIVE FLOOR, WALL/PARTITION OR ROOF. SLEEVES THROUGH WALLS AND PARTITIONS SHALL BE CUT FLUSH WITH EACH SURFACE. SLEEVES PENETRATING FLOORS SHALL EXTEND 2" ABOVE THE FLOOR. SLEEVES PENETRATING ROOF SHALL EXTEND 4" ABOVE ROOF SURFACE.
2. PC SHALL COORDINATE ANY CORE DRILLING OR CUTTING OF OPENINGS IN MASONRY FLOORS OR WALLS.
3. ALL SLEEVES AND OPENINGS THROUGH FIRE-RATED WALLS AND/OR FLOORS SHALL BE FIRE SEALED WITH CALCIUM SILICATE, SILICONE "RTV" FOAM, "3M" FIRE RATED SEALANTS OR APPROVED ALTERNATE. SLEEVES IN BEARING AND MASONRY WALLS, FLOORS, AND PARTITIONS SHALL BE STANDARD WEIGHT STEEL PIPE FINISHED WITH SMOOTH EDGES. FOR OTHER THAN MASONRY PARTITIONS, THROUGH SUSPENDED CEILING, OR FOR CONCEALED VERTICAL PIPING, SLEEVES SHALL BE NO. 22 U.S.G. GALVANIZED STEEL MINIMUM.

H. HANGERS

1. F&I HANGERS AND SUPPORTS FOR ALL PIPING AND EQUIPMENT IN ACCORDANCE WITH SMACNA, MSS, ASME, AND ASHRAE STANDARDS.
2. HANGERS SHALL INCLUDE ALL MISCELLANEOUS STEEL SUCH AS ANGLE IRON, BANDS, C-CLAMPS WITH RETAINING CLIPS, CHANNELS, HANGER RODS, ETC., NECESSARY FOR THE INSTALLATION OF WORK.
3. HANGERS SHALL BE FASTENED TO BUILDING STEEL/STRUCTURE, CONCRETE OR MASONRY. HANGING FROM METAL DECK IS NOT PERMITTED. HANGERS MUST BE ATTACHED TO UPPER CHORDS OF BAR JOISTS, WHERE INTERFERENCES OCCUR, THE PC SHALL INSTALL TRAPEZE TYPE HANGERS OR SUPPORTS WHICH SHALL BE LOCATED WHERE THEY DO NOT INTERFERE WITH ACCESS TO FIRE DAMPERS, VALVES, MAINTENANCE REQUIREMENTS AND OTHER EQUIPMENT.
4. HANGERS FOR ALL INSULATED PIPING SHALL BE SIZED AND INSTALLED FOR THE OUTER DIAMETER OF INSULATION. INSTALL 6" LONG SPLIT CIRCLE GALVANIZED SADDLE BETWEEN THE HANGER AND THE PIPE INSULATION. F&I HIGH DENSITY INSULATION INSERT BETWEEN THE SADDLE AND THE PIPE.
5. HANGERS AND PIPING OF DISSIMILAR METALS SHALL BE DI-ELECTRICALLY SEPARATED.

I. DIRT AND DUST CONTROL

1. PROTECT AREAS ADJACENT TO THE WORK BEING PERFORMED. SCREEN OFF ALL AREAS WHERE CONSTRUCTION IS TO TAKE PLACE FROM THE AREAS TO REMAIN INHABITED. INHABITED AREAS SHALL REMAIN DUST AND DEBRIS FREE DURING CONSTRUCTION.
2. CLEAN ALL AREAS OUTSIDE DESIGNATED CONSTRUCTION AREA WHICH MAY HAVE BECOME SOILED DUE TO CONSTRUCTION.

J. EQUIPMENT, PIPING, INSULATION AND INSTALLATION

1. REFER TO PLANS FOR SCHEDULES OF EQUIPMENT AND FIXTURES. AMERICAN STANDARD, KOHLER AND CRANE ARE CONSIDERED ACCEPTABLE AS EQUALS.
2. MAINTAIN A MINIMUM CLEARANCE OF 6" BETWEEN PLUMBING PIPING AND EQUIPMENT AND ALL FIRE/SMOKE RATED WALLS.

3. INSTALL EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. INSTALL UNITS LEVEL AND PLUMB, AT RIGHT ANGLES TO THE STRUCTURE. FIRMLY ANCHORED UNITS IN LOCATIONS INDICATED BY THE DOCUMENTS.
5. PIPING OF DISSIMILAR METALS SHALL BE DI-ELECTRICALLY SEPARATED WITH INSULATED FITTINGS.
6. FIELD VERIFY CONNECTION POINTS PRIOR TO SUBMITTING BID AND NOTIFY ENGINEER IF CONDITIONS ARE NOT AS SHOWN ON THE PLANS OR AS STATED IN THE SPECIFICATIONS. CONTRACTOR SHALL VERIFY THE OPERABILITY OF ENTIRE SYSTEM PRIOR TO TIE-IN AS FOLLOWS:
 - a. SNAKE SANITARY FOR A DISTANCE OF 100 FEET AND REPORT ANY BLOCKAGE.
 - b. TEST WATER PRESSURE TO INSURE MINIMUM PSI MATCHES MOST DEMANDING EQUIPMENT SUPPLIED.
7. INSULATE THE TRAP, SANITARY AND SUPPLY PIPES UNDER LAVATORIES WITH TRUEBRO MODEL 102W "HAND LAV GUARD" INSULATION KIT OR EQUAL.
8. INSULATE AIR CONDITIONING CONDENSATE DRAIN LINES BELOW THE ROOF. INSULATION TO BE 1" THICK CLOSED CELL CONTINUOUS TUBE INSULATION BY AEROFLEX. CLOSURE SYSTEM AS RECOMMENDED BY THE MANUFACTURER.
9. INSTALL ALL NECESSARY PIPE HANGERS, SADDLES, AND CARRIERS TO PROPERLY SUPPORT ALL PIPING AND FIXTURES. HANGERS SHALL SUIT TYPE OF PIPING F&I AND BE SPACED AT A MAXIMUM SPAN OF 5 FEET.

K. POTABLE WATER PIPING

1. POTABLE WATER PIPING SHALL BE AS FOLLOWS:
 - a. BELOW GRADE: TYPE 'K' ANNEALED COPPER TUBE. FOR PIPE SIZES 2 INCHES AND SMALLER. BRAZE ALL JOINTS.
 - b. ALL OTHER: TYPE 'L' DRAWN TEMPERED COPPER TUBE WITH WROUGHT COPPER FITTINGS AND 95-5 TIN-ANTIMONY SOLDER.
2. INSULATE ALL HOT AND COLD WATER PIPING WITH MINIMUM 1" THICK (K=0.23 @ 75°F) OR MORE AS MAY BE REQUIRED BY LOCAL CODES. FIBERGLASS PIPE INSULATION SHALL HAVE AN ALL SERVICE JACKET. MEET LOCAL CODES AND UL FLAME SPREAD AND SMOKE DEVELOPED RATING. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
3. STERILIZE WATER SYSTEM IN ACCORDANCE WITH LOCAL CODES.
4. TEST ENTIRE PLUMBING SYSTEM IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
5. F&I WATER PRESSURE REDUCING VALVE AS REQUIRED TO MAINTAIN A MAXIMUM WATER SERVICE PRESSURE ENTERING THE BUILDING AT 80 PSIG.
6. IF APPLICABLE, F&I METER AND REMOTE READER PER LOCAL UTILITIES REQUIREMENT.
7. VALVES: F&I BALL VALVE NIBCO SERIES 585-70 FOR SHUT-OFF VALVES.
8. F&I ACCESS PANELS WHERE REQUIRED FOR OPERATION, MAINTENANCE AND BALANCING OR PLUMBING EQUIPMENT.
9. F&I WATER HAMMER ARRESTORS AT EACH QUICK CLOSING VALVE AND AS OTHERWISE INDICATED IN THESE DRAWINGS.

L. SANITARY, WASTE, DRAIN AND VENT (DWV) PIPING

1. CONDENSATE DRAIN: F&I POLYVINYL CHLORINE (PVC) TYPE DWV, SCHEDULE 40 PLASTIC PIPE IN CONFORMANCE WITH STANDARD ASTM D2865.
2. BELOW GRADE DWV PIPING; ALL MATERIAL SHALL BE DWV QUALITY CAST IRON, COPPER, PVC OR ABS PIPING.
3. PRESSURE DWV PIPING; ALL MATERIAL SHALL BE DWV QUALITY CAST IRON.
4. ABOVE GRADE, IN CABINETRY, WALLS, ETC. SHALL BE DWV QUALITY CAST IRON, COPPER, PVC OR ABS PIPING.
5. VENTS THROUGH ROOF (VTR): MATERIAL SHALL BE DWV QUALITY CAST IRON PIPE.

M. GAS PIPING

1. FURNISH AND INSTALL A COMPLETE GAS PIPING SYSTEM.
2. GAS LINES SHALL BE BLACK STEEL, SCHEDULE 40, ASTM A-53, WITH MALLEABLE THREADED FITTINGS FOR 2" AND SMALLER, AND WITH WELDED JOINTS FOR 2-1/2" AND LARGER.
3. CORRUGATED STAINLESS STEEL TUBING SHALL BE LISTED IN ACCORDANCE WITH ANSI/CSA 6.26.
4. VENT PIPING AND FITTINGS USED TO CONNECT TO REMOTE VENT TERMINALS SHALL CONFORM TO ANSI/UL 651.
5. CONCEALED PIPING INSTALLED IN SOLID PARTITIONS, WALLS FLOORS OR CEILING SHALL BE INSTALLED IN CHASES OR CHANNELS WHICH HAVE COVERINGS TO ALLOW ACCESS TO THE PIPING.
6. GAS PIPING TO SHALL ENTER THE BUILDING THROUGH AN EXTERIOR WALL ABOVE GRADE. THE PIPE AT THE WALL PENETRATION SHALL BE PROTECTED AGAINST CORROSION BY AN INERT PIPE WRAP OR SLEEVE. IF A SLEEVE IS USED, THE ANNULAR SPACE BETWEEN THE SLEEVE & PIPE SHALL BE SEALED.
7. FOR LP GAS PIPES, ISOLATE ABOVE GROUND PIPE FROM BELOW GROUND PIPE WITH AN APPROVED DIELECTRIC FITTING. DIELECTRIC FITTING TO BE PLACED ABOVE GROUND.
8. ALL EXTERIOR GAS PIPING SHALL BE MOUNTED A MINIMUM OF 3.5" ABOVE THE SURFACE BEING RUN UPON (ROOF, GROUND, ETC.).
9. FURNISH AND INSTALL A GAS COCK, DIRT LEG, AND UNION CONNECTION AT EACH PIECE OF EQUIPMENT.
10. SUPPORT PIPING EVERY 5 FEET OR AS DICTATED BY LOCAL CODES, WHICHEVER IS MORE STRINGENT.
11. ALL EXPOSED EXTERIOR GAS PIPING SHALL BE PAINTED WITH RUST-INHIBITING PAINT.
12. GAS PIPING INSTALLED IN RETURN AIR PLENUMS SHALL BE SLEEVED AND VENTED OR WELDED IN ACCORDANCE WITH THE LOCAL GAS COMPANY, LOCAL CODE AND APPLICABLE NFPA 54 CODES.
13. TESTING AND PURGING OF GAS PIPING SHALL BE DONE PER THE REQUIREMENTS OF THE LOCAL GAS COMPANY, LOCAL CODES AND APPLICABLE NFPA CODES.
14. CONTACT AND COORDINATE GAS SERVICE, METER AND REGULATOR REQUIREMENTS WITH THE LOCAL GAS COMPANY PRIOR TO BID. INCLUDE INSTALLATION COST OF GAS METER AND REGULATOR IN BID.

N. LABELS/PIPE MARKERS

1. FURNISH AND INSTALL PIPE IDENTIFICATION MARKERS ON ALL PIPES INSTALLED UNDER THIS CONTRACT. MARKERS SHALL BE A MINIMUM OF 1-1/2" X 8" AND IDENTIFIED IN ACCORDANCE WITH THE BACKGROUND AND LETTER COLORS ISSUED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI). MARKERS SHALL BE MANUFACTURED BY CHAMPION AMERICA INC., BRADY, SETON, OR EQUAL.
2. PIPING SHALL BE IDENTIFIED AS FOLLOWS: POTABLE WATER, HOT WATER, VENT, SEWER, CONDENSATE, REFRIGERANT LIQUID, REFRIGERANT SUCTION, AND DIRECTIONAL ARROWS. ALL IDENTIFICATIONS MUST BE VISIBLE AT EQUIPMENT.

O. STEEL FRAMING FOR SUPPORT

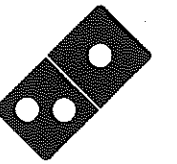
1. F&I ALL NECESSARY STEEL FRAMING REQUIRED TO INSTALL ALL HVAC EQUIPMENT AS DESCRIBED OR IMPLIED ON THE DRAWINGS. ALL PENETRATIONS OF EXISTING STRUCTURE SHALL BE DONE AT THIS CONTRACTOR'S EXPENSE.
11. **SYSTEM START-UP**
 1. THIS CONTRACTOR SHALL INCLUDE AS A BASE, 2-HOURS OF START-UP TIME PLUS AN ADDITIONAL 2-HOURS OF START-UP TIME PER HVAC UNIT SHOWN ON DRAWINGS.

P. FINAL INSPECTIONS

1. ASIDE FROM NORMAL INTERIM INSPECTIONS OF WORK IN PLACE, THE ENGINEER SHALL BE NOTIFIED (IN WRITING) TO INSPECT THE FINISHED INSTALLATION UPON COMPLETION WITH THE PLANS, SPECIFICATIONS AND CODES. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL ITEMS REPORTED BY THE ENGINEER INTO COMPLIANCE.
- M. PROJECT CLOSEOUT DOCUMENTATION**
1. AS PART OF THE PROJECT CLOSEOUT, FURNISH THE OWNER WITH A COMPLETE SET OF OPERATION & MAINTENANCE MANUALS. FURNISH MANUALS ON ALL SYSTEM COMPONENTS. AS A MINIMUM, MANUALS TO CONTAIN INFORMATION ON THE MAKE AND MODEL NUMBERS OF ITEMS AND MAINTENANCE SCHEDULE LISTING MANUFACTURER'S SUGGESTIONS ON THE FREQUENCY OF REQUIRED SERVICE ITEMS FOR ALL COMPONENTS.



1001 SE SANDY BLVD., SUITE 100
PORTLAND, OR 97214
V. 503.552.9079
F. 503.241.7055
WWW.GNICHARCH.COM



Project No: 5331
Domino's Pizza Bakery Store
Pizza Theater Tenant Improvement
56 Main St., Lakeville, MA 02347
for S & L Pizza
711 Southbridge St.
Auburn, MA 02347

ISSUED FOR PERMIT:
02.09.2021

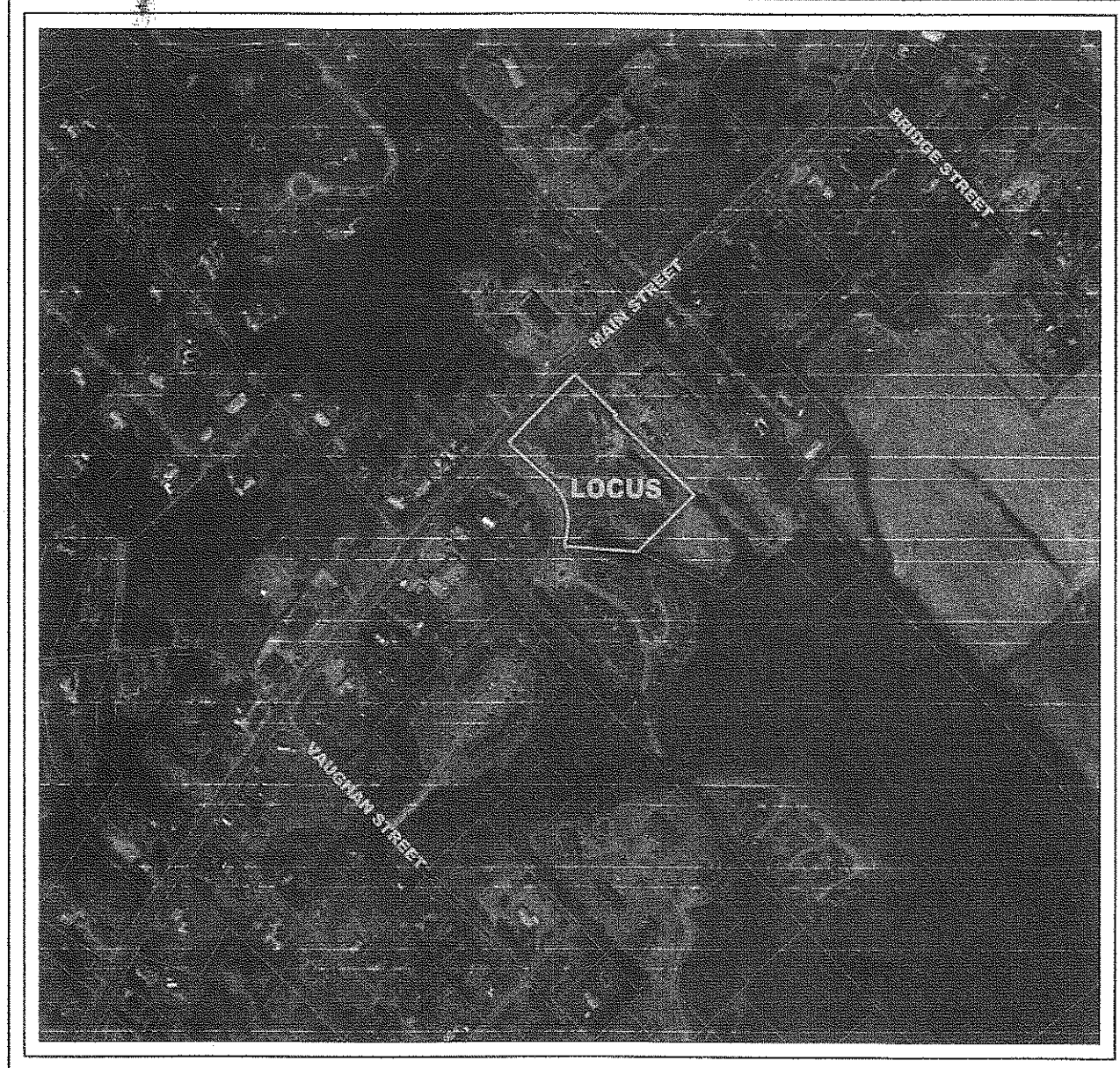
REV. DATE:	DESCRIPTION:

SHEET NAME:
PLUMBING SPECIFICATIONS AND DETAILS.

