

TOWN OF LAKEVILLE MEETING POSTING & AGENDA

Town Clerk's Time Stamp
received & posted:

RECEIVED @ 4:05PM

Kim Osane

48-hr notice effective
when time stamped

Notice of every meeting of a local public body must be filed and time-stamped with the Town Clerk's Office at least 48 hours prior to such meeting (excluding Saturdays, Sundays and legal holidays) and posted thereafter in accordance with the provisions of the Open Meeting Law, MGL 30A §18-22 (Ch. 28-2009). Such notice shall contain a listing of topics the Chair reasonably anticipates will be discussed at the meeting.

Name of Board or Committee:	Planning Board
Date & Time of Meeting:	Thursday, May 26, 2022 at 7:00 p.m.
Location of Meeting:	Lakeville Police Station 323 Bedford Street, Lakeville, MA 02347
Clerk/Board Member posting notice:	Cathy Murray

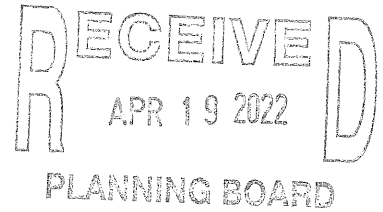
Cancelled/Postponed to: _____ (circle one)

Clerk/Board Member Cancelling/Postponing: _____

A G E N D A

1. Preliminary plan- 44 Clear Pond Road – Derek Maksy – applicant
2. Site Plan Review – 156 Rhode Island Road, continued – T. Sikorski Realty, LLC – applicant
 - Accept request to continue
3. Site Plan Review – 2 Bedford Street, continued - Thomas J. Parenteau of PBT Real Estate- applicant
4. Approve the March 10, 2022, Meeting Minutes
5. Review correspondence
6. Old Business
7. New Business
8. Next meeting... June 9, 2022
9. Any other business that may properly come before the Planning Board.
10. Adjourn

Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the Planning Board arise after the posting of this agenda, they may be addressed at this meeting



Town of Lakeville Planning Board

FORM B

APPLICATION FOR APPROVAL OF PRELIMINARY PLAN

File on completed form with the Planning Board and one copy with the City (or Town) Clerk in accordance with the requirements of Section III-A

No: _____ APRIL 19 2022

To the Planning Board:

The undersigned, believed that the accompanying Preliminary Plan of property located in the Town of Lakeville for approval as a subdivision as allowed under the Subdivision Control Law and the Rules and Regulations Governing the Subdivision of Land of the Planning Board in the Town of Lakeville.

1. Name of Subdivider Derek A. & Madelyn J. Maksy & Webster Realty Trust
Address 44 Clear Pond Rd. Lakeville, MA 02347
2. Name of Engineer or Surveyor Rick Friberg, P.E. - TEC
Address 282 Merrimack St. - 2nd Floor Lawrence, MA 01843
3. Deed of property recorded in Plymouth County Registry,
Book 40414 Page 215
4. Location and Description of Property: The property at 44 Clear Pond Rd in Lakeville, Ma is currently known as Lakeville Country Club. The site consists of an 18-hole Golf Course with a clubhouse along with a restaurant and associated parking.

Signature of owners Derek A. & Madelyn J. Maksy Trust
Madelyn J. Maksy, Madelyn J. Maksy, Trustee
 Address 44 Clear Pond Road Lakeville, MA 02347

A list of the names and addresses of the abutters of this subdivision is attached. Verification will be made by the Planning Board

Marc Resnick

From: tyler sikorski <yzsikorski614@gmail.com>
Sent: Tuesday, May 24, 2022 1:32 PM
To: Marc Resnick
Subject: 156 rhode island road

Hi Mark I was un successful in getting in contact with my engineer. I'd like to reschedule the meeting to June 9th's meeting please. Thank you



May 16, 2022

Marc Resnick
Lakeville Planning Department
346 Bedford Street
Lakeville, MA 02347

**RE: 2 Bedford Street, Commercial Site Plan
Response to Comment letter dated March 16, 2022**

Dear Mr. Resnick:

Please find enclosed revised plans for the above reference project. The revised plans are in response to the comments from Marc Resnick dated March 16, 2022. The comments received are shown in numbered order per the letter and the Cape and Islands Engineering (CIE) response is in **Bold Underline**.

Comments Received

- The location of the abutting houses should be shown on the plan. Section 6.7.2.1 - **Added to plan.**
- The dumpster location is not convenient for restaurant personnel and would be better located along the North side of the site by the rear retaining wall. - **Revised dumpster location**
- Details of the retaining wall should be submitted. These should include fencing along the top of the walls - **Large retaining walls at ramp to rear lot removed. Rear lot removed.**
- Section 5.2.3 of the Zoning By-Laws requires a 40' buffer at the rear of the property. A 3 0' buffer is shown - **revised**
- Location of mechanical equipment should be shown. - **Added to plan**
- There is a drive thru shown on the building plans but there is a proposed patio between the street and the building. If a drive thru is proposed the site plan needs to be modified, if not these windows and signage should be removed from the building drawings. - **Drive thru removed**
- The first two spaces on either side of the southern parking lot and the first one in the other front lot should be removed as any cars waiting for these spots could be waiting in the roadway which could create a dangerous situation given the speeds of Bedford street. - **The spaces have been removed.**
- Additional landscaping should be added along the front of the site and the south side near the street - **Landscaping added to layout plan.**
- A 6-foot-high solid wood or vinyl fence should be placed along the property line with #12 Bedford Street where the abutting houses are at the back of the lot. - **6' high solid fence added along the property line with lot #12**
- A lighting plan should be submitted as well as details of all exterior lighting fixtures. These should be dark sky compliant and comply with Lakeville's Outdoor Lighting By-Law. - **Dark Sky compliant LED lighting photometric plan added.**
- There are no areas identified as loading or unloading areas. - **Loading area added.**
- There is a difference in the number of restaurant seats shown in the parking requirement chart. It shows both 80 and 78 seats - **Parking lot reconfigured and parking requirements updated.**



- The sign needs to be located 10 feet back from the property line. – Existing sign to be rehabilitated in current location.
- The use of reclaimed pavement borrow for the road base is not permitted. – There is a substantial amount of existing pavement that could be processed and used the applicant would request a waiver to re-use on site if possible. If a waiver is not possible, the plan can be revised to not include this.

The lot coverage requirement in the Business district is 50%. The zoning compliance table shows 66% of lot coverage. However, the calculations for the lot coverage have not been provided. The lot coverage should subtract the wetland areas and surface drainage areas before the percent is obtained. This is in Section 5.2.2.1 – Lot coverage has been updated based on the revised plan and exclude wetlands and drainage as required.

As stated in Section 5.1.4 the applicant may increase lot coverage up to 70% the applicant can comply with the design standards in Section 7.6.1. The following are comments related to this Section. Site plan has been revised so lot coverage is below 60% so compliance with 7.6.3 is required.

7.6.3.1 The building is longer than 100 feet and does not incorporate wall projections or recesses over its length. Building architectural layout have been revised.

7.6.3.2 It is unclear from the submitted drawings if the first-floor windows comply with this Section. It appears that the second-floor windows do comply however details should be provided for both types of windows as well as the doors. Details added to architectural documents.

7.6.3.3 Additional information should be provided to determine the compliance with this Section. Specific siding materials and colors should be provided. Drawing A.2.1 shows materials for Trim, Stone veneer, Hardy plank.

7.6.3.4 The roof has dormers on one side and copulas across the peak and could be deemed in compliance with this section.

7.6.3.5 More information is needed on building materials and colors to determine compliance with this section - Materials and colors provided on A.2.1

7.6.3.6 It appears this this section may be met as there is a canopy over the door, dormers are located over the doorways and display windows next to the doors. Compliance is met with current design

No Longer seeking the additional 10%, Section 7.6.4 is no longer applicable.

7.6.4.1 There should be a door on the side of the restaurant facing the street

7.6.4.2 This requirement appears to be met as most of the parking is on the side or rear of the lot

7.6.4.3 The building is setback more than the minimum 60 feet

7.6.4.4 Loading areas, truck parking, and mechanical equipment should be shown on the plan.

7.6.4.5 #1 and #2 don't apply but #3 requires a 6-foot-wide planting strip between the foundation and the walkway around the building. There are no internal walkways, and there should be a designated walkway between the two lower lots and a walkway from the rear lot to the building.



7.6.4.6 There is a patio/seating area, but the Board needs to determine whether the sidewalk in front of the stores meets the intent of a window-shopping walkway. The site does not have any of the other features.

Please let us know if you have any questions or need any additional information.

Sincerely,

A handwritten signature in blue ink that reads 'Mark Dibb'.