SHEET NUMBER:
P4.0

- GENERAL NOTES:**
- THE SITE IS SHOWN ON THE TOWN OF LAKEVILLE ASSESSORS MAPS AS MAP 83 BLOCK 2 LOT 3-3 (56 MAIN STREET) AND MAP 83 BLOCK 2 LOT 3-1 (1 EBONY FARM ROAD). PROPERTY LINE INFORMATION WAS TAKEN FROM A PLAN BOOK 46 PAGE 352 RECORDED IN THE PLYMOUTH COUNTY REGISTRY OF DEEDS.
 - TOPOGRAPHIC INFORMATION TAKEN FROM A FIELD SURVEY BY MADDIGAN LAND SURVEYING, LLC.
 - THE PROPOSED WORK ON THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD PLAIN AS INDICATED ON THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR PLYMOUTH COUNTY, MASSACHUSETTS, NUMBER 25023C0431K WITH AN EFFECTIVE DATE OF JULY 16, 2015.
 - THE SITE IS NOT LOCATED IN A PRIORITY HABITAT OR ESTIMATED HABITAT AS SHOWN ON THE MASSACHUSETTS NATURAL HERITAGE ATLAS 14TH EDITION EFFECTIVE DATE AUGUST, 2017.
 - THE PROJECT IS NOT LOCATED WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC). CONTRACTOR TO VERIFY BENCHMARKS FOR CONSISTENCY PRIOR TO CONSTRUCTION AND SHALL NOTIFY ZENITH CONSULTING ENGINEERS, LLC. OF ANY DISCREPANCIES.
 - CONTRACTOR SHALL VERIFY WATER TABLE ELEVATIONS AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES FROM THE PLAN.
 - IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT DIG SAFE (1-888-DIG SAFE) PRIOR TO THE COMMENCEMENT OF WORK AND ALL UNDERGROUND UTILITY COMPANIES TO CONFIRM LOCATIONS AND ELEVATIONS.
 - SITE IS TO BE SERVED BY MUNICIPAL WATER AND ON-SITE SANITARY DISPOSAL SYSTEM.
 - ALL PAVEMENT MARKING AND SIGNAGE SHALL CONFORM TO MUTCD STANDARDS.
 - PROPOSED UTILITIES AND CONSTRUCTION METHODS UNDER AREAS SUBJECT TO TRAFFIC LOADING SHALL BE INSTALLED TO WITHSTAND H-20 LOADING TRAFFIC STANDARDS. CONTRACTOR SHALL VERIFY THAT ALL STRUCTURES COMPLY TO THIS STANDARD.
 - WHERE ALL CONCRETE STRUCTURES INTERCEPT THE SEASONAL HIGH GROUNDWATER TABLE, THE CONTRACTOR SHALL SEAL THE ENTIRE STRUCTURE WITH WATERPROOF SEALER.
 - IF APPLICABLE, ANY RETAINING WALLS SHALL BE DESIGNED BY A MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

SITE PLAN FOR 56 MAIN STREET LAKEVILLE, MASSACHUSETTS



**LOCUS PLAN
SCALE: 1"=250'**

**OWNER/APPLICANT
(56 MAIN STREET PARCEL)
BRUCE BENOIT & MATTHEW FALCONEIRI
48 NOTTINGHAM DRIVE
RAYNHAM, MA 02767**

**OWNER/APPLICANT
(1 EBONY FARM ROAD PARCEL)
BRUCE BENOIT
48 NOTTINGHAM DRIVE
RAYNHAM, MA 02767**

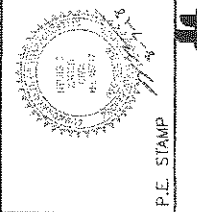
REVISED JULY 24, 2018

SCHEDULE OF DRAWINGS

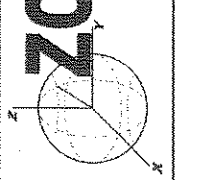
DRAWING NUMBER	PLAN TITLE	LATEST REVISION DATE
C-1	COVER SHEET	7/24/2018
EX-1	EXISTING CONDITIONS PLAN	7/24/2018
L-1	LAYOUT PLAN	7/24/2018
G-1	GRADING AND UTILITY PLAN	7/24/2018
E-1	EROSION CONTROL PLAN	7/24/2018
LL-1	LANDSCAPE AND LIGHTING PLAN	7/24/2018
D-1	DETAIL PLAN	7/24/2018
D-2	DETAIL PLAN	7/24/2018

LAKEVILLE PLANNING BOARD

APPROVED: _____
 ENDORSED: 7/24/18
David J. King
Pete M. Long
Joseph M. ...



ZCE
ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208



PARKING COMPLIANCE TABLE		
CRITERIA	REQUIRED	PROVIDED
RETAIL	1 SPACE/ 300 S.F. + 1 SPACE/ EMPLOYEE (9,000 S.F./300) + (10) = 40	TOTAL SPACES PROVIDED = 70 (3 ACCESSIBLE SPACES INCLUDED)
RESTAURANT	1 SPACE/ 3 SEATS + 1 SPACE/ EMPLOYEE (50 SEATS/3) + (6) = 23	
TOTAL REQ. SPACES = 62		
PARKING SPACE SIZE	9' X 20'	9' X 20'
MIN. AISLE WIDTH	24'	24'
% IMPERVIOUS (MAX.)	50%	48.99%

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
[Symbol]	CONTOURS	[Symbol]
[Symbol]	CONCRETE BOUND	[Symbol]
[Symbol]	GRANITE BOUND	[Symbol]
[Symbol]	DRILL HOLE	DH
[Symbol]	IRON ROD	IR
[Symbol]	TEST PIT	
[Symbol]	SPOT GRADE	+98.5
[Symbol]	WETLAND SYMBOL	
WF-15	WETLAND FLAG AND NUMBER	
[Symbol]	25' BVW BUFFER	
[Symbol]	100' BVW BUFFER	
[Symbol]	WELL	[Symbol]
[Symbol]	DRAIN LINE	[Symbol]
[Symbol]	DRAIN MANHOLE	[Symbol]
[Symbol]	CATCH BASIN	[Symbol]
[Symbol]	FLARED END SECTION	[Symbol]
[Symbol]	RIP RAP AREA	[Symbol]
[Symbol]	EROSION CONTROL MEASURES	
[Symbol]	UNDERGROUND ELECTRIC/TELEPHONE/ CABLE	ETC ETC
[Symbol]	RETAINING WALL	[Symbol]
[Symbol]	CAPE COD BERM	CCB
[Symbol]	OVERHEAD WIRES	OHW OHW
[Symbol]	UTILITY POLE	[Symbol]
[Symbol]	LIGHT POLE	[Symbol]
[Symbol]	VERTICAL GRANITE CURB	VGC
[Symbol]	GUARD RAIL	[Symbol]
[Symbol]	SINGLE POLE SIGN	[Symbol]
[Symbol]	CHAIN LINK FENCE	[Symbol]
[Symbol]	VERTICAL CONCRETE CURB	VCC

ZONING SUMMARY AND COMPLIANCE TABLE		
CRITERIA	REQUIRED	PROVIDED
LOT AREA	70,000 S.F.	179,946 S.F.
FRONTAGE	175'	716.18'
FRONT BUILDING SETBACK	40'	81.4'+
SIDE BUILDING SETBACK	40'	78.7'+
REAR BUILDING SETBACK	40'	40'+
BUILDING HEIGHT	40'	<40'
MAX. IMPERVIOUS COVER	50%	48.99%*
MIN. OPEN SPACE	50%	51.01%*

*EXCLUDES ALL WETLAND AND STORMWATER CONTROL AREAS
 ZONING DISTRICT: BUSINESS
 PROPOSED USE:
 RETAIL/FAST FOOD (PERMITTED BY RIGHT)
 DRIVE THRU (SPECIAL PERMIT THROUGH ZONING BOARD OF APPEALS)

DATE	REV.	DESCRIPTION	BY
6-15-2018	1	RESPONSE TO REVIEW COMMENTS	RMF
7/24/18	2	RESPONSE TO P.B. COMMENTS	NCZ
6-15-2018	1	PROJECT NUMBER	007-02-01
6-15-2018	1	DRAWING SCALE	AS NOTED
6-15-2018	1	SHEET ID	C-1

COVER SHEET
 56 MAIN STREET
 LAKEVILLE, MASSACHUSETTS
 MATT FALCONEIRI
 88 WEST GROVE STREET
 MIDDLEBORO, MASSACHUSETTS

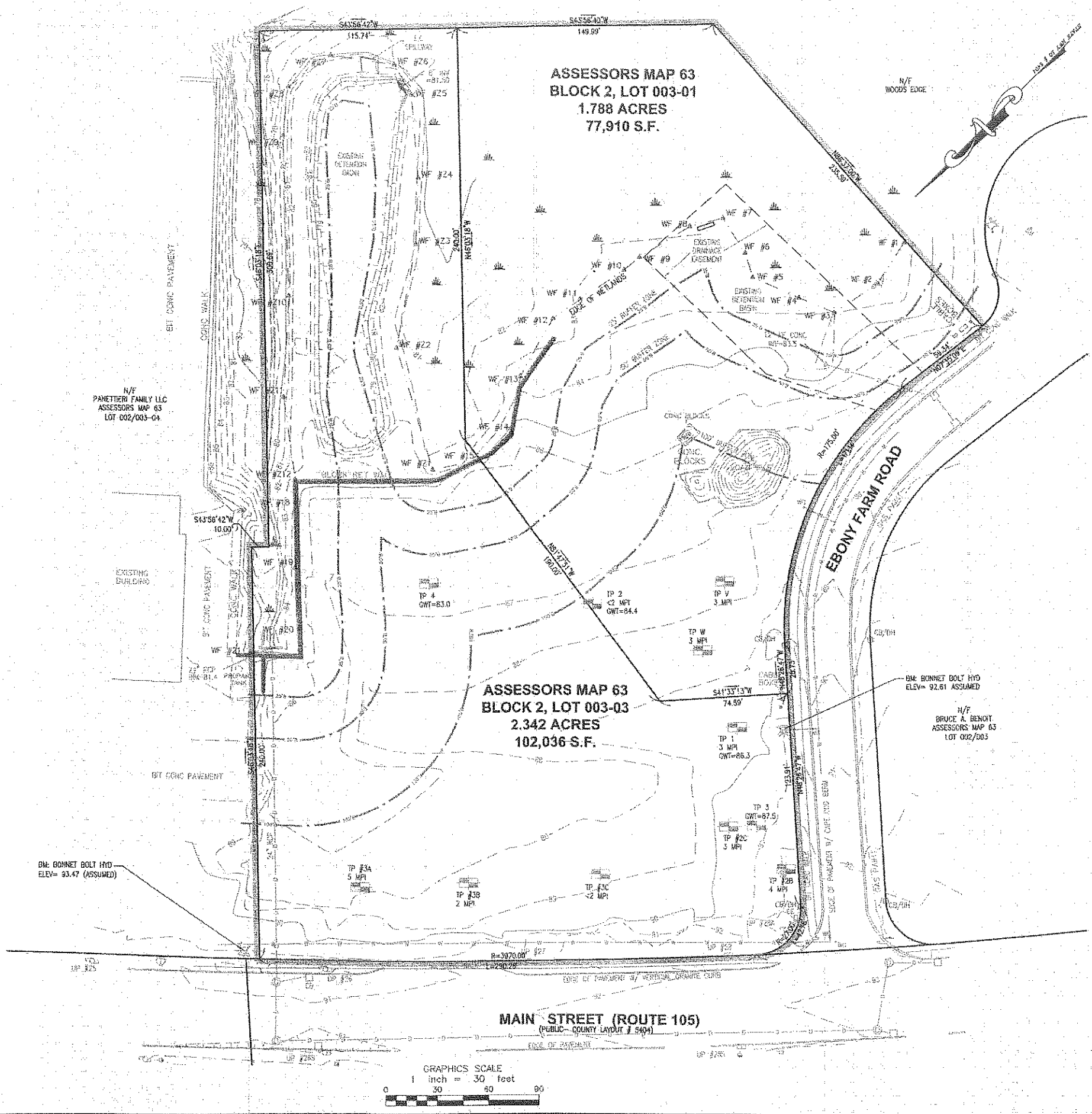
APPROVED: _____
 ENDORSED: Aug 9, 2018



ZCF
 ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208

REV.	DATE	DESCRIPTION	BY	APP.
1	7/24/18	RESPONSE TO REVIEW COMMENTS	RAF	NCZ
2	8/7/18	RESPONSE TO P.B. COMMENTS	NCZ	JLB

DATE:	8-15-2018
PROJECT NUMBER:	0207-02-01
DRAWING SCALE:	AS NOTED
SHEET ID:	EX-1
DRAWN BY:	NCZ
DESIGNED BY:	NCZ
CHECKED BY:	JLB
APPROVED BY:	NCZ

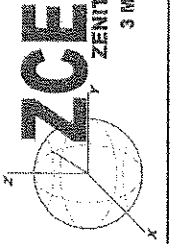


APPROVED: _____
 ENDORSED: *Aug 9, 2018*
David J. King
Peter M. O'Leary
Janeen M. Sullivan



P.E. STAMP

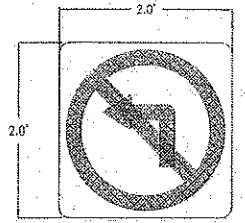
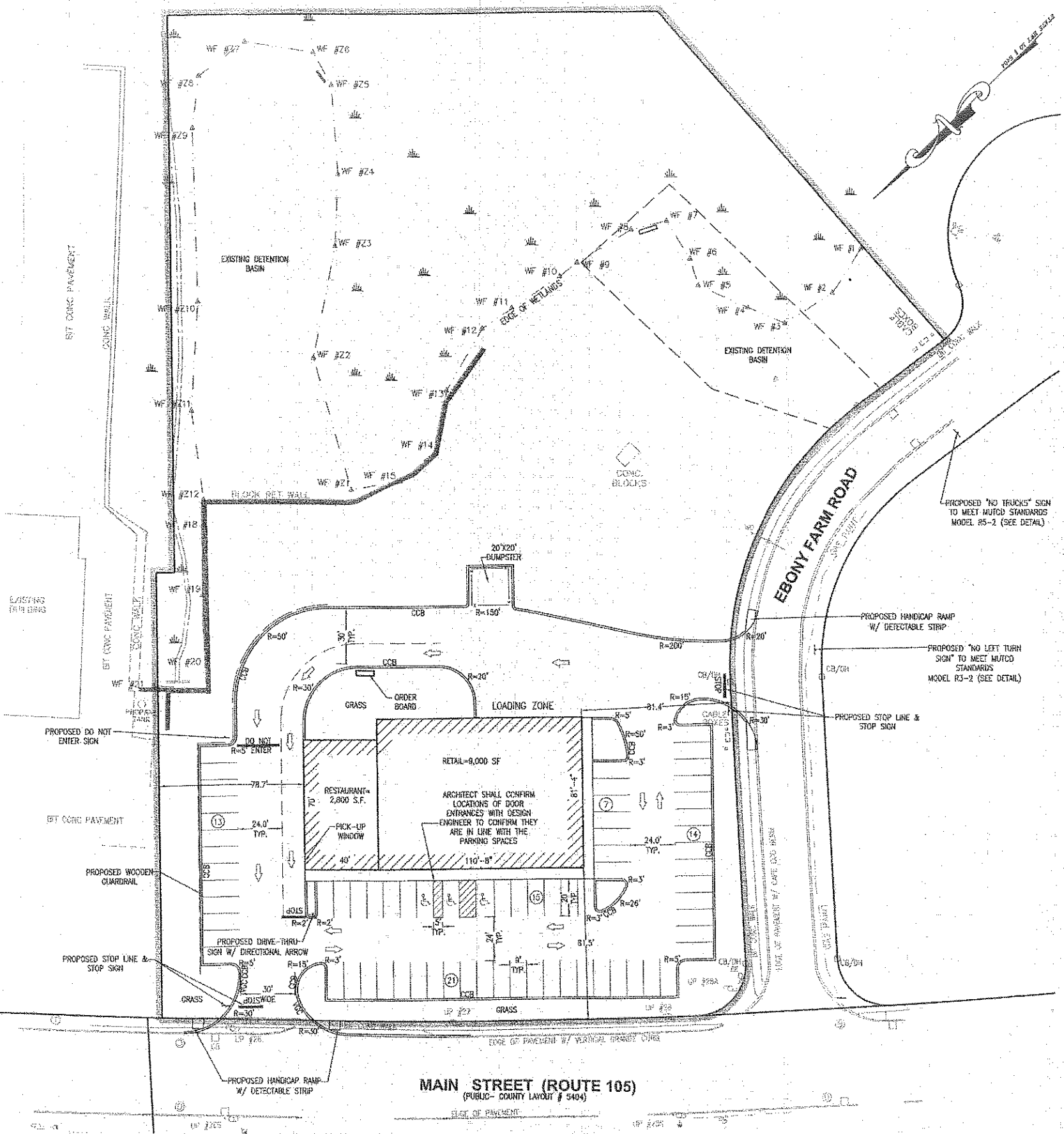
ZCF
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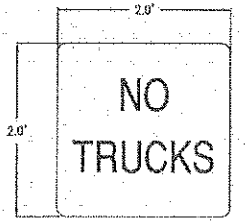
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1	7/29/18	RESPONSE TO REVIEW COMMENTS	RMF	NCZ
2	8/7/18	RESPONSE TO P.E. COMMENTS	NCZ	JLB

DATE:	6-15-2018
PROJECT NUMBER:	0207-02-01
DRAWING SCALE:	AS NOTED
CHECKED BY:	JLB
APPROVED BY:	NCZ
SHEET ID:	L-1

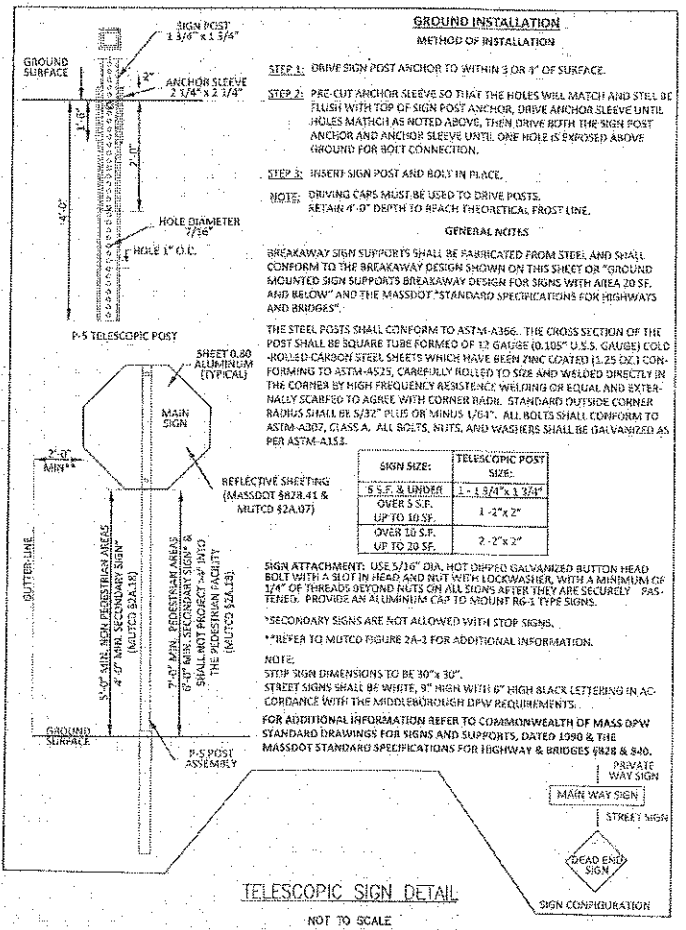
PROJECT SITE: LAKEVILLE, MASSACHUSETTS
 CLIENT: MATT FALCONE/RI
 88 WEST GROVE STREET
 MIDDLEBORO, MASSACHUSETTS