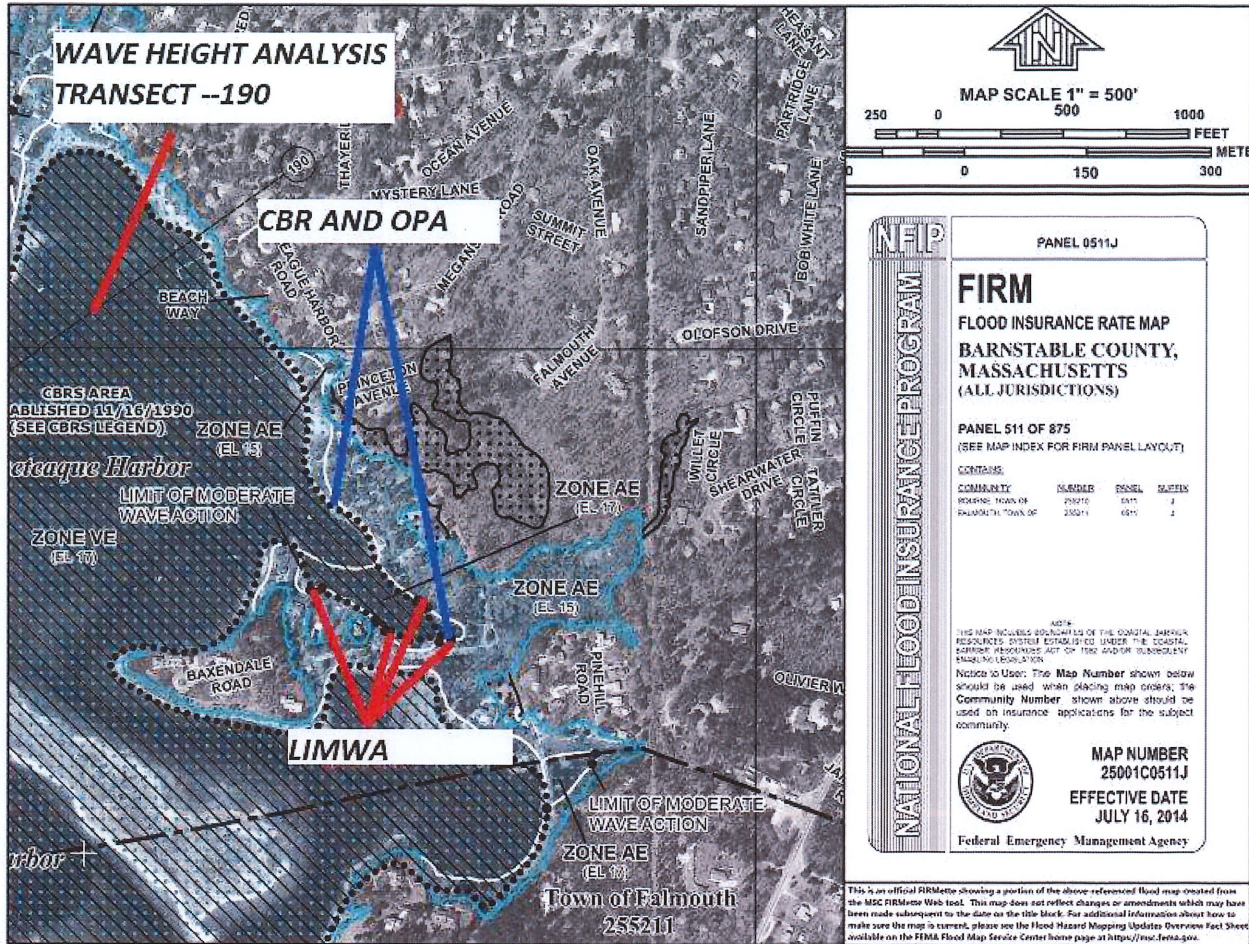
Mark Dibb, PE
Senior Project Engineer

Encl.: Site plans

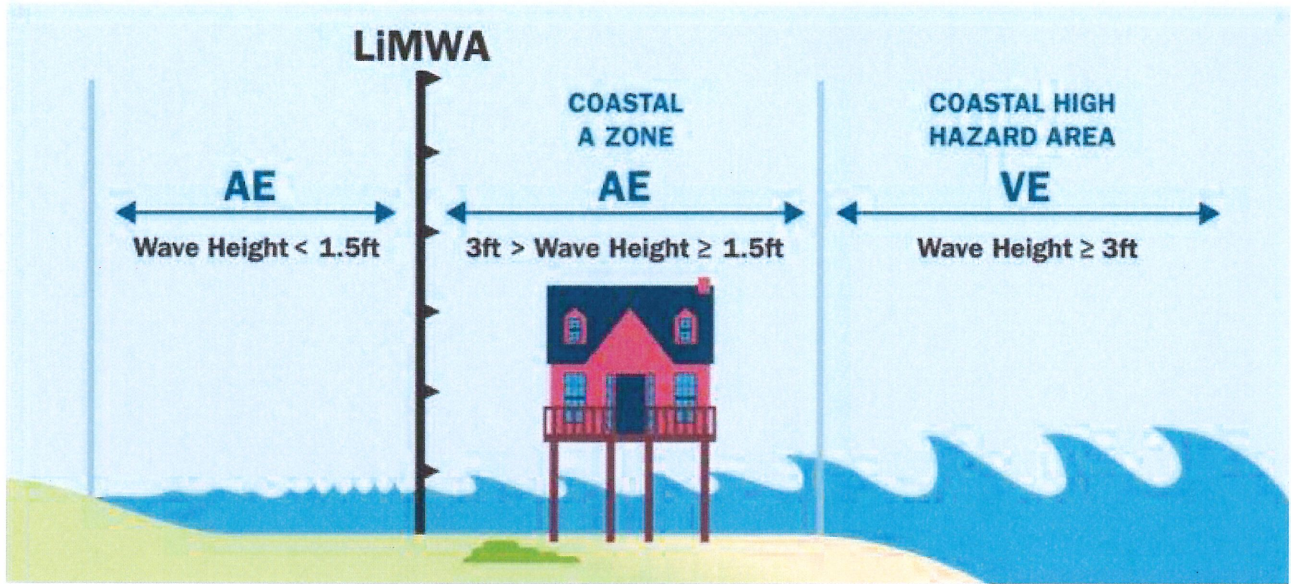
Attachment A



Flood Zone Supplemental Information



Flood Map Mark-up with LIMWA and TRANSECT Info



LIMWA Exhibit – Wave height less than 1.5 outside LIMWA



Table 25: Summary of Coastal Transect Mapping Considerations

Coastal Transect	Primary Frontal Dune (PFD) Identified	Wave Runup Analysis	Wave Height Analysis	Zone VE Limit	SFHA Boundary
		Zone Designation and BFE (ft NAVD88)	Zone Designation and BFE (ft NAVD88)		
177		VE 21.1	VE 16 AE 13-14	Wave height	SWEL
178		VE 23.4	VE 23	Wave height	SWEL
179		VE 23.5	VE 18-20 AE 15	Wave height	SWEL
180		VE 26.3	VE 25	Wave height	SWEL
181	Yes	VE 22.3	VE 17-20 AE 15	PFD	SWEL
182	Yes	VE 23.3	VE 18-21 AE 16-18	PFD	SWEL
183		VE 22.8	VE 18-21 AE 15-17	Wave height	SWEL
184		VE 23.9	VE 19-20 AE 17	Wave height	SWEL
185	Yes	VE 22.6	VE 17-20 AE 16	PFD	SWEL
186		VE 22.9	VE 19 AE 15-16	Wave height	SWEL
187		VE 21.7	VE 17-18 AE 15-17	Wave height	SWEL
188		VE 23.7	VE 18	Wave height	SWEL
189		VE 21.2	VE 17 AE 14	Wave height	SWEL
190	Yes	VE 21.9	VE 17-20	PFD	Runup
191		VE 22.7	VE 17-20 AE 17	Wave height	SWEL
192	Yes	VE 21.5	VE 17-20	PFD	Runup
193		VE 18.2	VE 16	Wave height	SWEL
194		VE 25.3	VE 20 AE 17	Wave height	SWEL

Transect information for area – 190 is based on PFD and Runup



6.4 Coastal Flood Hazard Mapping

Flood insurance zones and BFEs including the wave effects were identified on each transect based on the results from the onshore wave hazard analyses. Between transects, elevations were interpolated using topographic maps, land-use and land-cover data, and knowledge of coastal flood processes to determine the aerial extent of flooding. Sources for topographic data are shown in Table 22.

Zone VE is subdivided into elevation zones and BFEs are provided on the FIRM.

The limit of Zone VE shown on the FIRM is defined as the farthest inland extent of any of these criteria (determined for the 1% annual chance flood condition):