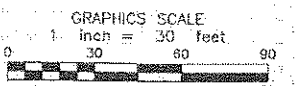
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TELESCOPIC SIGN DETAIL
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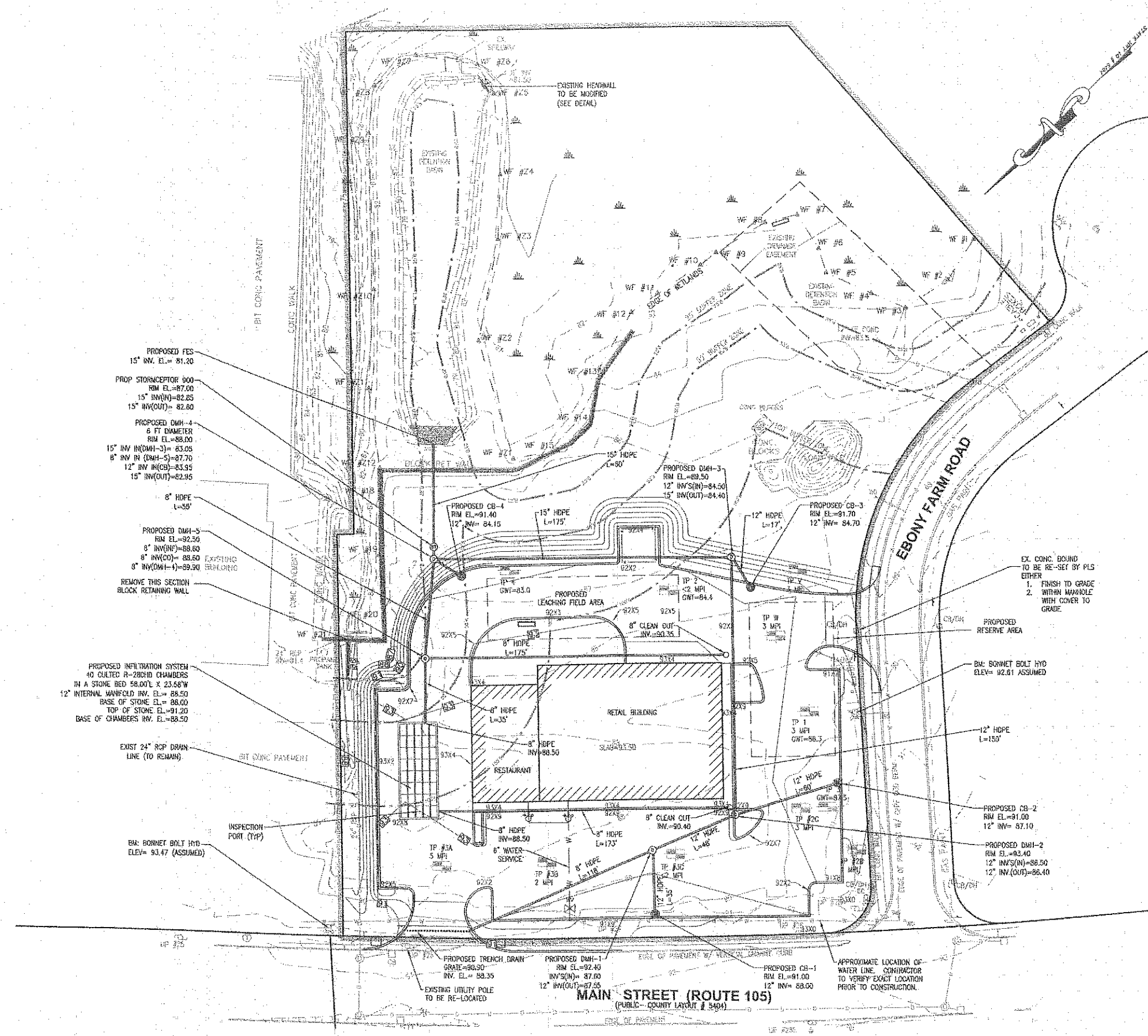
APPROVED: _____
 ENDORSED: *Aug 9, 2018*
David Holo
Peter M. Long
James M. Johnson



P. E. STAMP

GENERAL NOTES:
 1. WATER SERVICE AND FIRE SERVICE LINES TO BE DETERMINED BY A MECHANICAL & FIRE SUPPRESSION ENGINEER PRIOR TO CONSTRUCTION.
 2. 12" PIPE TO BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS FOR H-20 LOADING.

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PROPOSED FES
 15" INV. EL.= 81.20
 PROP STORAGE/RECEPTOR 000
 RIM EL.=87.00
 15" INV(IN)=82.85
 15" INV(OUT)= 82.60
 PROPOSED DMH-4
 8" FT DIAMETER
 RIM EL.=88.00
 15" INV IN(DMH-3)= 83.05
 8" INV IN (DMH-5)=87.70
 12" INV IN(CB)=83.95
 15" INV(OUT)=82.95
 8" HDPE
 L=38'

PROPOSED DMH-5
 RIM EL.=92.50
 8" INV(IN)=88.60
 8" INV(OUT)= 88.60
 8" INV(DMH-4)=89.30
 REMOVE THIS SECTION
 BLOCK RETAINING WALL

PROPOSED INFILTRATION SYSTEM
 40 OUTLET R-280HD CHAMBERS
 IN A STONE BED 58.00'L X 23.56"W
 12" INTERNAL MANHOLE INV. EL.= 88.50
 BASE OF STONE EL.= 86.00
 TOP OF STONE EL.=91.20
 BASE OF CHAMBERS RIV. EL.=88.50

EXIST 24" RCP DRAIN
 LINE (TO REMAIN)

BM: BONNET BOLT HYD
 ELEV.= 93.47 (ASSUMED)

PROPOSED CB-4
 RIM EL.=91.40
 12" INV.= 84.15
 15" HDPE
 L=175'

PROPOSED DMH-3
 RIM EL.=89.50
 12" INV(S)=84.50
 15" INV(OUT)=84.40

PROPOSED CB-3
 RIM EL.=91.70
 12" INV.= 84.70

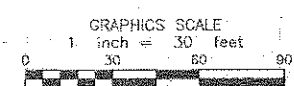
PROPOSED LEACHING FIELD AREA
 92X3 92X5 92X5
 GWT=83.0
 GWT=84.4

PROPOSED DMH-1
 RIM EL.=92.40
 INV(S)= 87.60
 12" INV(OUT)=87.55

PROPOSED CB-1
 RIM EL.=91.00
 12" INV.= 88.00

PROPOSED CB-2
 RIM EL.=91.00
 12" INV.= 87.10

PROPOSED DMH-2
 RIM EL.=93.40
 12" INV(S)=88.50
 12" INV(OUT)=86.40



SHEET NAME	DATE	REV.	DESCRIPTION	BY	APP.
GRADING & UTILITY PLAN 56 MAIN STREET LAKEVILLE, MASSACHUSETTS MATT FALCONEIRI 56 WEST GROVE STREET MIDDLEBORO, MASSACHUSETTS	6-15-2015	1	RESPONSE TO REVIEW COMMENTS	RMF	NCZ
	7/24/18	2	RESPONSE TO P.S. COMMENTS	NCZ	JLB
PROJECT NUMBER	0607-02-01				
DRAWING SCALE	AS NOTED				
APPROVED BY	SHEET 101				0-1

STORMWATER MANAGEMENT SYSTEMS LONG-TERM OPERATION AND MAINTENANCE PLAN:

1.0 INTRODUCTION

THE 56 MAIN STREET AND 1 EBONY FARM ROAD SITE HAS BEEN DESIGNED TO ENSURE STORMWATER QUALITY. IN ORDER FOR THIS TO CONTINUE IN THE LONG TERM, IT IS NECESSARY TO IMPLEMENT THE FOLLOWING LONG TERM OPERATION AND MAINTENANCE PROGRAM.

2.0 RESPONSIBLE PARTY

OWNER:
BRUCE BEHRE & MATTHEW FALCONE
48 NOTTINGHAM DRIVE
RAINFORD, MA 02767

RESPONSIBLE FOR OPERATION AND MAINTENANCE:
SAME

3.0 MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES

THE STORMWATER MANAGEMENT FACILITIES WERE DESIGNED TO REQUIRE LITTLE OR NO INTERVENTION IN THE OPERATION AND TO REQUIRE LITTLE OR NO MAINTENANCE ONCE THE PROJECT IS BUILT AND STABLE VEGETATIVE COVER IS ESTABLISHED. HOWEVER, THE DRAINAGE IMPROVEMENTS SHALL BE SUBJECT TO THE FOLLOWING MAINTENANCE SCHEDULE.

3.1 ROUTINE MAINTENANCE

- MOWING: THE TOP OF THE Dikes and SIDESLOPES OF THE DETENTION BASIN ARE TO BE MOWED AT LEAST ONCE A YEAR DURING THE GROWING SEASON. GRASS IS TO BE CUT TO A HEIGHT NO LESS THAN 4 INCHES. THE DETENTION BASIN BOTTOM SHALL BE INSPECTED AT EACH MOWING EVENT. IF VEGETATION HAS ACCUMULATED THAT COULD CAUSE A NEGATIVE IMPACT ON THE FUNCTION OF THE DETENTION BASIN, THEN IT WILL BE REMOVED.
- DEBRIS: ALL DEBRIS AND LITTER ARE TO BE REMOVED FROM ALL CATCH BASINS, TRENCH DRAINS, SWALES, DETENTION BASIN AND SURROUNDING AREAS AT LEAST TWICE PER YEAR.
- RE-SEEDING: EMBANKMENTS THAT HAVE EXCESSIVE EROSION OR SLUMPING ARE TO BE RE-GRADED AND SEEDING (WITH CANARY GRASS OR TALL FESCUE GRASS) DURING THE SPRING OR FALL GROWING SEASONS AS NEEDED.
- INSPECT: ROOF RECHARGE SYSTEMS AND INFILTRATION CHAMBER SYSTEMS SHALL BE INSPECTED FOR SIGNS OF PROPER FUNCTIONING ON A MONTHLY BASIS. ANY POTENTIAL BLOCKAGES IN THE DOWN SPOUTS WILL BE REMOVED IF DISCOVERED. OUTLETS WILL BE CLEANED AT LEAST TWICE PER YEAR.

3.2 PERIODIC MAINTENANCE

- ALL CATCH BASIN SUMPS, TRENCH DRAINS AND STORMCEPTOR UNITS SHALL BE INSPECTED MONTHLY AND CLEANED A MINIMUM OF ONCE PER YEAR DURING THE CONSTRUCTION STAGE. IN THIS CLEANING, THE ENTIRE CONTENTS OF THE SUMPS WILL BE REMOVED.
- ACCUMULATED SEDIMENT IN THE WATER QUALITY UNIT (STORMCEPTOR) WILL BE INSPECTED AND REMOVED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR, AT A MINIMUM, ONCE PER YEAR. IF THE ACCUMULATED SEDIMENT IS EQUAL TO 15% OF THE CAPACITY OF THE DEVICE, THE SEDIMENT SHALL BE CLEANED OUT USING A VACUUM TRUCK.

3.3 NON-ROUTINE MAINTENANCE

STRUCTURAL: ALL CATCH BASINS, TRENCH DRAINS, STORMCEPTOR UNITS, GRATES, PIPES AND DETENTION BASIN SIDESLOPES SHALL BE INSPECTED ONCE EVERY FOUR (4) YEARS FOR PROPER FUNCTION, CLOGGING, SIGNS OF DETERIORATION AND STRUCTURAL INADEQUACY. ANY ADVERSE SITUATIONS ARE TO BE REPAIRED AS NEEDED.

3.4 NON-PERIODIC INSPECTION

THE STORM WATER MANAGEMENT SYSTEM SHALL BE INSPECTED AFTER TWO YEARS OF FULL OPERATION BY A REGISTERED PROFESSIONAL CIVIL ENGINEER TO CONFIRM ITS ADEQUACY. THE INSPECTION SHALL INCLUDE AN EXAMINATION OF ALL COMPONENTS OF THE SYSTEM INCLUDING DRAIN MANHOLES, INFILTRATION BASINS, CATCH BASINS, STORMCEPTORS, AND STORM WATER OUTLETS.

3.5 RECORD KEEPING

A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. MAINTENANCE INSPECTION REPORTS SHALL BE MAINTAINED BY THE OWNER FOR A PERIOD OF NO LESS THAN 5-YEARS.

4.0 PUBLIC SAFETY FEATURES

THE STORMWATER MANAGEMENT FACILITIES WERE DESIGNED TO BE INHERENTLY SAFE. ALL OF THE ACCESSIBLE STORMWATER CONTROLS (I.E., BASINS, ETC.) WERE DESIGNED WITH 3:1 SIDE SLOPES TO ALLOW FOR PEDESTRIAN ACCESS IN AND OUT OF THE STORMWATER CONTROLS.

5.0 ESTIMATED O&M BUDGET

THE ESTIMATED ANNUAL BUDGET TO CONDUCT THE SPECIFIED OPERATION AND MAINTENANCE IS APPROXIMATELY \$1,500.00.

EROSION & SEDIMENT CONTROL NOTES:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL EROSION AND PREVENT SEDIMENTATION BEYOND THE LIMIT OF WORK OR OFFSITE PROPERTIES. IT IS INTENDED THAT THE IMPLEMENTATION OF THE FOLLOWING MEASURES WILL MEET THIS GOAL. WHEN IT IS CLEAR TO THE DESIGNER THAT EROSION AND SEDIMENTATION HAVE BEEN ADEQUATELY CONTROLLED WITHOUT THE IMPLEMENTATION OF EVERY MEASURE, ADDITIONAL MEASURES NEED NOT BE IMPLEMENTED. ALTERNATIVELY, IF ALL OF THE FOLLOWING MEASURES HAVE BEEN IMPLEMENTED AND THE CONTROL OF EROSION AND SEDIMENTATION IS INADEQUATE, THE CONTRACTOR MUST EMPLOY SUFFICIENT SUPPLEMENTAL MEASURES BEYOND THE SCOPE OF THIS PLAN.

- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO STUMP REMOVAL AND CONSTRUCTION. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL MUNICIPAL REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION. A STAKED SILT SOCK SHALL BE INSTALLED DOWN GRADIENT OF ALL DRAINAGE OUTFALLS.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE OWNER OR AGENTS OF THE OWNER.
- CATCH BASINS WILL BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SILT SOCKS SHOULD BE INSTALLED UNDER GRATE OPENING UNTIL PAVEMENT IS IN PLACE AND GROUND SURFACE IS STABILIZED.
- SEEDING MIXTURE FOR FINISHED GRASSSED AREAS WILL BE AS FOLLOWS:

KENTUCKY BLUE GRASS	45%
CREeping BEG FESCUE	45%
PERENNIAL RYEGRASS	10%

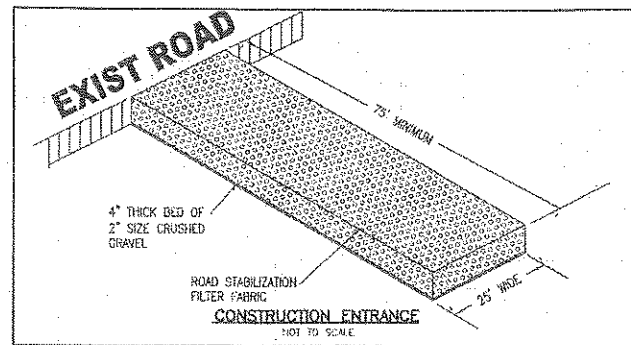
SEED TO BE APPLIED AT A RATE OF 4 LBS./1,000 SQ. FT. PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15. AFTER OCTOBER 15, AREAS WILL BE STABILIZED WITH HAYBALE CHECK, FILTER FABRIC, OR WOODCHIP MULCH, AS REQUIRED, TO CONTROL EROSION.

- AREAS THAT ARE NOT THE LOCATION OF ACTIVE CONSTRUCTION WHICH ARE TO BE LEFT BARE FOR OVER ONE MONTH BEFORE FINISHED GRADING AND SEEDING IS ACHIEVED, SHALL BE MULCHED OR RECEIVE TEMPORARY STABILIZATION SUCH AS SUTE NETTING OR SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYEGRASS APPLIED TO A RATE OF 2 LBS./1,000 SQ. FT. LIMESTONE EQUIVALENT TO BE 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 90 LBS./1,000 SQ. FT. PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 1. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COARSE MATTER.
- AT ALL PROPOSED FILL AREAS WHICH ARE NOT CURRENTLY SHOWN ON THESE PLANS, THE CONTRACTOR SHALL ESTABLISH AN EROSION CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) ABOUT TEN (10') FEET FROM TOE TO SLOPE OF PROPOSED FILL AREAS PRIOR TO BEGINNING FILL INSTALLATION. STABILIZATION OF SLOPES IN FILL AREAS (USING MULCH OR GRASS) SHALL BE INITIATED WITHIN THIRTY (30) DAYS OF COMMENCEMENT OF FILL INSTALLATION.
- STABILIZATION OF SLOPES IN CUT AREAS (USING MULCH OR GRASS) AND THE INSTALLATION OF CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) AT THE TOE OF SLOPE SHALL BE INITIATED WITHIN THIRTY (30) DAYS OF COMPLETION.
- SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN. ALL HAYBALES OR SILT FENCE RETAINING SEDIMENT OVER 1/2 THEIR HEIGHT SHALL HAVE THE SEDIMENT REMOVED AND ALL DAMAGED EROSION CONTROLS SHALL BE REPAIRED OR REPLACED.
- CONTRACTOR WILL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- THE CONTRACTOR SHALL SECURE THE SERVICES OF A PROFESSIONAL ENGINEER, WHO SHALL VERIFY IN THE FIELD THAT THE CONTROLS REQUIRED BY THIS PLAN ARE PROPERLY INSTALLED, SHALL MAKE INSPECTION OF SUCH FACILITIES NOT LESS FREQUENTLY THAN EVERY 14 DAYS OR AFTER A RAINFALL IN EXCESS OF 1/2 INCH, WHICHEVER OCCURS FIRST.
- STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN THIRTY (30) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF SOIL STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAYBALES. SIDE SLOPES SHALL NOT EXCEED 2:1.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO SPRINKLING OF WATER ON EXPOSED SOILS AND PAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC.
- IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN THIRTY (30) DAYS AFTER LAND DISTURBANCES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZE SOILS.
- SILT SOCK SHALL BE USED ONLY AS A TEMPORARY MEASURE. WHERE CONTROL MEASURES WILL BE REQUIRED FOR LONGER THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED.
- WHERE DEWATERING IS NECESSARY, THERE SHALL NOT BE A DISCHARGE DIRECTLY INTO WETLANDS OR WATERCOURSES. PROPER METHODS AND DEVICES SHALL BE UTILIZED TO THE EXTENT PERMITTED BY LAW, SUCH AS PUMPING WATER INTO A TEMPORARY SEDIMENTATION BOWL, PROMISING SURGE PROTECTION AT THE INLET AND THE OUTLET OF PUMPS, OR FLOATING THE INTAKE OF THE PUMP, OR OTHER METHODS TO MINIMIZE AND RETAIN THE SUSPENDED SOLIDS. IF A PUMPING OPERATION IS CAUSING TURBIDITY PROBLEMS, SAID OPERATION SHALL CEASE UNTIL SUCH TIME AS FEASIBLE MEANS OF CONTROLLING TURBIDITY ARE DETERMINED AND IMPLEMENTED. SAID DISCHARGE POINTS SHALL BE LOCATED OVER 100 FEET FROM THE DELINEATED WETLANDS AS INDICATED ON THIS PLAN.