- The *primary frontal dune zone* is defined in 44 CFR Section 59.1 of the NFIP regulations. The primary frontal dune represents a continuous or nearly continuous mound or ridge of sand with relatively steep seaward and landward slopes that occur immediately landward and adjacent to the beach. The primary frontal dune zone is subject to erosion and overtopping from high tides and waves during major coastal storms. The inland limit of the primary frontal dune zone occurs at the point where there is a distinct change from a relatively steep slope to a relatively mild slope.
- The *wave runup zone* occurs where the (eroded) ground profile is 3.0 feet or more below the 2-percent wave runup elevation.
- The *wave overtopping splash zone* is the area landward of the crest of an overtopped barrier, in cases where the potential 2-percent wave runup exceeds the barrier crest elevation by 3.0 feet or more.
- The *breaking wave height zone* occurs where 3-foot or greater wave heights could occur (this is the area where the wave crest profile is 2.1 feet or more above the total stillwater elevation).
- The *high-velocity flow zone* is landward of the overtopping splash zone (or area on a sloping beach or other shore type), where the product of depth of flow times the flow velocity squared (hv^2) is greater than or equal to $200 \text{ ft}^3/\text{sec}^2$. This zone may only be used on the Pacific Coast.

Definition of Primary Frontal Dune Zone – PFD And wave runup zone

Cathy Murray, Appeals Board Clerk

From: Edward Cullen
Sent: Tuesday, May 24, 2022 10:20 AM
To: Cathy Murray, Appeals Board Clerk
Subject: RE: Site Plan-2 Bedford Street

Cathy

The Board of Health would like the existing well to be properly Abandoned and Decommissioned according to Massachusetts DEP guidelines, for a Public Water Source. The Board of Health does not have any objections, to the plan, providing the well is properly Abandoned and Decommissioned.

Please let me know if you have any questions.

Thank you

Edward Cullen
Board of Health Agent
Town of Lakeville
Office location: 241 Main Street
Mailing address: 346 Bedford Street
Lakeville, MA 02347
Tel. 508-946-3473

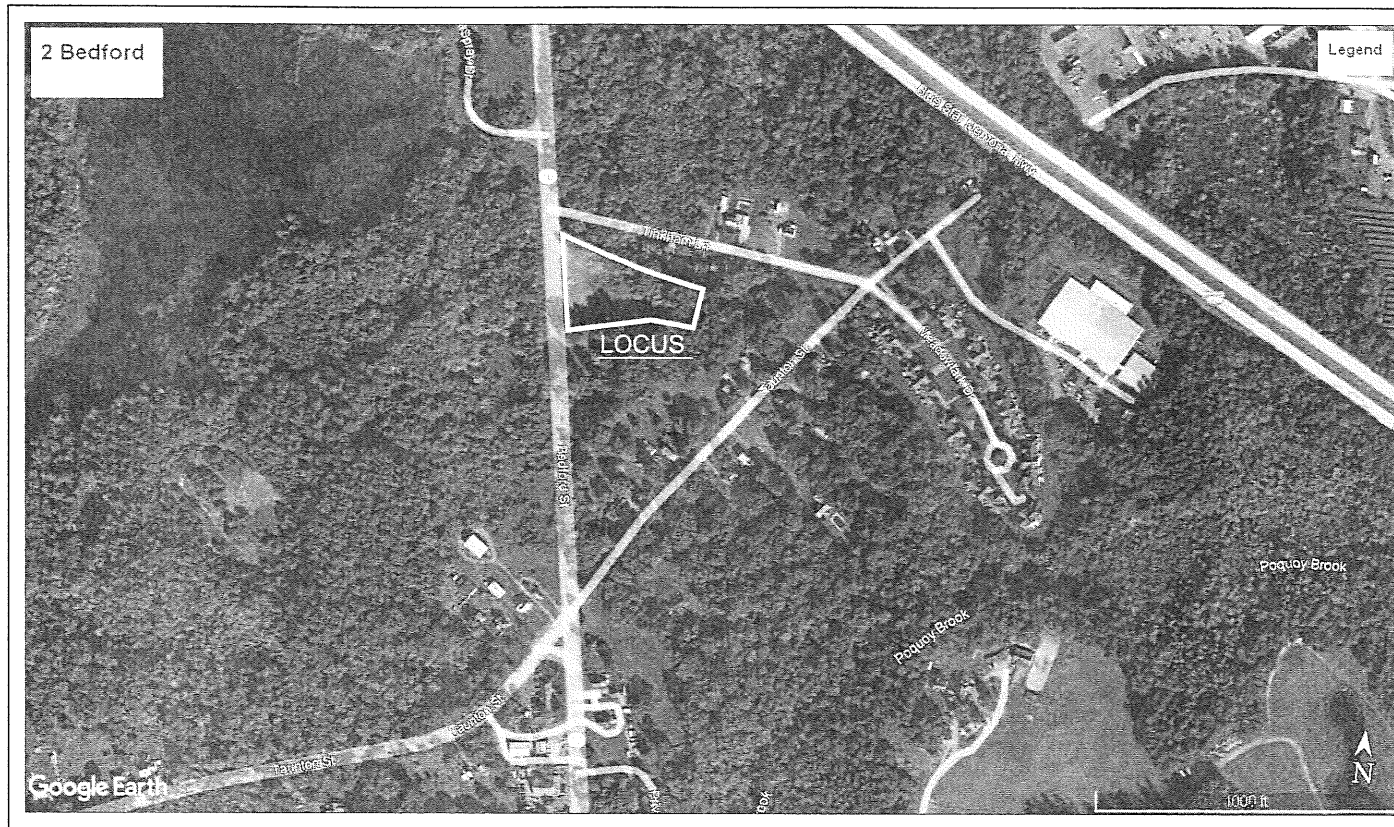


From: Cathy Murray, Appeals Board Clerk <cmurray@lakevillema.org>
Sent: Monday, May 23, 2022 2:30 PM
To: Edward Cullen <ecullen@lakevillema.org>; Tracie Craig-McGee <tcraig-mcgee@lakevillema.org>; Nathan Darling, Building Commissioner & Zoning Enforcement Officer <ndarling@lakevillema.org>; rjbouchard@verizon.net; Robert Bouchard <rbouchard@lakevillema.org>; Michael P. O'Brien, Fire Chief <mobrien@lakevillema.org>; Franklin Moniz, DPW Director <fmoniz@lakevillema.org>; Matthew Perkins, Lakeville Chief of Police <mperkins@lakevillema.org>; Marc Resnick <mresnick@lakevillema.org>
Cc: Frances Lawrence, Part time Board of Health Clerk <flawrence@lakevillema.org>; Clorinda Dunphy <cdunphy@lakevillema.org>; Lori Canedy <lcandey@lakevillema.org>; Pamela Garant, Fire Deputy Chief <pgarant@lakevillema.org>; Jennifer Jewell, DPW - Administrative Assistant <jjewell@lakevillema.org>; Kristen Campbell, Administrative Assistant, Lakeville Police Department <kcampbell@lakevillema.org>
Subject: Site Plan-2 Bedford Street

Hi everyone,

Attached is the amended Site Plan for 2 Bedford Street, which will be on the Planning Board's 5-26-22 agenda. Please let me know if you have any comments regarding this amended plan.