CONSTRUCTION OPERATION AND MAINTENANCE SCHEDULE

THE OPERATION AND MAINTENANCE (O&M) SCHEDULE DURING THE CONSTRUCTION PHASE IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR. THE OUTLINE BELOW SHALL BE ADHERED TO AS CLOSELY AS POSSIBLE TO ENSURE THE PROPER CONSTRUCTION AND FUNCTION OF THE DRAINAGE SYSTEM.

- PRIOR TO CONSTRUCTION, SILT SOCK SHALL BE INSTALLED PER THE APPROVED PLANS. THE SILT SOCK SHALL BE INSPECTED PRIOR TO A LARGE STORM EVENT TO ENSURE THAT THE EROSION CONTROL WILL FUNCTION AS REQUIRED AND FOLLOWING A STORM TO INSPECT FOR DAMAGE TO THE EROSION CONTROL ELEMENTS. ANY DAMAGE OR IMPROPER INSTALLATION THAT IS NOTICED PRIOR TO OR FOLLOWING A STORM EVENT SHALL BE PROMPTLY REPAIRED OR REPAIRED IN A SATISFACTORY MANNER SO AS TO PREVENT SEDIMENT FROM BYPASSING THE EROSION CONTROL BARRIER.
- THE LIMIT OF CLEARING SHOWN ON THE APPROVED PLAN SHALL BE STRICTLY ADHERED TO. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE LEVEL OF SAFETY OF STANDING TREES.
- IN CONFORMANCE WITH THE SITE CONSTRUCTION, ALL DRAINAGE STRUCTURES, INCLUDING THE INFILTRATION BASINS, SHALL BE CONSTRUCTED AND STABILIZED AS SOON AS POSSIBLE. METHODS OF STABILIZATION INCLUDE, BUT ARE NOT LIMITED TO, HYDROSEED, LOAM AND SEED, STRAW MULCH, EROSION CONTROL BLANKETS, ETC.
- THE CATCH BASINS, DRAINAGE MANHOLES AND STORMCEPTORS SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. ANY SEDIMENT BUILDUP OF EIGHT (8) INCH DEPTH IN EITHER OF THE STRUCTURES SHALL BE PROMPTLY REMOVED BY HAND OR MECHANICAL METHODS AND ALL DEBRIS REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- THE INFILTRATION BASINS SHALL BE INSPECTED WEEKLY OR AFTER ALL RAINFALL EVENTS GREATER THAN 1/2 INCH, WHICHEVER OCCURS SOONER. ANY EROSION WITHIN THE BASINS SHALL BE FILLED AND RESTABILIZED IN A MANNER TO PREVENT FUTURE EROSION. IN ADDITION, THE OUTER PORTIONS OF THE INFILTRATION BASIN SHALL BE INSPECTED IN A SIMILAR MANNER.

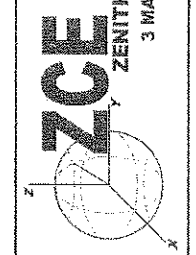


LAKEVILLE PLANNING BOARD

APPROVED: _____
ENDORSED: *Aug 9, 2018*
Justin M. Coy
Jarvis M. Johnson



ZCF
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208



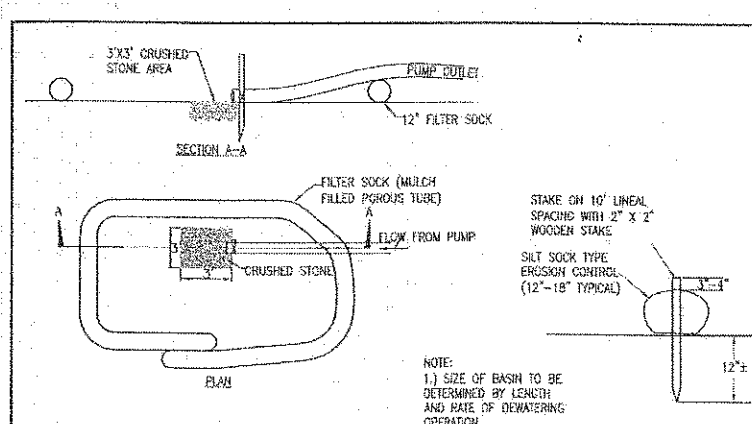
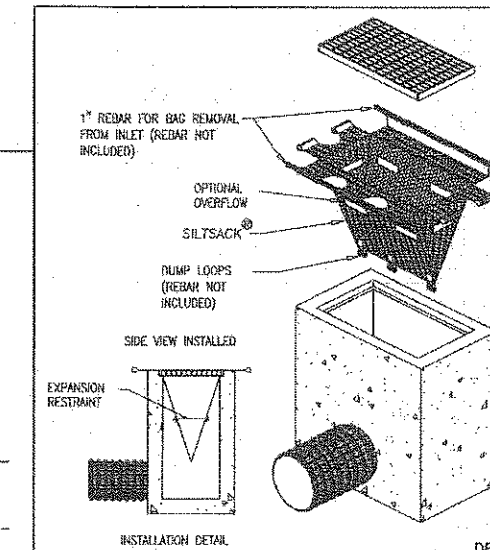
NOTE: THE SILT SOCK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

REGULAR FLOW SILT SOCK®
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

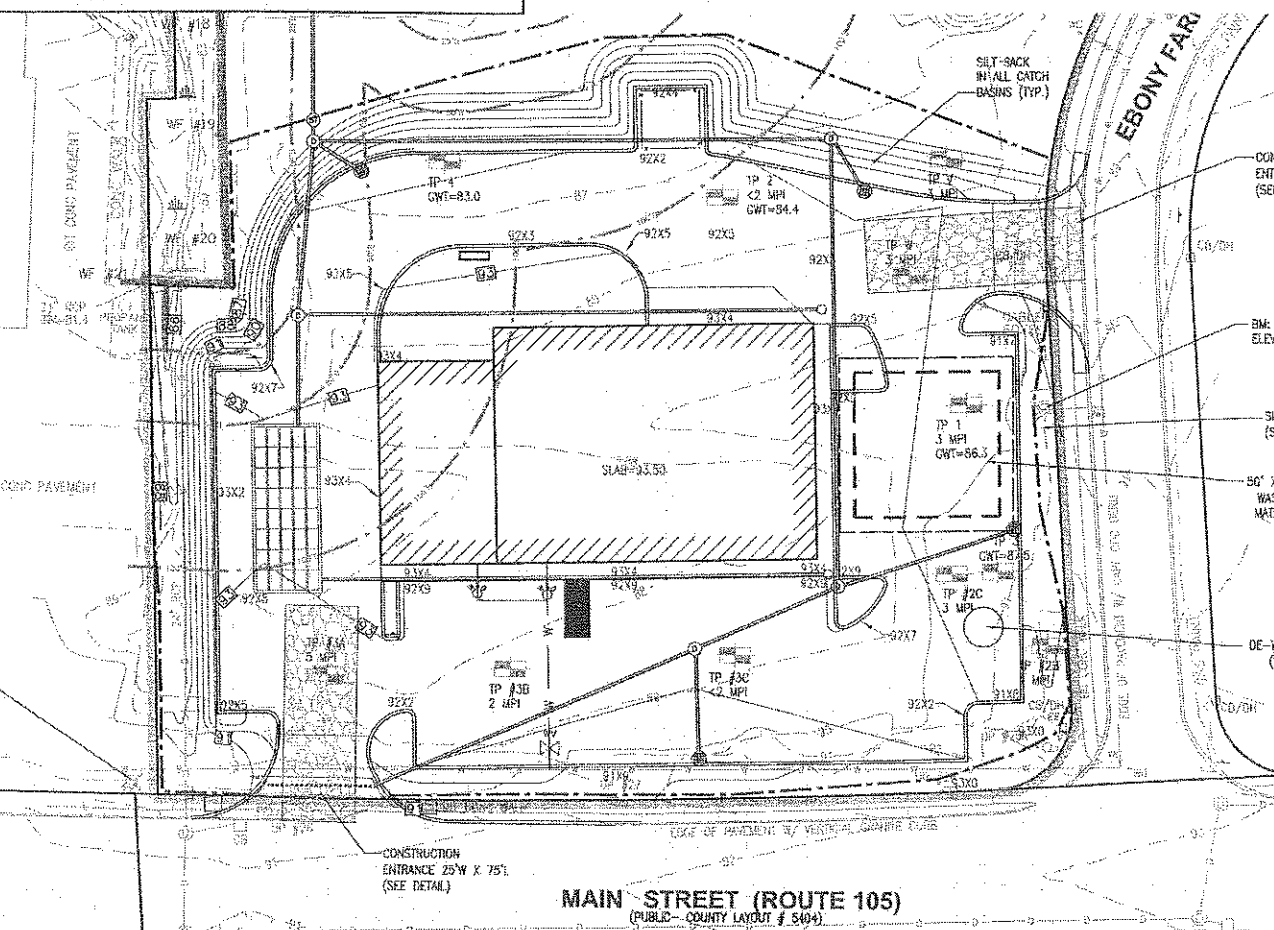
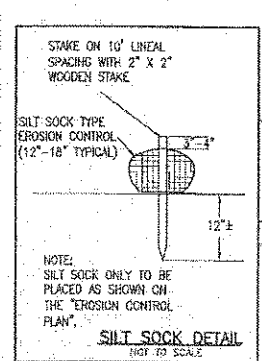
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20%
PUNCTURE MULLEN BURST	ASTM D-3786	120 LBS
TRAPEZOID TEAR LW	ASTM D-4533	900 PSI
RESISTANCE APPARENT	ASTM D-4355	120 LBS
OPENING SIZE FLOW RATE PERMITTIVITY	ASTM D-4751	40 US SIEVE
	ASTM D-4491	20 GAL/MIN/SQ FT 0.55 SEC
	ASTM D-4491	-1

HI-FLOW SILT SOCK®
(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20%
PUNCTURE MULLEN BURST	ASTM D-3786	135 LBS
TRAPEZOID TEAR LW	ASTM D-4533	420 PSI
RESISTANCE APPARENT	ASTM D-4355	45 LBS
OPENING SIZE FLOW RATE PERMITTIVITY	ASTM D-4751	20 US SIEVE
	ASTM D-4491	200 GAL/MIN/SQ FT 1.5 SEC
	ASTM D-4491	-1



DEWATERING BASIN PLAN
NOT TO SCALE



EROSION CONTROL PLAN
56 MAIN STREET
LAKEVILLE, MASSACHUSETTS
WATT FALCONE/REIN
88 WEST GROVE STREET
MIDDLEBORO, MASSACHUSETTS

REV.	DATE	DESCRIPTION	BY	APP.
1	7/24/18	RESPONSE TO REVIEW COMMENTS	RUF	NCZ
2	8/7/18	RESPONSE TO P.B. COMMENTS	NCZ	JLE

DATE:	6-19-2018
PROJECT NUMBER:	0207-02-01
DRAWING SCALE:	AS NOTED
SHEET NO.:	E-1

LAKEVILLE PLANNING BOARD

APPROVED: _____

ENDORSED: *Aug 7, 2018*

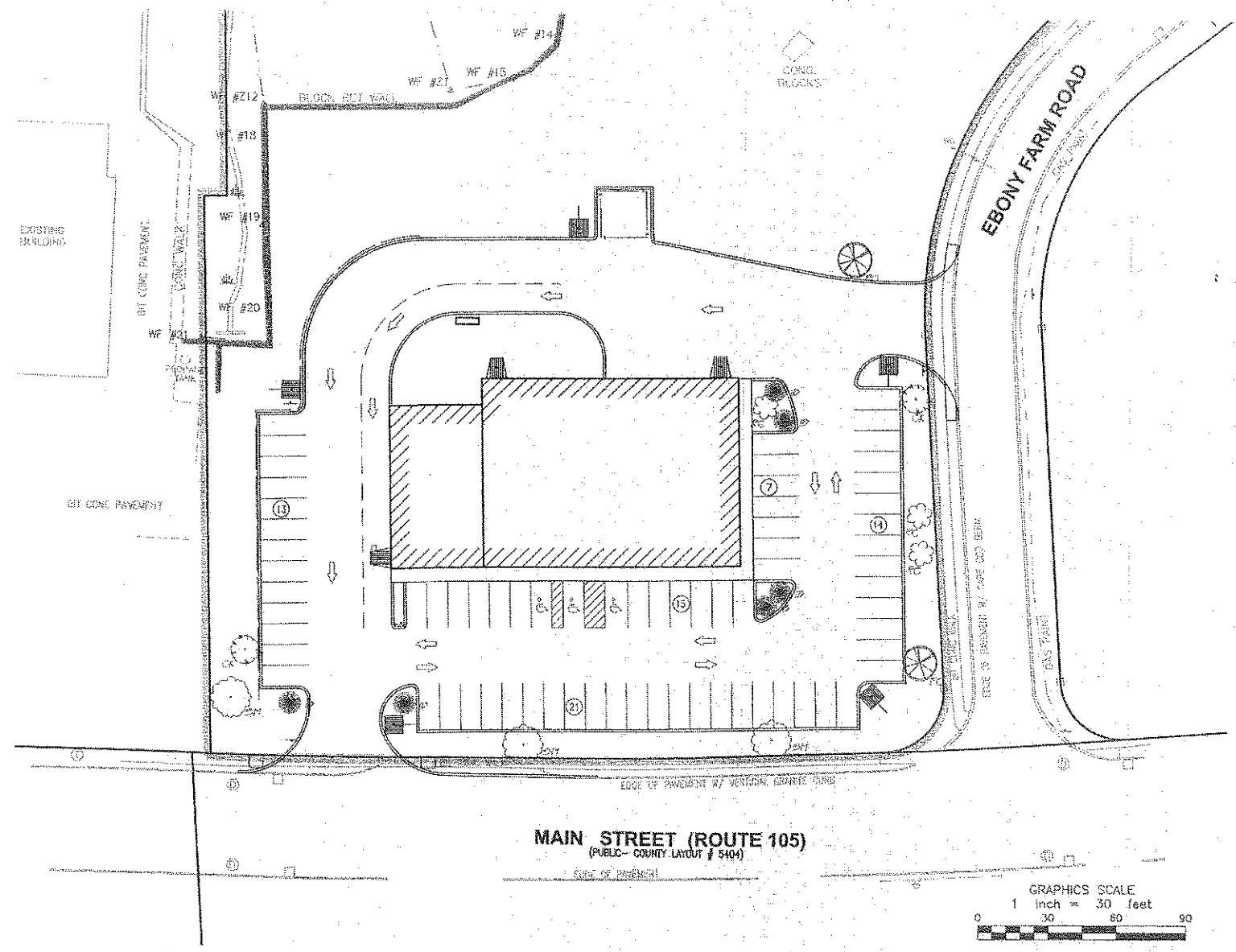
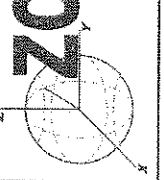
Debra J. Goga

John M. King

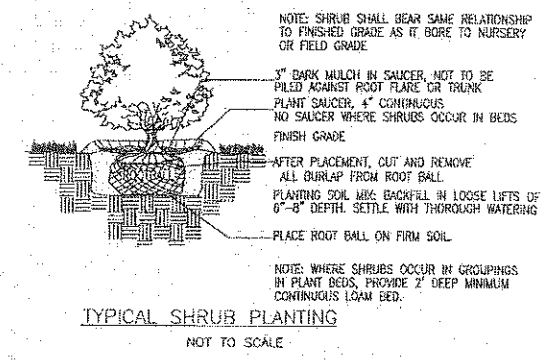
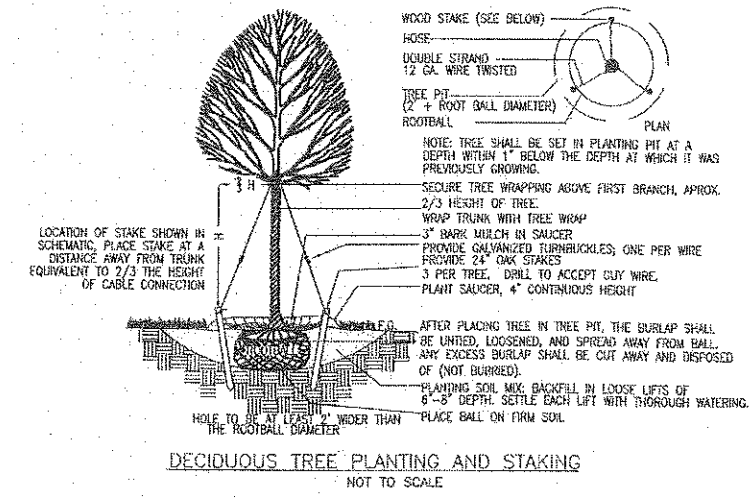
Jessica M. ...