Cathy



(SOURCE: GOOGLE EARTH IMAGERY DATE 2021)

PROPOSED SITE DEVELOPMENT PLANS AT 2 BEDFORD STREET LAKEVILLE, MASSACHUSETTS

GENERAL NOTES

LOCATIONS ARE BASED ON AN "ON THE GROUND" INSTRUMENT SURVEY AND ELEVATIONS BASED ON THE NAVD 1988 DATUM. COORDINATE SYSTEM USED IS THE MA-MAINLAND COORDINATE SYSTEM, DATUM: NAD 83, UNITS: U.S. SURVEY FEET.

ZONING DISTRICT: B

PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF MINIMAL FLOOD ZONE HAZARD X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 25001C0314J, WITH A MAP EFFECTIVE DATE OF JULY 16, 2014.

THIS LOT IS NOT LOCATED WITHIN A DEP APPROVED ZONE II WELLHEAD PROTECTION AREA.

PORTION OF THIS LOT IS MAPPED WITHIN A MESA NATURAL HERITAGE AND ENDANGERED SPECIES AREA.

DEED REFERENCE: BOOK 53108 PAGE 285, BOOK 420 PAGE 44

OWNER: PBT REAL ESTATE LLC
310 KENNETH W. WELCH DRIVE
LAKEVILLE, MA 02347

ZONING COMPLIANCE TABLE:

CRITERIA (FOOTNOTE)	REQUIRED	EXISTING (1)	PROPOSED
MINIMUM LOT AREA (S.F.)	70,000	89,066	89,066
MINIMUM LOT FRONTAGE (L.F.)	175	337.67	337.67
FRONT YARD SETBACK (FT.)	40	79.9 & 213.2	41
SIDE YARD SETBACK (FT.)	40	36.7 & 30.9	41
REAR YARD SETBACK (FT.)	40	288.2 & 91.7	217
LOT COVERAGE (% OF LOT)	50% up to 60% (2)	39%	66%
MAXIMUM NUMBER OF STORIES	3	2 & 1	2
BUILDING HEIGHT	35		35

ZONING COMPLIANCE TABLE FOOTNOTES:
(1) MULTIPLE EXISTING FIELDS SHOWN CORRESPOND TO THE TWO EXISTING STRUCTURES ON THE PROPERTY.
(2) SECTION 5.1.4 DENSITY BONUS ALLOWS UP TO 80% LOT COVERAGE IN COMPLIANCE WITH SECTIONS 7.6.3

LOT COVERAGE CALCULATION

TOTAL LOT AREA = 89,066 S.F.
AREA OF WETLANDS ON-SITE = 173 S.F.
AREA OF DRAINAGE BASINS = 963 S.F.
AREA TO BE USED FOR LOT COVERAGE CALCULATION (NOT INCLUDING WETLAND AND BASINS) = 87,930 S.F.
TOTAL IMPERVIOUS AREA = 52,456 S.F.
LOT COVERAGE = 59.6 %

PARKING REQUIREMENTS (SECTION 6.5.3.3)

RESTAURANT: 1 SPACE / 2 OCCUPANTS = 11 EMPLOYEE
ANTICIPATED OCCUPANTS = 52 SEATS
ANTICIPATED EMPLOYEES = 7 EMPLOYEES FOR PEAK SHIFT
REQUIRED PARKING SPACES = 52 SEATS / 2 PER SEAT + 7 x 1 SPACE / EMPLOYEE = 33 SPACES

COMMERCIAL ESTABLISHMENT: 1 SPACE / 300 S.F. GROSS FLOOR AREA + 11 EMPLOYEE
RETAIL SPACE = 1,233 S.F.
ANTICIPATED EMPLOYEES = 4 EMPLOYEES
REQUIRED PARKING SPACES = 1,233 x 1 SPACE / 300 S.F. + 4 x 1 SPACE / EMPLOYEE = 9 SPACES

OFFICE: 1 SPACE / 300 S.F. GROSS FLOOR AREA OR 11 EMPLOYEE, WHICHEVER IS GREATER
OFFICE SPACE = 5,356 SF
AREA = 4,037 SF
ANTICIPATED EMPLOYEES = 15
REQUIRED PARKING SPACES = 5,356 S.F. x 1 SPACE / 300 S.F. = 18 SPACES

STORAGE / LIGHT MANUFACTURING - ASSEMBLY: 1 PER EMPLOYEE
AREA = 4,037 SF
ANTICIPATED EMPLOYEES = 4
REQUIRED PARKING SPACES = 4 X 1 SPACE / EMPLOYEE = 4 SPACES

MINIMUM REQUIRED PARKING SPACES = 64 SPACES + 4 ACCESSIBLE SPACES PER USE TOWN REQUIREMENTS
TOTAL PROPOSED PARKING SPACES = 88 SPACES + 4 ACCESSIBLE SPACES