ZCF ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208



PLANT KEY				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	ACER SACCHARIN	SUGAR MAPLE	2-3 1/2" CAL.	5
	CORNUS FLORIDA	KOONADOBWOOD	2-3 1/2" CAL.	2
	QUERCUS PAUNIFLORA	PIN OAK	3" x 1 1/2" CAL.	2
	LEUCOPHYLLA	COMPACT NADERRY	18" x 18" HT.	5
	RHODODENDRON SCINTILLATION	SCINTILLATION RHODODENDRON	2 GALLON	5



LIGHTING Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens
	5	N1	SINGLE	0.950	VUE-1-T4-64L-700-40K-SINGLE @ 16' MTG. HT.	136	14119
	3	WM	SINGLE	0.950	HRM-1-T4-32L-7-40K-UNV-WM-BRZ @ 15' MTG. HT.	71	6248

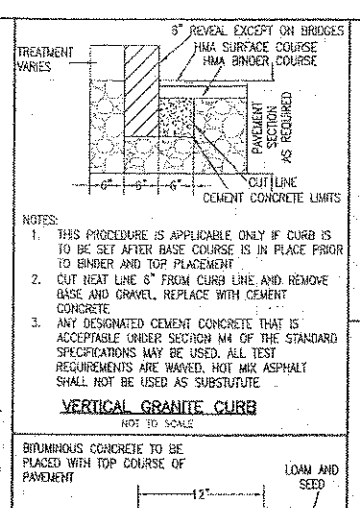
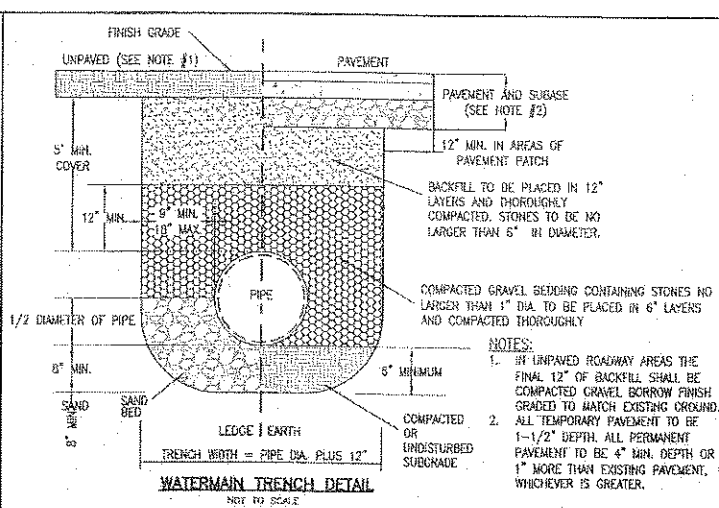
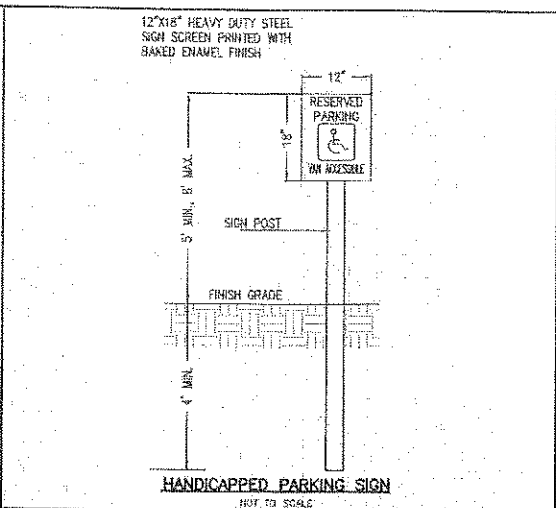
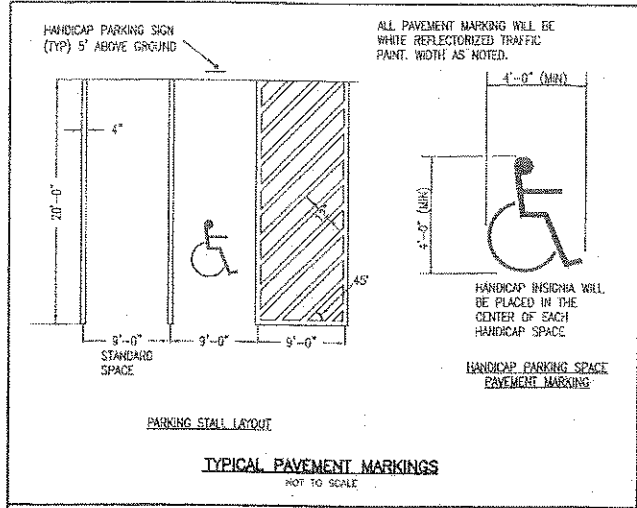
NLS LIGHTING

REV.	DATE	DESCRIPTION	BY	APP.
1	7/24/18	RESPONSE TO REVIEW COMMENTS	JLB	NCZ
2	8/7/18	RESPONSE TO P.B. COMMENTS	NCZ	JLB

DATE:	6-15-2018
PROJECT NUMBER:	0207-02-01
DRAWING SCALE:	AS NOTED
SHEET ID:	LL-1

DRAWN BY:	DESIGNED BY:	CHECKED BY:	APPROVED BY:
NCZ	NCZ	JLB	NCZ

LANDSCAPE AND LIGHTING PLAN	
56 MAIN STREET	LAKEVILLE, MASSACHUSETTS
MATT FALCONEIRI	88 WEST GROVE STREET
MIDDLEBORO, MASSACHUSETTS	



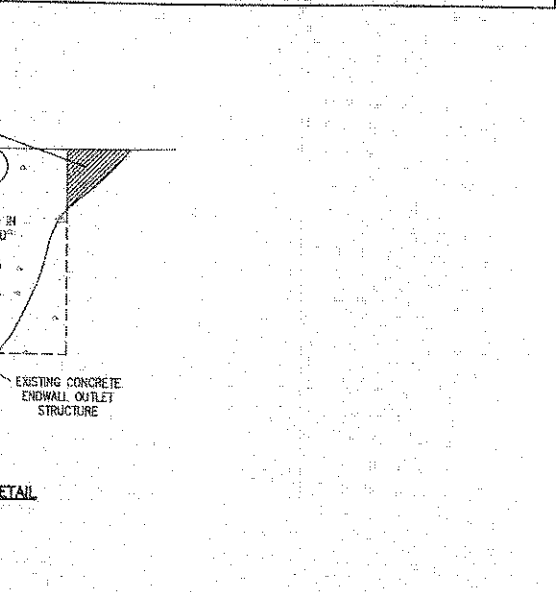
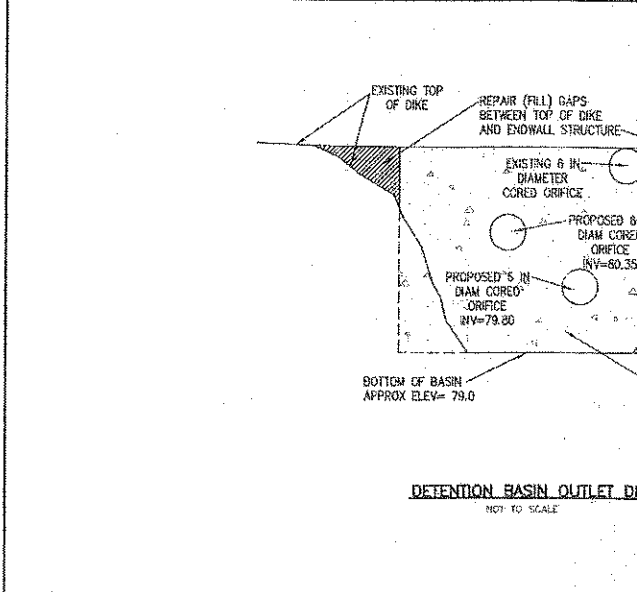
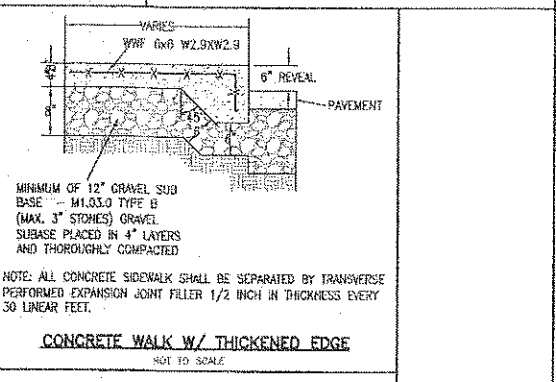
LAKEVILLE PLANNING BOARD

APPROVED:

ENDORSED: *Aug 9, 2018*

David J. King

Janice M. Woodman

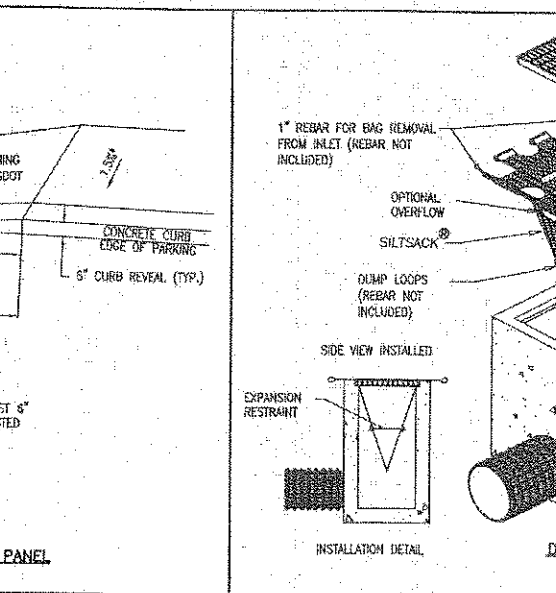
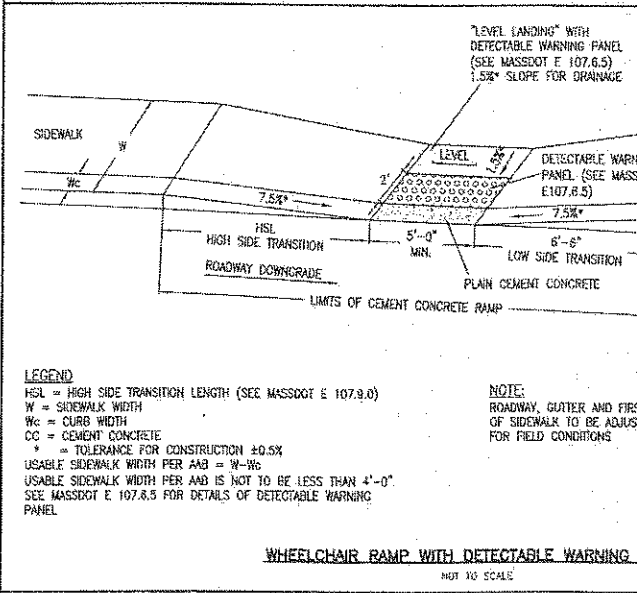
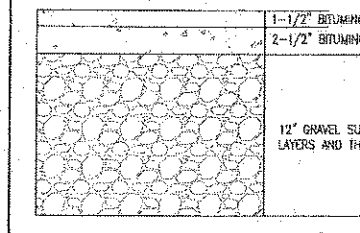
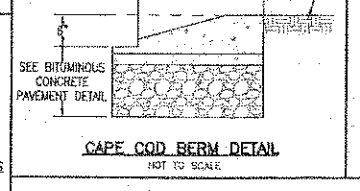


BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE

1-1/2" BITUMINOUS CONCRETE SURFACE COURSE
2-1/2" BITUMINOUS CONCRETE BINDER COURSE

12" GRAVEL SUBGRADE PLACED IN 6" LAYERS AND THOROUGHLY COMPACTED

TYPE	SIZE	1/4 BEND	1/8 BEND	1/16 BEND	TEES	PLUGS
2,000 PSF SOIL	6"	16"	10"	6"	10"	10"
	8"	22"	13"	8"	16"	12"
	10"	28"	17"	10"	20"	14"

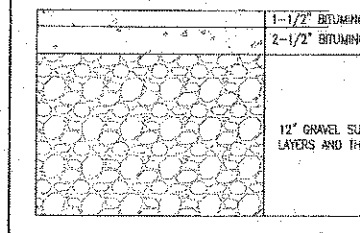


REGULAR FLOW SILTSACK®
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE MULLEN BURST	ASTM D-4833	120 LBS
TRAPEZOID TEAR UV	ASTM D-3788	800 PSI
RESISTANCE APPARENT	ASTM D-4533	120 LBS
OPENING SIZE FLOW RATE PERMITIVITY	ASTM D-4359	80%
	ASTM D-4751	40 US SIEVE
	ASTM D-4491	200 GAL/MIN/SQ FT 0.55 SEC
	ASTM D-4491	-1

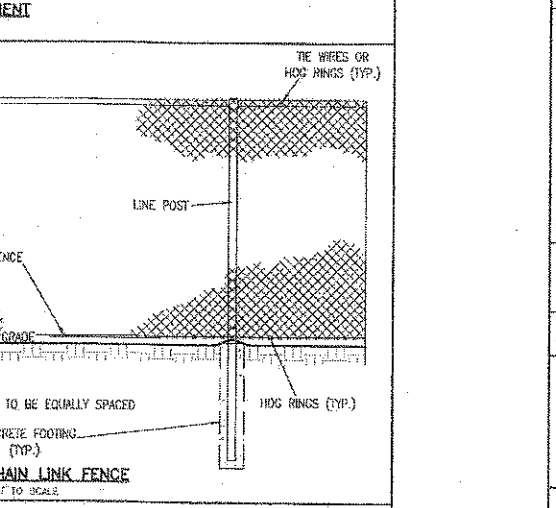
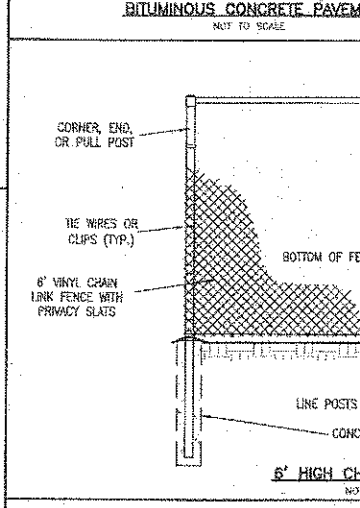
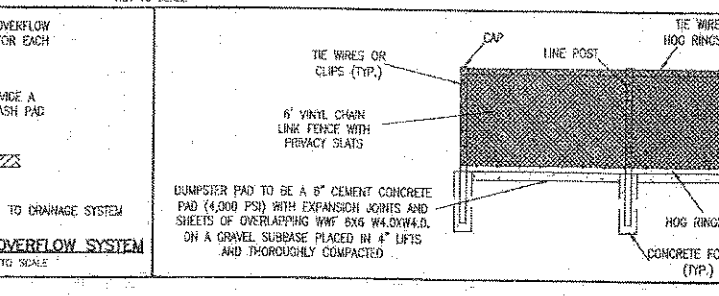
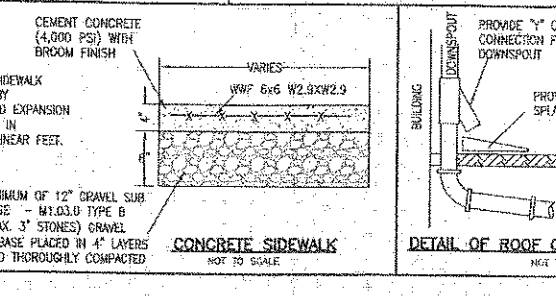
HI-FLOW SILTSACK®
(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE MULLEN BURST	ASTM D-4833	135 LBS
TRAPEZOID TEAR UV	ASTM D-3788	420 PSI
RESISTANCE APPARENT	ASTM D-4533	45 LBS
OPENING SIZE FLOW RATE PERMITIVITY	ASTM D-4359	90%
	ASTM D-4751	20 US SIEVE
	ASTM D-4491	200 GAL/MIN/SQ FT 1.5 SEC
	ASTM D-4491	-1



NOTES:

- UNLESS OTHERWISE NOTED, ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS AND THE MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- WATER SUPPLY LINES SHALL HAVE A MINIMUM OF 5 FEET OF COVER AND SHALL CONFORM TO THE CITY OF TAUNTON DEPARTMENT OF PUBLIC WORKS RULES AND REGULATIONS.
- THE BRAND, TYPE AND SPECIFICATIONS OF ALL WATER GATES, FITTINGS, PIPE MATERIALS AND WATER SYSTEM COMPONENTS SHALL BE APPROVED BY THE TAUNTON DIRECTOR OF PUBLIC WORKS, THE LAKEVILLE DPW DEPARTMENT AND THE FIRE CHIEF PRIOR TO INSTALLATION.
- UNLESS OTHERWISE NOTED, ALL DRAINAGE PIPE IS TO BE ADS N-12 STEEL PIPE.



ZCF

ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4206

DETAIL PLAN

56 MAIN STREET
LAKEVILLE, MASSACHUSETTS

MATT FALCONEIRI
86 WEST GROVE STREET
MIDDLEBORO, MASSACHUSETTS

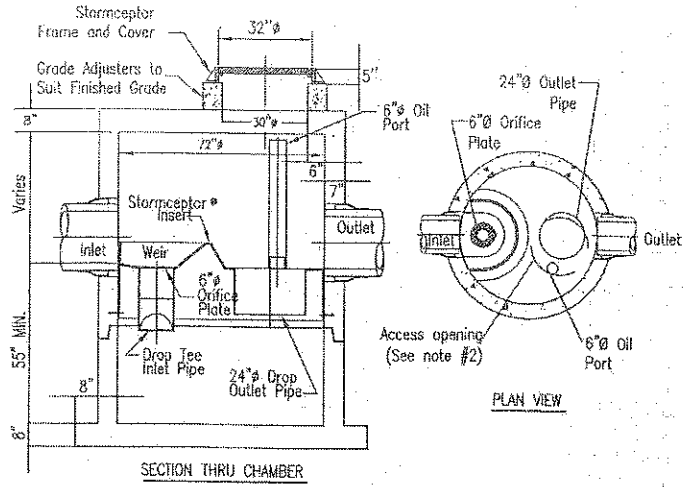
DATE: 6-15-2018
DESIGNED BY: NCZ
CHECKED BY: JLB
APPROVED BY: NCZ

REVISIONS:

REV.	DATE	DESCRIPTION	BY	APP.
1	7/24/18	RESPONSE TO REVIEW COMMENTS	RMF	NCZ
2	8/7/18	RESPONSE TO P.B. COMMENTS	NCZ	JLB

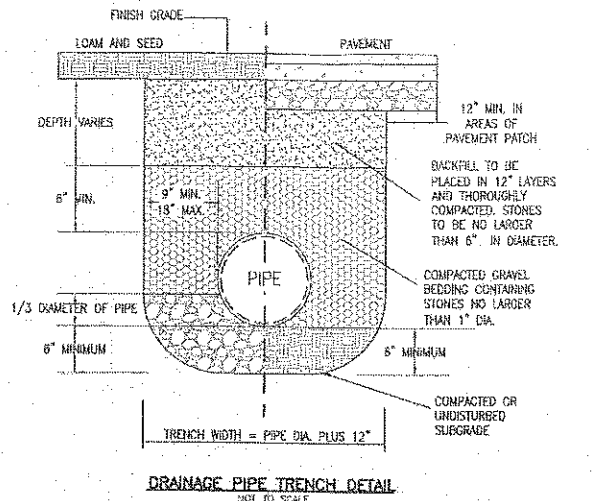
DRAWING SCALE: AS NOTED
SHEET ID: D-1

STC 900 Precast Concrete Stormceptor®
(900 U.S. Gallon Capacity)

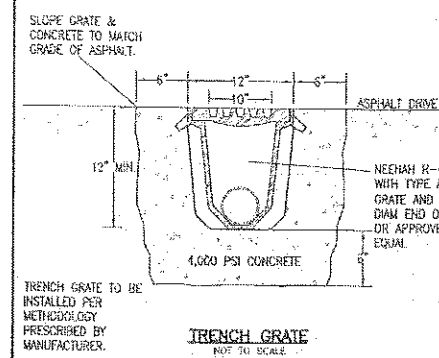


- NOTES:
1. THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 2. THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL PORT.
 3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371890.
 4. CONTACT A CONCRETE PIPE DIVISION REPRESENTATIVE FOR FURTHER DETAILS NOT LISTED ON THIS DRAWING.