APPLICANT

PBT REAL ESTATE
310 KENNETH W. WELCH DRIVE
LAKEVILLE, MA 02347
(508) 477-4814

GENERAL CONTRACTOR

LONGFELLOW DESIGN BUILD
65 TOWN HALL SQUARE
FALMOUTH, MA
774-255-1709

ARCHITECT

RIVERMOOR ENGINEERING, LLC
146 FRONT STREET, SUITE 211
SCITUATE, MA 02066
(781) 545-2848

CIVIL ENGINEER AND SURVEYOR

CAPE AND ISLANDS ENGINEERING, INC.
800 FALMOUTH ROAD, SUITE 310C
MASHPEE, MA 02649
(508) 477-7272

ATTORNEY

THE LAW OFFICES OF BELLO AND MORTON, LLC
184 MAIN STREET
WAREHAM, MA 02571
(508) 295-2522

Sheet List Table

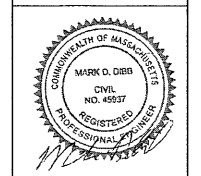
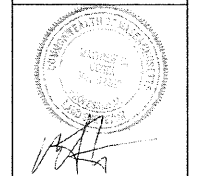
Sheet Number	Sheet Title
G-101	Cover Sheet
V-101	EXISTING CONDITIONS PLAN
C-101	EROSION CONTROL AND DEMOLITION PLAN
C-102	LAYOUT PLAN
C-103	GRADING, DRAINAGE AND UTILITY PLAN
C-104	PHOTOMETRIC PLAN
C-501	DRAINAGE & UTILITY DETAILS
C-502	SITE CONSTRUCTION DETAILS

LEGEND

■ CB	CONCRETE BOUND
■ SB	STONE BOUND
○ RC	ROD CAP
○ IP	IRON PIPE FOUND
○ TM	TELEPHONE MANHOLE
○ UM	UNKNOWN MANHOLE
○ CM	CABLE TV MANHOLE
○ MC	METAL COVER
○ H	HYDRANT
○ WS	WATER SHUTOFF
○ WG	WATERGATE
○ W	WELL
○ WMP	WATER METER PIT
○ G	GAS GATE
○ CBS	CATCH BASIN SQUARE
○ CBR	CATCH BASIN ROUND
○ TC	TRAFFIC CONTROL BOX
○ TS	TRAFFIC SIGNAL
○ UP	UTILITY POLE
○ GP	GUY POLE
○ GW	GUY WIRE
○ LP	LIGHT POLE
○ EHH	ELECTRIC HANDHOLE
○ THH	TELEPHONE HANDHOLE
○ CHH	CABLE TV HANDHOLE
○ UHH	UNKNOWN HANDHOLE
○ S	SIGN
○ FP	FLAGPOLE
○ CT	CONIFEROUS TREE
○ DT	DECIDUOUS TREE
○ CS	CONIFEROUS SHRUB
○ EM	ELECTRIC METER
○ SC	SEWER CLEANOUT
○ SM	SEWER MANHOLE
○ DB	D-BOX
○ SV	SEPTIC VENT
○ UH	UNKNOWN HANDHOLE
○ SMH	SEWER MANHOLE
○ DM	DRAIN MANHOLE
○ LP	LIGHT POST
○ P	POST
○ TP	TEST PIT
○ TL	TREE LINE
○ CL	CABLE TV LINE
○ RD	ROOF DRAIN
○ SD	STORM DRAIN
○ DL	DRAIN LINE
○ EL	ELECTRIC LINE
○ OHW	OVERHEAD WIRES
○ OEH	OVERHEAD ELECTRIC
○ UEL	UNDERGROUND ELECTRIC
○ ETC	ELEC./TELECATV
○ G	GAS LINE
○ IR	IRRIGATION LINE
○ FM	SEWER FORCE MAIN
○ S	SANITARY SEWER LINE
○ T	TELEPHONE LINE
○ OT	OVERHEAD TELEPHONE LINE
○ T/C	TELEPHONE / CABLE TV
○ F	FIRE PROTECTION WATER SERVICE
○ W	WATER LINE
○ SW	STONE WALL
○ BW	BLOCK WALL
○ P&R	POST & RAIL FENCE
○ S	STOCKADE FENCE
○ X	PICKET ROW
○ C	CHAINLINK FENCE
○ G	GUARDRAIL
○ L	LIMIT OF WORK
○ H	HAYBALE ROW