STC 900 PRECAST CONCRETE STORMCEPTOR
NOT TO SCALE



DRAINAGE PIPE TRENCH DETAIL
NOT TO SCALE



TRENCH GRATE
NOT TO SCALE

SOIL LOGS:

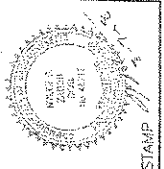
DATE: 8-28-02, 11-9-17
PERFORMED BY: (DARREN MICHAELS, AZOR), MYLES ZAGER, ZOE WINKESS BY: (MANNY MELLO), KEVIN BERNARDO, LAKEVILLE SOH

DEPTH (INCHES)	TP-3A	ELV. (FEET)	DEPTH (INCHES)	TP-3B	ELV. (FEET)	DEPTH (INCHES)	TP-4	ELV. (FEET)
0	A	88.0	0	A	88.3	0	FILL	85.0
15	SANDY LOAM TOR 3/1	86.8	15	SANDY LOAM TOR 3/1	86.1	15	SANDY LOAM TOR 3/2	83.4
26	LOAMY SAND TOR 5/6	85.7	26	LOAMY SAND TOR 5/6	84.1	44	SANDY LOAM TOR 5/6	83.0
66	CLT LOAM 2.5Y 5/1	82.5	42	CLT LOAM 2.5Y 5/1	85.3	70	C1 SANDY LOAM 2.5Y 5/2	80.2
132	CLT FINE SANDS 2.5Y 5/1	77.0	120	C2 FINE SANDS 2.5Y 5/1	79.3	138	C2 WEATHER SAND 2.5Y 5/2	75.2

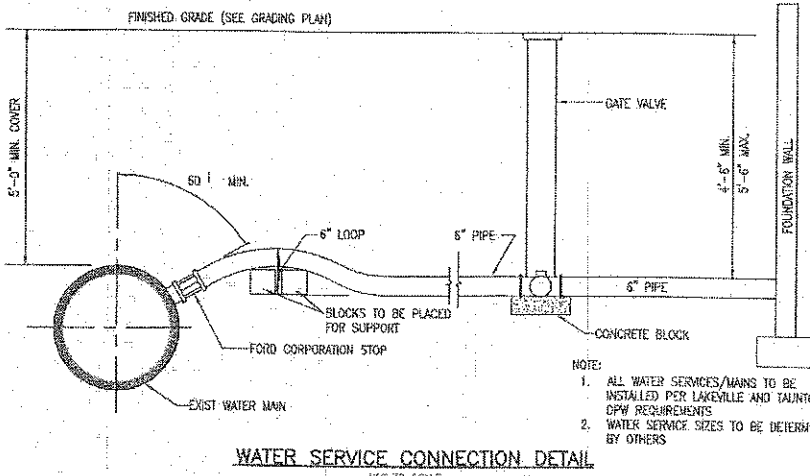
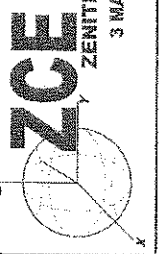
MOTTILING	WEEDING	STANDING	ESHW EL	PERC DEPTH	PERC RATE
34	NONE	NONE ENC.	83.2	54-72	5 MPH
34	NONE	NONE ENC.	85.5	51-72	2 MPH
44	NONE	NONE ENC.	83.0	NONE	NONE
85	NONE	NONE ENC.	83.0	NONE	NONE

LAKEVILLE PLANNING BOARD

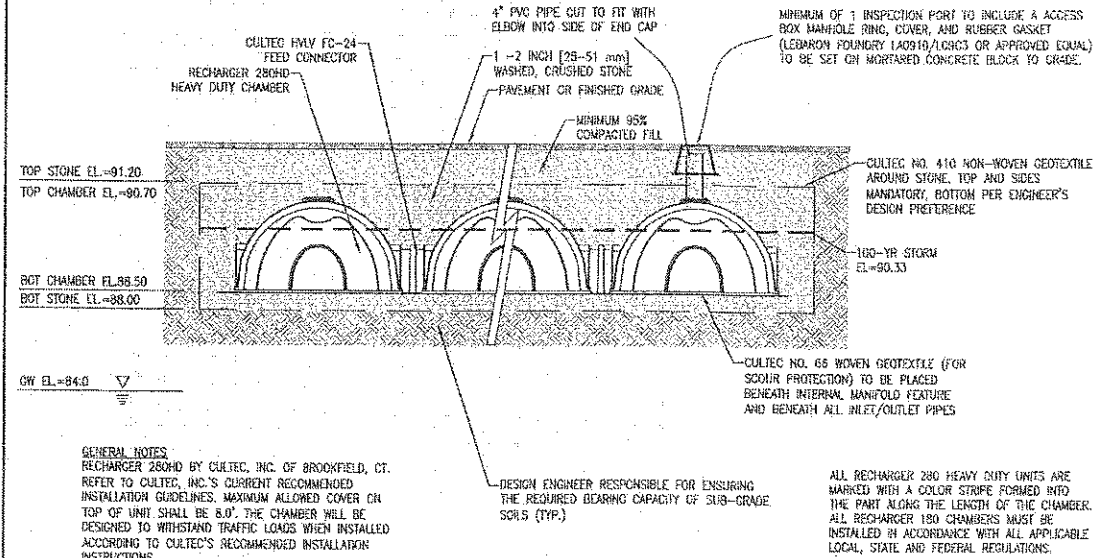
APPROVED: _____
ENDORSED: Aug 9, 2018
Quinn DeLoe
John M. Long
James M. ...



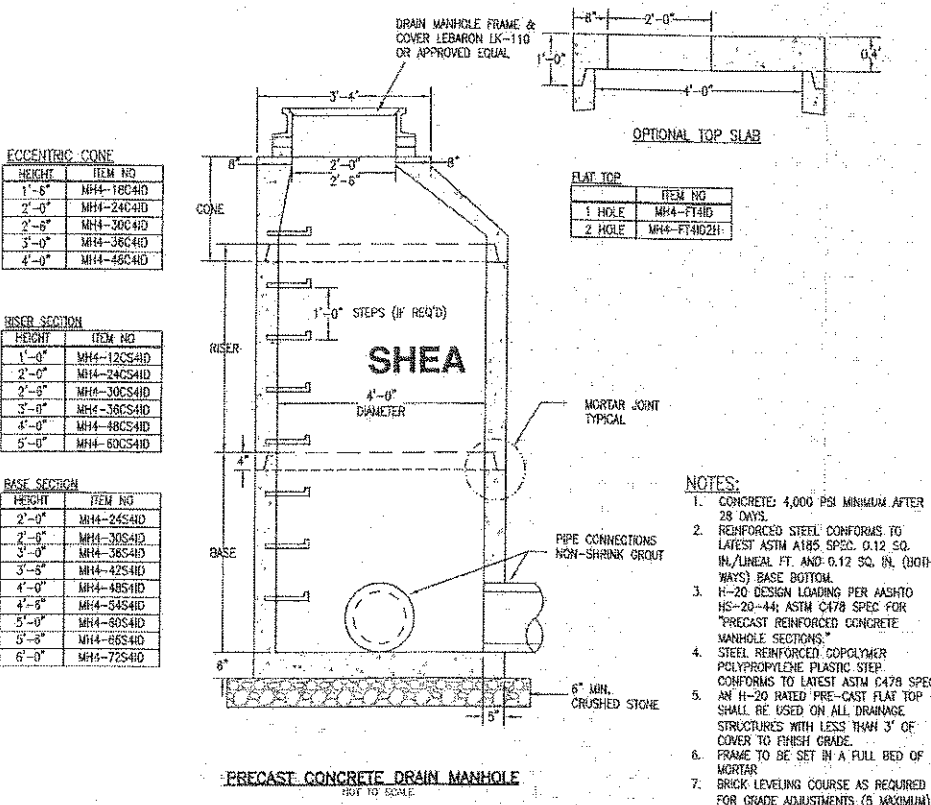
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208



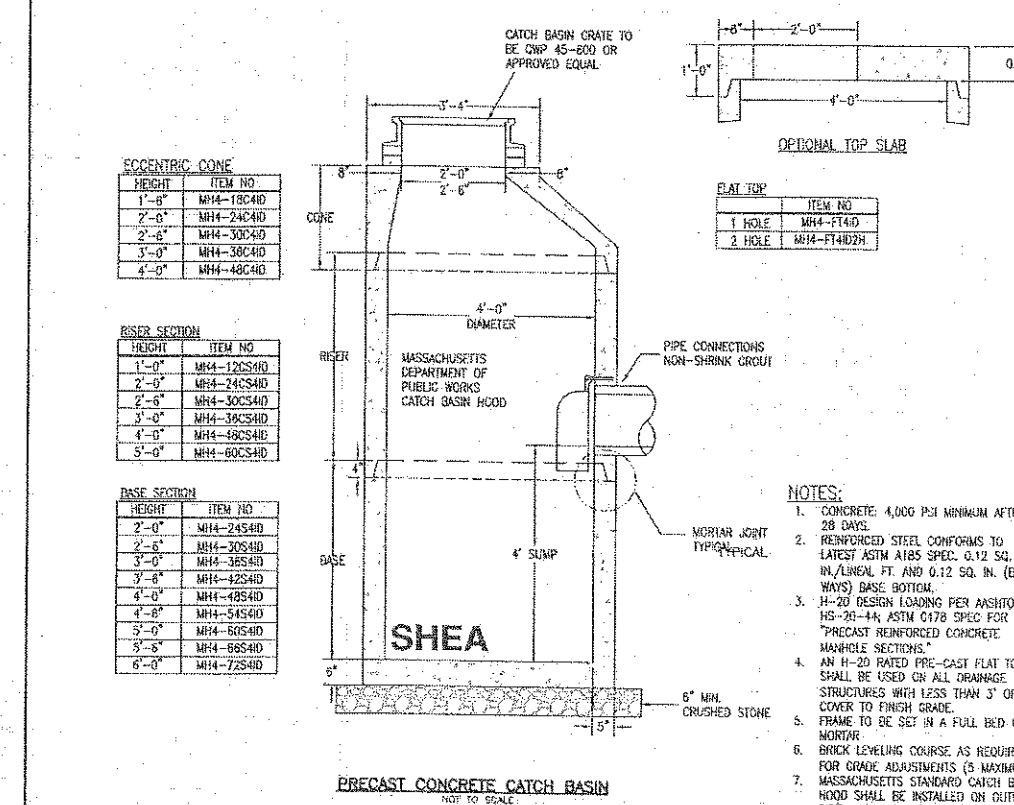
WATER SERVICE CONNECTION DETAIL
NOT TO SCALE



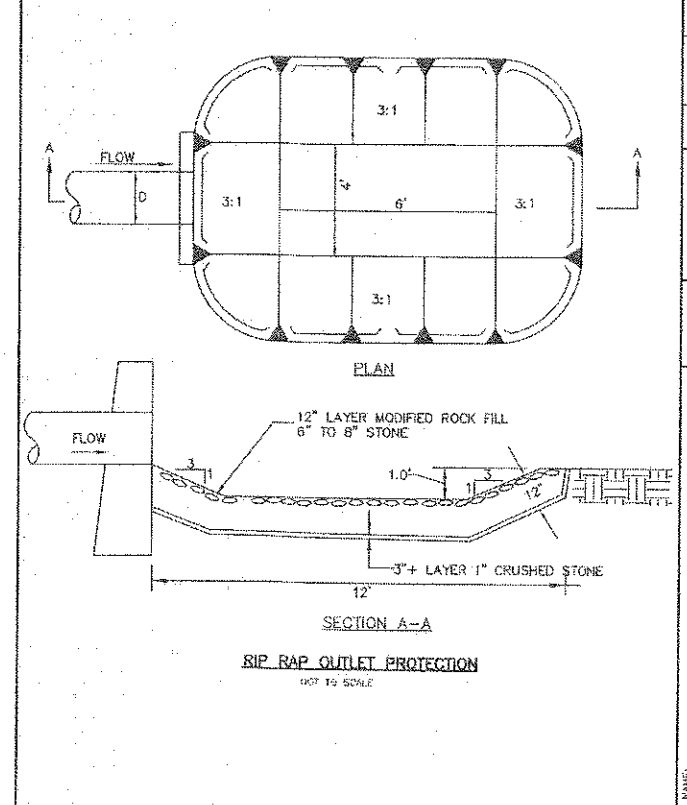
CULTEC INFILTRATION BED DETAIL
NOT TO SCALE



PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



RIP RAP OUTLET PROTECTION
NOT TO SCALE

REV.	DATE	DESCRIPTION	BY	APP.
1	7/24/18	RESPONSE TO REVIEW COMMENTS	NCZ	NCZ
2	8/7/18	RESPONSE TO P.R. COMMENTS	NCZ	NCZ

DATE	BY	DESCRIPTION
8-15-2018	NCZ	PROJECT NUMBER
02/07-02-01	NCZ	DRAWING SCALE
	AS NOTED	AS NOTED
	NCZ	SHEET ID

DATE	BY	DESCRIPTION
8-15-2018	NCZ	PROJECT NUMBER
02/07-02-01	NCZ	DRAWING SCALE
	AS NOTED	AS NOTED
	NCZ	SHEET ID

#4



2016 00029458

Bk: 46802 Pg: 202 Page: 1 of 2
Recorded: 04/13/2016 02:58 PM
ATTEST: John R. Buckley, Jr. Register
Plymouth County Registry of Deeds

Pl # 100-153

Performance Covenant

Date: March 24, 2016

We, the undersigned, Malloch Construction Company, Inc., mailing address 113 Padelford Street, Berkley, MA 02779, hereinafter called "Covenantors," having submitted to the Lakeville Planning Board a Form C Application for Approval of Definitive Plan entitled: "Julia's Way Definitive Plan for a Residential Subdivision County Street, Lakeville, Massachusetts" dated December 24, 2015 do hereby covenant and agree with said Board and the successors in office of said Board, that:

1. The covenantors are the OWNERS in fee simple absolute of all the land included in the subdivision and as shown on said Definitive Plans.
2. This covenant shall run with the land and be binding upon the executors, administrators, heirs, assigns of the covenantor, and their successors in title to land included in the subdivision and shown on said Definitive Plans.
3. Improvements to the way including the construction of the roadway and drainage (not including asphalt) shall be provided prior to the issuance of building permits. Once the fourteen foot (14') wide gravel driveway and drainage has been constructed in accordance with the approved Definitive plans referenced above, building permits for lots 3A, 3B and 3C shall then be issued. Prior to the issuance of the certificate of occupancy on the final buildable lot, the proposed fourteen foot (14') driveway must be paved while retaining the three foot (3') wide stone shoulders on both sides of the driveway.
4. Nothing herein shall be deemed to prohibit a conveyance by a single deed subject to this covenant, of either the entire parcel of land shown on the subdivision plan or of all lots not previously released by the Planning Board.
5. The covenantor agrees to record this covenant with the Plymouth County Registry of Deeds at the same time as the Definitive Plans are recorded. Reference to this covenant shall be entered upon the Definitive Plans.
6. This covenant shall be executed at the same time as the endorsement of the Definitive Plans and shall take effect upon the date of endorsement and any statutory appeal periods.

For title in the property, see foreclosure deed by Corporation of CitiMortgage, Inc. dated March 6, 2015 recorded in the Plymouth County Registry of Deeds Book 45368, Page 325.

IN WITNESS WHEREOF we have hereunto set our hands and seals below:

SIGNATURE OF COVENANTORS (OWNER[s])

Joseph M. Malloch
Joseph M. Malloch, Treasurer of Malloch Construction Company, Inc.

Date: 3/24/16

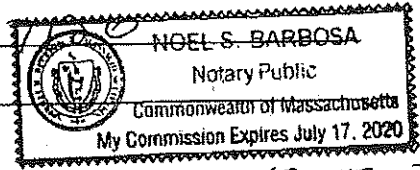
Then personally appeared before me the above named covenantor(s) and acknowledged the forgoing instrument to be (his/her) free act and deed.

Commonwealth of Massachusetts, Notary Public *Noel S. Barbosa*

Date: 3/24/16

My Commission Expires: 7/17/20

Accepted by the Lakeville Planning Board on _____



LAKEVILLE PLANNING BOARD ⁷⁻¹⁷⁻²⁰

Brian J. Hayes

[Signature]

Jessica M. Stewart

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10000000000000000000
00000000000000000000

**TOWN OF LAKEVILLE
PLANNING BOARD
RELEASE OF COVENANT**

Property Address: County Street and Julia's Way, Lakeville, MA

The undersigned, being a majority of the Planning Board of the Town of Lakeville, Massachusetts, hereby certifies that the construction of ways and subdivision improvements called for by Performance Covenant dated March 24, 2016 and recorded with Plymouth County Registry of Deeds in Book 46802, Page 202 have been completed to the satisfaction of the Lakeville Planning Board as shown on a Subdivision Plan entitled

"Julia's Way Definitive Plan for Residential Subdivision County Street, Lakeville, Massachusetts" Owner/Applicant: Malloch Construction Company, Inc, 113 Padelford Street Berkley Massachusetts", Scale: 1=100', Dated: December 24, 2015, Prepared by: Foresight Engineering, Inc., 518 County Road (Wishbone Way) West Wareham, MA 02576

and recorded with Plymouth County Registry of Deeds in Plan Book 60, Page 438 and said property is hereby released from the restrictions as to sale and building specified thereon.

Lakeville Planning Board

Mark Knox, Chair

Barbara Mancovsky, Vice Chair

Peter Conroy

Jack Lynch

Michele MacEachern

COMMONWEALTH OF MASSACHUSETTS

Plymouth, ss

April __, 2021

On this day, before me, the undersigned notary public, personally appeared Mark Knox, Barbara Mancovsky, Peter Conroy, Lack Lynch and Michele MacEachern who proved to me through satisfactory evidence of identification, which was based on [] personal knowledge [] a Massachusetts driver's license, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he/she signed it voluntarily for its stated purpose as members of the Town of Lakeville Planning Board.

Notary Public: _____

Printed Name: _____

My Commission Expires: _____

**TOWN OF LAKEVILLE
PLANNING BOARD
CERTIFICATE OF COMPLETION and
RELEASE of MUNICIPAL INTEREST in SUBDIVISION SECURITY**

Subdivision Name: LedgeWood Estates
Owner: Paul E. Tuner Corp.
Owner's Address: 1 LedgeWood Drive Lakeville, MA 02347

Date of Subdivision Plan: January 5, 2016 revised through March 3, 2016
Land Location: LedgeWood Drive
Plan Recorded: Plymouth County Registry of Deeds in Plan Book 60, Page 680.

Type of Performance Security: Deposit of Money

The undersigned, being a majority of the Planning Board of Lakeville, have determined that the construction of ways and installation of municipal services in the subdivision referred to above have been completed in accordance with the Board's rules and regulations to adequately serve the lots shown on the above referenced plan.

Pursuant to Massachusetts General Law Chapter 41, Section 81U, the Town of Lakeville, a Massachusetts corporation, acting through its Planning Board, hereby releases its interest in the Performance Security referred to above.

Executed as a sealed instrument this _____ day of April, 2021.

Lakeville Planning Board

Mark Knox, Chair

Barbara Mancovsky, Vice Chair

Peter Conroy

Jack Lynch

Michele MacEachern

COMMONWEALTH OF MASSACHUSETTS

Plymouth, ss

April __, 2021

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Notary Public: _____

Printed Name: _____

My Commission Expires: _____

TOWN OF LAKEVILLE
43D Public Hearing – Rhino Capital Advisors, LLC – 43 Main Street
Joint Meeting with the Planning Board and Conservation Commission
Meeting Minutes
February 4, 2021 – 7:00 PM
REMOTE LOCATION

On February 4, 2021, the 43D Public Hearing was held at 7:00 PM remotely from various locations. The meeting was called to order at 7:00 PM by Mark Knox of the Planning Board. LakeCAM was recording the meeting for broadcast.

In accordance with the Governor’s Order Suspending Certain Provisions of the Open Meeting Law, G.L. c.30A, §20, relating to the 2020 novel Coronavirus outbreak emergency, the February 4, 2021 public meeting of the **43D Public Hearing – Rhino Capital Advisors, LLC – 43 Main Street** shall be physically closed to the public to avoid group congregation. **However, to view this meeting in progress, please go to facebook.com/lakecam (you do not need a Facebook account to view the meeting). This meeting will be recorded and available to be viewed at a later date at <http://www.lakecam.tv/>**

Chairman Knox opened the Planning Board meeting with a roll call vote of the members of the Planning Board Members. Planning Board Members present: Mark Knox, Peter Conroy, Jack Lynch and Michele MacEachern. Planning Board Member Absent: Barbara Mancovsky. Chairman Knox turned the meeting over to the Conservation Commission Chairman.

Chairman Bouchard opened the Conservation Commission meeting with a roll call voted of the Conservation Commission Members present. Conservation Commission Members present: Bob Bouchard, Josh Faherty, Joe Chamberlain and Mark Knox. Conservation Commission Members absent: Nancy Yeats and John LeBlanc.

Chairman Knox acknowledged others present as follows: Scott Turner – Environmental Partners, Amy Kwesell – KP Law, Tyler Murphy – Rep. Rhino Capital, Brittany Gesler – VHB Civil Engineer, Katie Kudzma – VHB and Bill Madden – Gregory Lombard Design

Chairman Knox said that this is Public Hearing #5 with a presentation of some plan changes. Chairman Knox turned the meeting over to Brittany Gesler to begin the presentation. B. Gesler explained that tonight there will be a slight change in the presentation that was originally scheduled. Wetlands and Stormwater were to be discussed during tonight’s session but it has been moved to the February 18th meeting. Since there has been a lot of conversation with the Town and the abutters over the last two months, modifications have been made to the project plans that they would like to go over. B. Gesler noted that in addition to that she would like to touch on some of the existing features on the site that are remnants of the former hospital activities.

Katie Kudzma, VHB, provided an overview of the removal and abatement activities. It is noted that the Solid Waste Disposal area is approximately 1.12 acres; 11,000 cubic yards, this is an unlined and uncapped landfill from the 1950’s through 1974 that consists of incinerator ash, appliances, clothing/rags, construction and demolition debris and other solid wastes. There were

two options to handle this area either by removing all the materials or cap it in place. They have chosen to take the more conservative route and will be removing the materials entirely and leave a clean site. There was a previously approved permit in 2009 and it is the applicant's intent to transfer the permit for use for their project.

T. Murphy spoke about the building abatement, which is approximately 407,653 square feet and a total of seven buildings all in total disrepair. They have been working with DEP on the abatement and demolition of these buildings and have come up with a "non-traditional working plan" with the comingling of traditional activities for removal in designated areas and areas where that is no longer possible. It all has to be done together at the same time.

Bill Madden, Gregory Lombardi Design, reviews the screening enhancements. There have been steepened berms around the perimeter of the site, an increased diversity of species selection and integrate pollinator species, layer of evergreen trees with deciduous so the visual screen is extended through the winter months and an increase of the overall quantity of trees with an emphasis on evergreens. They have included a "no mow" mix for areas that are not in the meadow, they have added a tree protection fencing for existing trees to remain and they have specified a rain garden seed mix along the edges of the stormwater structures and a wetland plug mix for the base.

B. Gesler provided an overview of the Main Street Screening. They have reduced the parking at the front of the site from 275 spaces down to 170 spaces. They are now proposing an 8' tall landscape berm at the easterly front corner and 2' tall landscaping berm along the limits of the front parking lot. There are also additional shrub plantings augmented with canopy and evergreen trees. The intention is to screen the vehicles from Main Street not the building.

B. Gesler provided an overview of the Westerly (Rush Pond Road) Screening. They have steepened the slopes from 3:1 to 2:1, which increased the berm height from 12'-17' to 14' to 24' and added a swale on the exterior side of the westerly berm. There is an increase in the quantity of the canopy and evergreen trees with a greater diversity of species including Lakeville natives. A new item of 1,000+ linear feet of 8' tall fence equipped with AcoustiFence has been added which increases the effective screening from 22'-32'. B. Madden speaks about the naturally rolling landscape they will be creating. The landscaping will be used to compliment the adjacent woodlands with an increase in evergreen tree species to maximize the year-long visual screening.

B. Gesler provided an overview of the Rear Screening. They have removed 60 land banked parking spaces and added a 6'-8' tall berm north of the ring road. B. Madden speaks about the extending of the naturalized landscape screening around the corner to the rear of the building. It is noted that the rear berm and AcoustiFence turn the corner to be contiguous with the Westerly Berm AcoustiFence. The planted and elevated edge will screen headlights and views from the adjacent community and there is an extension of the naturalized species palette.

B. Gesler reviewed a few items on the plans that have been modified and resubmitted. Those include the parking spaces which has been reduced from 403 spaces down to 298 spaces and the reduction in the proposed full build-out from 564 spaces down to 504 spaces. It is noted that because this is speculative development where we do not know who the tenants will be or the

type of operations, one operation to consider is that there might be a needed for seasonal peak parking. There also could be a business that uses company branded vehicles that they may not need daily but they will be parked onsite. There also could be a business that might hold inside trainings or meetings that may require additional parking. It is noted that they have added two security booths. These are 8'x8' booths to help keep the premises secure and a bike rack has been added to the front of the building.

B. Gesler reviewed the adjustments made to the stormwater management plan. The grading of two of the surface infiltration basins have been revised and they have been removed from the wetlands. The roof drains will run off to perforated pipe to clean the roof runoff and help disperse infiltration on the site. Their stormwater design is conservative so they have not counted these changes in the calculation. B. Gesler concludes the presentation and is ready for questions.

Chairman Knox asked B. Madden if the evergreens will be used on the corner of the property where the abutters are concerned with the headlights or sprinkled throughout the landscape. B. Madden answers that there will be two species sprinkled throughout the landscape. Chairman Knox asked about the roof run off and perforated pipe and if it is included in the stormwater calculations. B. Gessner confirms that it is detailed in the stormwater report and that they have been conservative with their calculations which is a benefit to the underlying groundwater. Chairman Knox asked for confirmation of the length of the acoustical fence and he noted it looks like it runs down the length of the berm from Main Street down to the back to the bend. B. Gessler confirms that is correct.

T. Murphy noted that the 4ft fence around the berm in the back is for safety only, that its chain link and that there is no visual or sound barrier related to that.

Chairman Knox referenced the trip generations and the land use codes and that he would like Environmental Partners to look at using the codes 150 through 157, since they are all similar uses. He is just providing a heads up to the team that he will be looking for more information on this.

Peter Conroy, Planning Board Member, noted the reduction in the parking and the addition of the guard booth/security gates that were added. He also noted that the additional trees that benefit the abutters. T. Murphy noted that the color of the fence is green to help it blend in. There is a warranty on the acoustical material of one year and the tenant will be maintain it from that point forward.

Michele MacEachern, Planning Board Member, approves of the berms and the work the applicant is doing with the abutters in hearing the concerns and addressing them. She asked how much the demolition and the landfill clean-up will cost. T. Murphy noted that approximately 10 million dollar cost. M. MacEachern asked about the tax revenue from the property. T. Murphy believes the figure 24 times over what the current tax revenue is today and that was based on the building and land values.

Jack Lynch, Planning Board Member, asked about the asbestos clean-up process and the assurance that the process is going to allow for the control of asbestos fibers disbursing into the

abutter areas and how that will be monitored. It is explained that the contractor will be working directly with DEP to make sure that there is no transmission of hazardous materials and they will be there to monitor that specifically.

Chairman Knox asked for an update on the ENF from the State. B. Gessler noted that they had filed with MEPA in the fall and requested a 2-step review process. This is an expanded ENF that includes Traffic and Greenhouse Gas analysis. They went through the comment period with abutters, Town and State agencies, and based on that MEPA issued the Certificate on the Expanded MEPA, so they are not entering into the second step of the review process. They are working now on the Environmental Impact Report (EIR) in response to comments that were submitted by the State agencies and they will be preparing the EIR responding to those comments and submitting any minor modifications as we've outlined during the presentation. Once that is complete there will be a second public comment period and then, hopefully, a conclusion of the MEPA review process.

Chairman Knox referenced the continuation of receipt of comments and letters from abutters which have been forwarded along for response from the applicant. He thanks those who submitted items for their input.

Chairman Knox asked if there is any comment from the Conservation Commission.

Joe Chamberlain, Conservation Commission, asked if the Historical Commission had gotten in touch with the applicant in regard to salvaging some items before the buildings are demolished. T. Murphy referenced reading something about it when National Development was working the property. J. Chamberlain explained that Nancy LaFave will be reaching out to them to see about salvaging some items as long as it isn't a liability to the applicant. T. Murphy explained that currently there is no allowed access to those areas but he will look into if something can be removed. He also noted that he would be happy to contact the Historical Society or the Historical Commission to see what they are looking for.

B. Bouchard and Josh Faherty, Conservation Commission, have no comments.

Chairman Knox opens the hearing up for public comment.

Paul Turner stated that he is satisfied with the changes made to the plans as it relates to his project.

John Ayers, 21 Rush Pond Road, stated that he was glad to see the berm was increased and the acoustical fence added. He asks what the reduction in noise will be with the backup beeping. T. Murphy noted that they do have their sound guy going back to look at those changes an update will be shared on this.

Paul Turner asked what the nature of the solid waste is in the landfill.

Katie Kudzma explained that the solid waste is primarily consistent of construction and demolition debris they are not aware of any hazardous waste. She confirms that it has been tested and no hazardous waste was found.

Chairman Knox reads the comments from Facebook about decreasing the number of truck bays, if there is a tenant and how the location is a tough spot for 18 wheelers. Chairman Knox asks if there is a rebuttal on any of the comments. There is no comment from VHB on these.

Mary Murphy, 2 Lori Lane, said that she has not heard of any plans for noise or light pollution toward Lori Lane. T. Murphy explained that there will be no mitigation at the State Highway at this point and that they have done as much as they can do at this time.

Daniel Ferreira, Resident, asked what the anticipated length of demolition and rebuilding and when will the berms be put into place. T. Murphy noted that the length of time for demolition is scheduled for six months, not all physical demolition, that is a small portion of the six month timeline. It will be toward the end of the demolition that the site work will begin and the berm and the shaping of the earth. D. Ferreira asked how long the project will take in total. T. Murphy responded approximately 16 months.

Chairman Knox referenced the question as to whether there are any other operations in Town that operate on a 24/7 basis. Chairman Knox noted that currently there are some businesses on Kenneth Welch Drive that operate with those hours. He noted that if the project is approved they will add conditions in for whatever the truck operation will be.

There is a question asked as to whether this can be moved to Town Meeting. Chairman Knox explains that they cannot do that and that this is a DOD District that was put into place by a Town Meeting vote and allows the process that the project is currently in.

R. Scott, Rush Pond Road, asks how the Boards are going to reconcile the various comments and responses with all the reviews taking place and how will that manifest itself in terms of something worth of conditioning or not. Chairman Knox explained that the Board and the Town for the most part side with the peer reviewer representing the Town, not the proponents. He states that the Board has not discussed this yet and that they are still taking information. R. Scott asked if Environmental Partners reviewed the MEPA submittal. S. Turner confirmed that they reviewed the MEPA submittal and the notification. He also noted that they will be reviewing the single EIR as well. R. Scott asked if the applicant will consider less loading docks. T. Murphy noted that they will continue with the proposed design but will reduce the doors to what the future tenant needs.

John Jenkins asked if at this point the Planning Board can deny the project. Amy Kwesell, KP Law, confirms that the Board has the authority to either approve, approve with conditions or deny. It is noted that you cannot deny without a hearing.

Chairman Knox acknowledges that Richard Scott has sent over some additional materials and a letter. This will be forward to the applicant and the peer review agent for discussion and review.

Chairman Knox noted that that the Planning Board and Conservation Commission will be continuing their hearings to their next dates, as needed. The continued public hearing will be on February 18, 2021 at 7 PM.

Chairman Knox asked for a motion to continue the Lakeville Planning Board hearing.

Upon motion made and seconded the Lakeville Planning Board voted to continue the public hearing for the 43 Main Street Application with Rhino Capital Advisors LLC to Thursday, February 18, 2021 at 7 PM. Polled vote: Mark Knox - Aye, Jack Lynch – Aye, Peter Conroy – Aye and Michele MacEachern – Aye.

Chairman Knox turned the hearing over to Chairman Bouchard for the Conservation Commission. Chairman Bouchard asked for a motion to continue the Lakeville Conservation Commission hearing.

Upon motion made and seconded the Lakeville Conservation Commission voted to continue the public hearing for the 43 Main Street Application with Rhino Capital Advisors LLC to Thursday, February 18, 2021 at 7 PM. Polled vote: Bob Bouchard - Aye, Joe Chamberlain - Aye and Mark Knox – Aye.

ADOURNMENT

Conservation Commission

Upon motion and seconded made at 8:38 PM to adjourn the Conservation Commission meeting. Polled vote: Bob Bouchard - Aye, Joe Chamberlain - Aye and Mark Knox – Aye.

Planning Board

Upon motion and seconded made at 8:38 PM to adjourn the Planning Board meeting. Polled vote: Mark Knox - Aye, Jack Lynch - Aye, Peter Conroy - Aye and Michele MacEachern – Aye.

TOWN OF LAKEVILLE
43D Public Hearing – Rhino Capital Advisors, LLC – 43 Main Street
Joint Meeting with the Planning Board, Conservation Commission
And Board of Health
Meeting Minutes
February 18, 2021 – 7:00 PM
REMOTE LOCATION

On February 18, 2021, the 43D Public Hearing was held at 7:00 PM remotely from various locations. The meeting was called to order at 7:00 PM by Mark Knox of the Planning Board. LakeCAM was recording the meeting for broadcast.

In accordance with the Governor’s Order Suspending Certain Provisions of the Open Meeting Law, G.L. c.30A, §20, relating to the 2020 novel Coronavirus outbreak emergency, the February 18, 2021 public meeting of the **43D Rhino Development Application** shall be physically closed to the public to avoid group congregation. **However, to view this meeting in progress, please go to facebook.com/lakecam (you do not need a Facebook account to view the meeting). This meeting will be recorded and available to be viewed at a later date at <http://www.lakecam.tv/>**

Chairman Knox opened the Planning Board meeting with a roll call vote of the members of the Planning Board Members. Planning Board Members present: Mark Knox, Barbara Mancovsky, Peter Conroy, Jack Lynch and Michele MacEachern. Chairman Knox turned the meeting over to the Conservation Commission Chairman.

Chairman Bouchard opened the Conservation Commission meeting with a roll call vote of the Conservation Commission Members. Conservation Commission Members present: Bob Bouchard, Joshua Faherty, Nancy Yeatts, Joe Chamberlain and Mark Knox. It is noted that John Leblanc is not in attendance. Chairman Bouchard turned the meeting over to the Board of Health Chairman.

Chairman Maxim opened the Board of Health meeting with a roll call vote of the Board of Health Members. Board of Health Members present: Bob Poillucci and Chris Spratt. It is noted that Derek Maxim is not in attendance. Also present is Edward Cullen, Health Agent.

Chairman Knox acknowledged others present as follows: Scott Turner – Environmental Partners, Amy Kwesell – KP Law, Tyler Murphy – Rep. Rhino Capital, Brittany Gessler – VHB Civil Engineer and Sarah French – VHB Wetland Scientist

Chairman Knox noted that this is Public Hearing #6: Wetlands & Buffer Zone Impact, grading, Stormwater Management, Erosion Control, Septic and Utilities.

B. Gesner turns the meeting over to Sarah French, Wetlands Scientist. S. French provided a second review of the wetlands on the site. The wetland delineations have been reviewed by Environmental Partners and at their request Wetland 4 was added. There is Wetland 1 which has a certified vernal pool, flagged in the field, with bordered vegetative wetlands, and a portion

encumbered by the solid waste disposal area (SWDA); Wetlands 2 & 3, which are non-jurisdictional wetlands, small and isolated to the north on the property not effected by the project; and Wetland 4, bordered vegetative wetland, which is offsite (Rush Pond) and located west on the property. All of the wetland resource areas, including the vernal pool has been reviewed with Environmental Partners. S. French reads the definition of a certified vernal pool and explains that the vernal pool exists within Wetland 1 and does not extend beyond that. She noted that the storm water features have been moved outside of the 100ft setback, which leaves only the solid waste disposal area to be mitigated

B. Gesner noted that there will be work done within the buffer zone. There will be the installation of erosion controls, new pavement for circulation driveways, a retaining wall, the solid waste removal along with regrading and ancillary landscaping. She reviewed the work within the resource areas. There is 510 sq. ft. of direct wetland impacts to remove the solid waste disposal area. There is a Water Quality Certificated requirement from MassDEP for impacts to Certified Vernal Pool (ORW). A pre-construction notification is required to the Army Corps of Engineers for work within the Certified Vernal Pool. There is a requirement that work within resource areas will be completed by hand or by machines located in uplands. The wetland impacts will be mitigated by a 1:1 restoration of resource areas. B. Gesner reviewed the photos taken of the solid waste disposal area and Wetland 1.

S. French reviewed the wetland restoration, which will be done under the supervisions of a Wetland Scientist with all work to be performed from the upland. The restoration to include the removal of debris and solid waste from the wetland of approximately 510 sq. ft. and placing at least 12-inches of wetland soils as needed to match the grade. The topography will mimic that of a natural wetland. The fallen logs, branches and other natural woody debris shall be saved for placement in the restored area to provide beneficial wildlife habitat. The wetland restoration area will be monitored by a Wetland Scientist for two growing seasons. B. Gesner confirms that a peer review was done of all the topics discussed on wetlands and the applicant agrees with all of their comments, they will be putting together a formal response.

B. Gesner provided an overview of the existing conditions of the site grading. The site has been widely disturbed through the 1900's. The highest site elevation is 125+ (NAVD 1988) which is located near the Hospital Building. The site slopes down in all directions to 92' +/- at Main Street, 94' +/- near Rush Pond, 91 +/- near Rhode Island Road and 80' +/- near Wetland 1 with the perimeter grading generally flat with no screening.

B. Gesner provided an overview of the proposed conditions of the site grading. The building located at the highest site elevation will be 110 +/- (NAVE 1988) this does not include perimeter berms. The site slopes down in all direction to tie into existing conditions, which are 92 +/- at Main Street, 94' +/- near Rush Pond, 91 +/- near Rhode Island Road and 80' +/- near Wetland 1. She referenced the dog leg portion of the site, where there is an approved project to the left that they are coordinating their project with. It is noted that they are doing the best they can to be good neighbors. The pavement grades proposed are less than 5% with accessible parking spaces, pedestrian routes and are in compliance with ADA/AAB requirements. The landscape grades are less than 3:1 or 2:1 in "no mow" areas. Some of the additional site grading to be done are the basements with all existing buildings will be filled and the landfill will be removed and properly

disposed of offsite. New construction materials will be required such as pavement, foundations, utilities, etc.

B. Gesner reviewed the Stormwater Management. She explained that the project proposes a new Stormwater Management System that is compliance with the MassDEP Stormwater Management Handbook and Stormwater Management Standards. It is noted that this project complies with all 10 Stormwater Management Standards.

B. Gesner reviewed the Stormwater Management existing conditions. There is a 43.1 acre study area and the stormwater flows from the site to 9 design points. The main hospital building and surrounding parking areas have a structured system with the remainder of the site draining via overland flow. There is no existing stormwater management infrastructure.

B Gesner reviewed the Stormwater Management proposed conditions. The same proposed conditions of the 43.1 acre study area and stormwater flows from the site to 9 design points apply. In addition is the structured drainage system to collect runoff from the entire development as well as a swale on the western side to collect runoff from the berm. She reviews the Best Management Practices (BMPs) which includes, deep sump hooded catch basins, gravel wetland (low impact development feature), infiltration basins and a Hydrodynamic Separator. It is noted that the proposed drainage piping is sized to convey the 10-year storm event.

B. Gesner reviewed the ten stormwater management standards and how they have met all ten standards.

B. Gesner reviewed erosion and sedimentation control for the project. The project will be subject to the U.S. Environmental Protection Agency (EPA) National Pollutant Discharge Elimination System (NPDAS) Construction General Permit (CGP). The site and construction shall be managed in accordance with SWPPP throughout the entire duration of the construction. Straw wattle and silt fence will be placed around the entire limits of disturbance and silt sack will be in all on-line existing and proposed catch basins. There will be temporary crushed stone at the construction exit and the disturbed soils shall be stabilized if activity is ceased for more than 14 days. There will be temporary sedimentation basins and stockpiles shall be established if stored for more than 14 days with erosion control protection at the toe of slope.

B. Gesner reviewed the septic system and noted that there is no public sewer system. They have designed and are proposing an onsite septic system for wastewater disposal in accordance with 310 CMR 15.000 (Title V). There are no public water wells within 400' of the system and there are no private water wells within 100' of the system. There is a review of the design flow calculation of 6,045 Gallons Per Day (GPD) and this is a pressure dosed system.

B. Gesner reviewed the soil absorption system. There are two areas of thirteen trenches with reserved area between the trenches. There were seven test pits and two perc tests completed and observed by VHB and the Board of Health in September 2020 and January 2021. The estimated seasonal high groundwater elevation is 88.7'. There is more than a 12' separation between soil absorption systems and groundwater. It is noted that there is a 4' minimum requirement per Title V.

B. Gesner reviewed the site utilities. The public water from the City of Taunton will be supplied through the water main within Main Street. There will be one connection in Main Street and a water main to the loop building. There are nine proposed fire hydrants, make up of one hydrant within 250' of all exterior points of the building. The electric service will come from Middleboro Gas & Electric in Main Street and an emergency generator is proposed. There is natural gas service form Main Street.

Chairman Knox mentioned a few of the many submittals that have been received regarding the project. He referenced the Mass DOT documentation, submittal from a resident at 2 Calley Road, information from the Town Of Lakeville from when Rita Garbit was the Town Administrator, samples of warrant language, a list of tasks related to the Chapter 43D program, correspondence between Richard Scott and a Sound Engineer and a memo from Environmental Partners related to trip calculations.

Chairman Knox opens the discussion up to the Board of Health members to discuss the septic. C. Pratt noted that his comments were addressed in Environmental Partners letter.

B. Poillucci noted that Environmental Partners letter answered his questions as far as the depth of the septic tanks. He asked about the light post. E. Cullen noted that he and the applicant were in agreement that the light post is within the septic and that it will have to be moved over. B. Gesner confirms this and she also confirms that there were no major concerns with any of the comments. There is a brief discussion on soil materials and the fact that the site has been disturbed so many times over 100 years. C. Pratt does note that the depth of the tanks would require a variance application, if that is what they are looking for. B. Gesner will take a look at that and circle back.

Board of Health - Continue & Adjourn

Upon motion made and seconded the Lakeville Board of Health voted to continue the public hearing for the 43 Main Street Application with Rhino Capital Advisors LLC to Thursday, March 4, 2021 at 7 PM. Polled vote: Bob Poillucci – Aye and Chris Spratt – Aye

Upon motion and seconded made at 8:39 PM to adjourn the Board of Health meeting. Polled vote: Bob Poillucci - Aye and Chris Spratt - Aye.

Chairman Knox turns the meeting over to the Conservation Commission for questions and comments.

Joe Chamberlain, Conservation Commission Member, asked about the offsite grading near Rush Pond Road and asked how far the separation is from the buffer to the pond. B. Gesler noted that the grading within the buffer zone adjacent to Rush Pond is approximately 10ft, so 90ft away from Rush Pond Road. She explained that there is a wooded steep slope. J. Chamberlain also asked about the drainage swale that was not clear exactly where on the wetland it is located. B. Gesler noted that they will add details for the drainage swale. He asked if the SWIP has been filed yet. They are working on this. There are a few other small drainage details discussed.

Nancy Yeatts, Conservation Commission Member, would like to make sure that all these issues are addressed before the Commission makes its decision. There is concern expressed for the stormwater piping which is sized for a ten year storm event. It is noted that the requirements in the Lakeville Rules and Regulations of Planning has the requirement of the 25 year storm event. S. Turner explains that many municipalities require the same size piping for a private site and subdivisions and that it is up to the discretion of the Planning Board to decide what the policy is on that. Chairman Knox confirms that they will take that under advisement and that it is a unique situation.

Chairman Bouchard asked if any of the existing USGS wells are still functioning or maintained on the property or any monitoring wells. Chairman Knox asked that they be identified on the plans.

J. Faherty asked for more detail to be provided to the Conservation Commission on the crush stone driveway tracking pad and what the maintenance plan is for that. B. Gesler will provide this.

Chairman Knox asked B. Gesler on behalf of the Conservation Commission and the Planning Board to provide a sample Order of Conditions showing what they expect to see and provide it for review so that they can review and make suggestions or changes. B. Gesler agrees to provide a draft Order of Conditions. Chairman Knox also asked for documentation or grading easement on the adjacent properties to make sure that everyone is okay with the grading requests as shown on the plans. T. Murphy spoke about the approach from Zenith Engineering Consultants from the abutting properties, working with B. Gesler to design plans to make the grading work. Attorney Mather will provide a letter from them stating they initiated this request and are actively working with the engineers to make that work.

Chairman Knox clarifies with S. French the removal of the solid waste. S. French explained that the handwork is within the wetland itself and it is only a small sliver. They will not need equipment access to the wetland. Chairman Knox asked that they do what is necessary to get everything removed. S. French referenced the Certified Professional that spoke at the last meeting, they will be conditioning that she be present to witness the cleaning and abatement and she is able to certify the site protection to DEP, since it is such a high profile site. Chairman Knox asked that documentation be provided to certify that it was done.

Chairman Knox asked if there are any comments from the Planning Board members.

Barbara Mancovsky, Planning Board Member, asked if the Wetland Scientist overseeing this part of the project at the expense of the contractor need to be qualified by the Town to make sure that they meet the standards. B. Gesler confirms that they will be overseeing everything from the removing of the landfill, the Wetland Scientist oversees the direct wetland impact, those 500 ft of replication and there will be a Licensed Site Professional to oversee the removal of the entire landfill. Chairman Knox asks for assurance that they employ someone from a reputable firm that the Town is comfortable with. S. Turner spoke about the two different roles and their representation on the project.

B. Mancovsky asked about the hydroseparator. B. Gesler explained how the hydroseparator works with a swirling factor that allows out into the sump before the stormwater discharge. B. Mancovsky asked about upsizing the pipes to a 25 year storm event. S. Turner will go back and look through to see the rainfall increases were when they sized the stormwater system. J. Faherty confirms that he is concerned about the 25 year and 50 year storm events.

Peter Conroy, Planning Board Member, asked about the City of Taunton water supply and the Middleboro Gas & Electric's agreements for services. He would like to see the documentation that confirms their agreements with the applicant. T. Murphy noted that the gas source is Eversource and that they are working with them to confirm that they have the capacity from a utility perspective. T. Murphy confirms that they did have a meeting with Taunton Water last week and confirmed the supply of 6,045 gallons per day and the hydrants with the pressurized loop. B. Gesler confirmed that she spoke with the Fire Chief regarding the hydrants and he will be provide a letter. T. Murphy spoke about the agreement with the Middleboro Gas & Electric.

Jack Lynch, Planning Board Member, asked about the hydrocad model. B. Gesler responded with how the calculations were done. There is a brief discussion on the pressure need for the hydrants.

Janet Scott, 9 Rush Pond Road, asked about the septic system and what can be seen above ground. B. Gesler explains that the septic system is entirely underground and under the pavement. Chairman Knox clarifies the 100ft buffer zone to Rush Pond Road.

Mary Murphy, Lori Lane, asked if everything discussed is going to be codified in the Special Permit they are issuing. Chairman Knox confirms that this is correct. T. Murphy spoke briefly about all the inspections that occur as part of the regular construction process and all the different agency requirements that have to be met.

Leeann Bradley, Middleborough Town Planner, asked for some specific information regarding traffic and the MEPA report. Chairman Knox confirmed that those can be provided.

Chairman Knox noted that that the Planning Board and Conservation Commission will be continuing their hearings to their next dates, as needed. The continued public hearing will be on February 18, 2021 at 7 PM.

Chairman Knox asked for a motion to continue the Lakeville Planning Board hearing.

Upon motion made and seconded the Lakeville Planning Board voted to continue the public hearing for the 43 Main Street Application with Rhino Capital Advisors LLC to Thursday, February 18, 2021 at 7 PM. Polled vote: Mark Knox - Aye, Jack Lynch - Aye, Peter Conroy - Aye and Michele MacEachern - Aye.

Chairman Knox turned the hearing over to Chairman Bouchard for the Conservation Commission. Chairman Bouchard asked for a motion to continue the Lakeville Conservation Commission hearing.

Upon motion made and seconded the Lakeville Conservation Commission voted to continue the public hearing for the 43 Main Street Application with Rhino Capital Advisors LLC to Thursday, February 18, 2021 at 7 PM. Polled vote: Bob Bouchard - Aye, Joe Chamberlain - Aye and Mark Knox – Aye.

ADOURNMENT

Conservation Commission

Upon motion and seconded made at 8:52 PM to adjourn the Conservation Commission meeting. Polled vote: Bob Bouchard - Aye, Joe Chamberlain - Aye and Mark Knox – Aye.

Planning Board

Upon motion and seconded made at 8:52 PM to adjourn the Planning Board meeting. Polled vote: Mark Knox - Aye, Jack Lynch - Aye, Peter Conroy - Aye and Michele MacEachern – Aye.

**Planning Board
Lakeville, Massachusetts
Minutes of Meeting
March 11, 2021
Remote meeting**

On March 11, 2021, the Planning Board held a remote meeting. It was called to order by Chairman Knox at 7:00 p.m. LakeCam was recording, and it was streaming on Facebook Live.

Members present:

Mark Knox, Chair; Barbara Mancovsky, Vice-Chair; Peter Conroy, Michele MacEachern, Jack Lynch

Others present:

David Morrissey

Agenda item #1

Mr. Knox read this item into the record. It was an explanation of the Governor’s Order Suspending Certain Provisions of the Open Meeting Law related to the 2020 novel Coronavirus outbreak emergency, which was why the Board was meeting remotely.

Floodplain Bylaw – Update

Mr. Knox said it had been voted to send this to Mr. Darling and Town Counsel. Did anyone have any additional update to this? Ms. Mancovsky said that she would like to confirm that information had been sent forward. Ms. Murray replied she believed that Mr. Darling had been working on it. Mr. Knox said his understanding was that Mr. Darling was going through the existing Floodplain Bylaw to make sure that there were no contradictions, overlaps, or issues with the new Bylaw they were adopting. It is not an adopt and replace but an adopt and in addition to. Ms. Mancovsky asked if this had made it to the Board of Selectmen as an agenda item for the Town Meeting. Ms. Murray replied not that she was aware of. Ms. Mancovsky said if this was not approved at Town Meeting it would be a major issue.

Mr. Knox said that he had just received a message from Mr. Darling which advised that it was pretty much complete. The Board of Selectmen know it is coming. In this case, he would hold off on sending an email. Mr. Knox said he believed the intent was to reverse engineer the timing to make sure that they could do what they need to do currently. The Selectmen were made aware that it needed to be on the Warrant, and they would still get that public hearing posted. Ms. Murray said that was her understanding as well. Mr. Knox asked that this be kept on their agenda as an action item.

Site Plan Review Bylaw – Update

Mr. Knox said that Mr. Darling had approved. It was now going to go to Atty. Kwesell for approval. Nothing had been received back from her yet. Ms. Murray said she could check in again with her for the status. Mr. Knox asked that an email also be sent to the Board of Selectmen stating that they want the Site Plan Review Bylaw included on the Warrant for the Town Meeting.

Master Plan Implementation – Discuss and respond to February 28, 2021, email from MPIC

Mr. Knox advised they had received a communication from Mr. James Rogers, co-chair of the Master Plan Implementation Committee. Ms. Mancovsky said they are addressing this the best they are able to. One item that has been on the Plan from all those years ago was the Planner, which they are working on. Ms. MacEachern said there was also the sign by-law that they were going to try to get on the Warrant, but then decided to let go for now. She knew that is also an upcoming item on the Master Plan. Ms. Mancovsky said they should get regular updates but what would be the best format to do that. Mr. Knox said maybe they should put together a letter which stated the action items completed, and include the next couple of items they intended to address. Ms. Mancovsky said she would prepare that for the Board's review. She would like to have the draft approved, and then Mr. Lynch could present it to the Master Plan Implementation Committee.

Master Plan Implementation – Update Fee Review Project

Mr. Knox said they had discussed this at their last meeting and had some proposed fees based on different disciplines that the Planning Board would oversee. One in particular was the Water Development Special District Special Permit which was for hazardous material storage within that area. Mr. Knox asked if they were addressing just that item tonight. Ms. Mancovsky said she thought they had been hoping Mr. Darling would have a chance to review it, and then advise if he thought the fees were reasonable, too low, or too high. Maybe he should view it in the context of the other communities based on the spreadsheet that had been drafted. She thought for the hazard types, they might be defined by Mass DEP hazard codes. She would like to get feedback before they vote to approve it. Mr. Knox said that hazard material storage is a use group. It's classified under the Board of Building Regulations.

Ms. Mancovsky asked if they should send this over to Conservation. Mr. Knox said they could send it to Mr. Bouchard, but they should define the parameters first. Mr. Conroy asked if they had any idea of where to start this fee. The Board then pulled up the Mass standards under the Board of Building Regulations. H1, H2, H3, and H4 were different levels of hazardous material storage. Mr. Knox said maybe they could base it on the hazard level to create a permit classification. He would need to look further into it.

Mr. Conroy asked on retainer fees when they go to \$15 a linear foot, in the past he thought they avoided writing bond or if they have bond in there, they have to also have a cash option. He asked if they should change it even if it was minor. Ms. Mancovsky then changed the wording to include or a cash surety. Mr. Knox explained the difference between the two was the following:
With a bond, there is a cost involved which the developer would not get back.

With cash, the entire amount would be returned as long as the original promise to the Town was fulfilled.

Ms. Mancovsky said she would send the document out again so that it can be circulated. Mr. Knox said to leave the highlighted section, as it is for the Water Development District and that is the only one that is incomplete.

Information for the Floodplain bylaw was then received. There was a discussion if it should just be passed on to Ms. Murray for advertising. Mr. Knox said they should first review the draft. Ms. MacEachern suggested if they find it suitable instead of waiting until the next meeting it be circulated to them, and they could reply individually. It can then be passed forward for advertising. Mr. Knox asked if the Board can agree that the approval of language to amend the Floodplain Bylaw is imperative. Mr. Knox said based on that with the amendments from the Building Commissioner, who is the Floodplain Administrator, they can trust with all accuracy anything that he drafts. They will then send it to Town Counsel for approval. All members agreed. Mr. Knox said barring any amendments from the Chairman, would the Board agree he can act to keep the Floodplain Bylaw moving forward towards making it onto the Warrant and posting a public hearing. Mr. Knox said he would consider that a motion, for the Chairman to act to keep the Floodplain Bylaw moving forward to make it on the Town Meeting agenda. Ms. Mancovsky seconded it.

Roll Call Vote: Ms. Mancovsky-Aye, Mr. Conroy-Aye, Ms. MacEachern-Aye, Mr. Lynch-Aye, Mr. Knox-Aye

Approve Meeting Minutes

Mr. Conroy made a motion, seconded by Mr. Knox, to approve the meeting minutes from the March 12, 2020, meeting.

Roll Call Vote: Ms. Mancovsky-Aye, Mr. Conroy-Aye, Mr. Knox-Aye

Mr. Knox made a motion, seconded by Mr. Conroy, to approve the meeting minutes from the November 19, 2020, meeting.

Roll Call Vote: Ms. Mancovsky-Aye, Mr. Conroy-Aye, Ms. MacEachern-Aye, Mr. Lynch-Aye, Mr. Knox-Aye

Mr. Knox made a motion, seconded by Mr. Conroy, to approve the meeting minutes from the December 17, 2020, meeting.

Roll Call Vote: Ms. Mancovsky-Aye, Mr. Conroy-Aye, Ms. MacEachern-Aye, Mr. Lynch-Aye, Mr. Knox-Aye

Ms. MacEachern said there are some spelling corrections that will need to be made on this set of minutes.

Mr. Knox made a motion, seconded by Mr. Conroy, to approve the meeting minutes from the January 21, 2021, meeting with the spelling corrections that had been noted.

Roll Call Vote: Ms. Mancovsky-Aye, Mr. Conroy-Aye, Ms. MacEachern-Aye, Mr. Lynch-Aye, Mr. Knox-Aye

New Business

There was an Invoice from Environmental Partners for the peer review final inspection of Ledgewood Estates.

Mr. Knox made a motion, seconded by Mr. Conroy, to approve the Invoice and to allow the Chairman to sign this bill for the Board.

Roll Call Vote: Ms. Mancovsky-Aye, Mr. Conroy-Aye, Ms. MacEachern-Aye, Mr. Lynch-Aye, Mr. Knox-Aye

Old Business – Update from Mr. David Morrissey regarding drainage on 39 Cross Street.

Mr. Morrissey was present. Mr. Knox asked for an update regarding the standing water and proposed swale. Mr. Morrissey replied the swale had been dug, and although they had some rain since then, it was still permeating through the silt fence and pooling in his yard. The only concern he had is if this is their permanent fix, the water table is so high, even with no rain in the last ten days, there is still a significant amount of water in that swale now. If they have a lot of rain, he did not know if that was going to hold up. He did not know what their ultimate goal for drainage is so he couldn't give them a firm update.

Mr. Knox asked if there was an improvement. Mr. Morrissey said it was hard to say. It looks like there could be. Mr. Knox said that he can follow up with the engineer to make sure they continue to make improvements. Mr. Morrissey said that in this area there is always water there, and he is concerned about the long-term impact of it. Mr. Knox said he was glad to see improvements and will follow up with the engineer. He asked Mr. Morrissey to also stay in communication with the Board. They did not want his property to sustain any long-term negative impact.

New Business

Ms. MacEachern advised there was an informal discussion this past week regarding the potential for forming the CPA Committee. Right now, they are just trying to gain some interest and momentum. They will need to appoint a Planning Board member so the Board of Selectmen could appoint them to the Committee. The CPA is the Community Preservation Act. Although it has been defeated at Town Meeting a couple of times, they are now seeing quite a few people concerned with preserving open space and protecting their historic features. There is also an affordable/elderly housing component.

Mr. Knox suggested creating a bylaw that takes new growth and takes 10% of the property taxes generated and putting that towards a fund that would be able to purchase open space. The Open Space Committee could then vote to recommend a property be purchased. The funds would be controlled by the Board of Selectmen upon the recommendation of the Planning Board, CPA, and Open Space. If those members were willing to draft a bylaw, he thought there would be a lot of support.

Mr. Conroy said it was important that this committee could market this to the Town to eliminate misinformation and spread the truth about it. Ms. MacEachern said that although the CPA did not pass, the committee has already been established through the General bylaws. Another option is to get a vote to have this on the ballot, rather than a vote at Town Meeting.

Adjourn

Mr. Conroy made a motion, seconded by Mr. Knox, to adjourn the meeting.

Roll Call Vote: Ms. Mancovsky-Aye, Mr. Conroy-Aye, Ms. MacEachern-Aye, Mr. Lynch-Aye, Mr. Knox-Aye

Meeting adjourned at 8:20.