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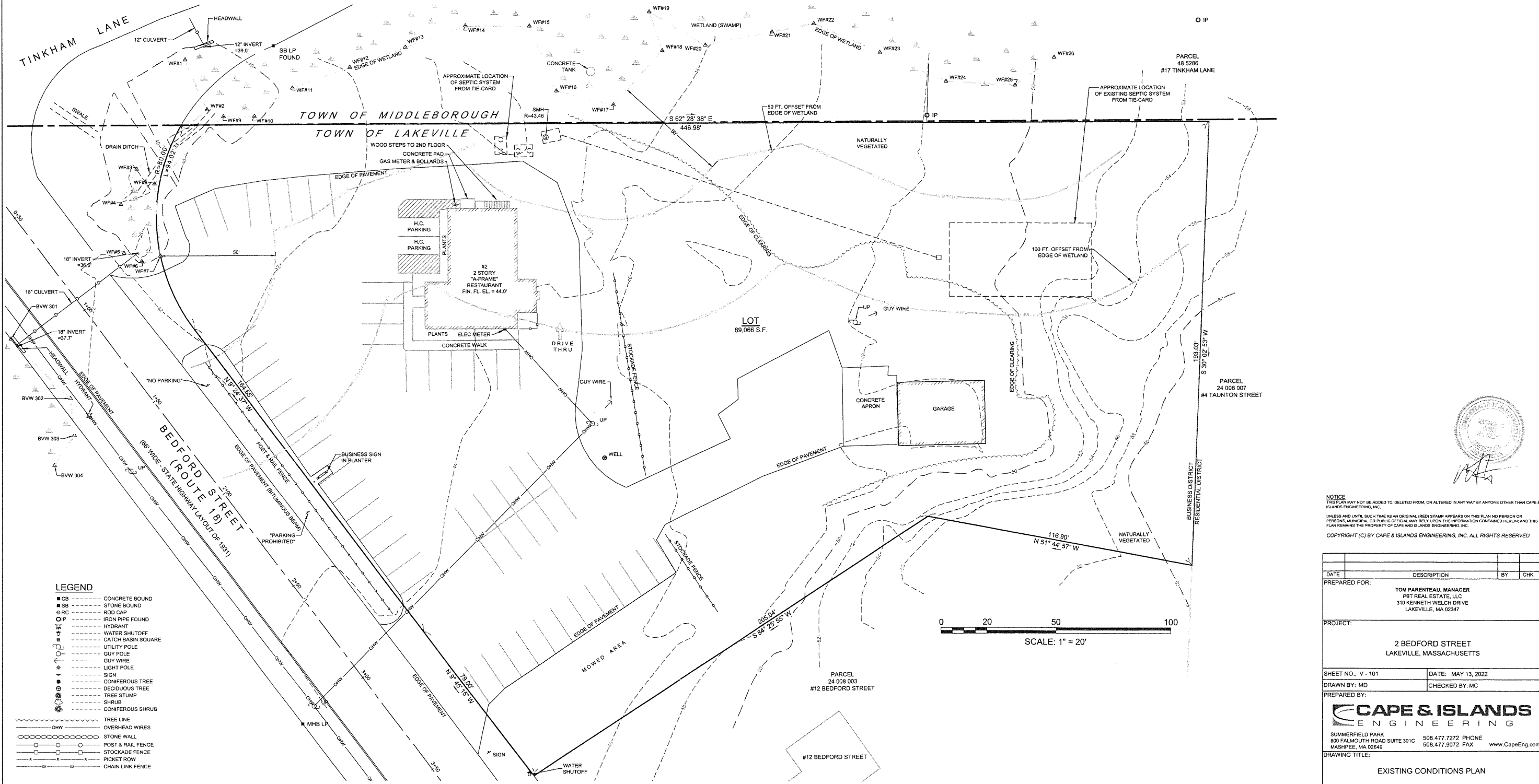
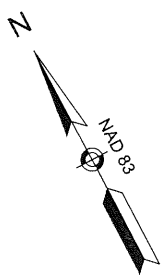
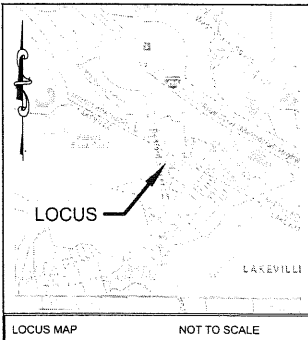
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Drawn By: RLR
Checked By: MC

By	Date	Description
MD		

Prepared For:	PBT REAL ESTATE LLC 310 KENNETH W. WELCH DRIVE LAKEVILLE, MA 02347
Project:	2 BEDFORD STREET LAKEVILLE, MASSACHUSETTS ASSESSORS ID: MAP 24 PARCEL 009-001
Drawing Title:	COVER SHEET
Date:	MAY 13, 2022
Sheet No.:	G-101

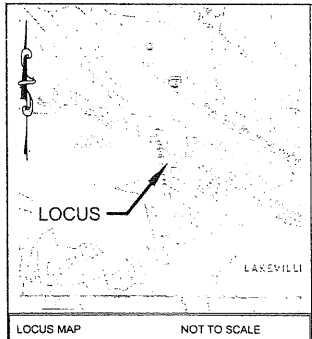


- LEGEND**
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 - W - GUY WIRE
 - L - LIGHT POLE
 - S - SIGN
 - C - CONIFEROUS TREE
 - D - DECIDUOUS TREE
 - T - TREE STUMP
 - S - SHRUB
 - CS - CONIFEROUS SHRUB
 - TL - TREE LINE
 - OW - OVERHEAD WIRES
 - SW - STONE WALL
 - PR - POST & RAIL FENCE
 - SF - STOCKADE FENCE
 - PR - PICKET ROW
 - CL - CHAIN LINK FENCE

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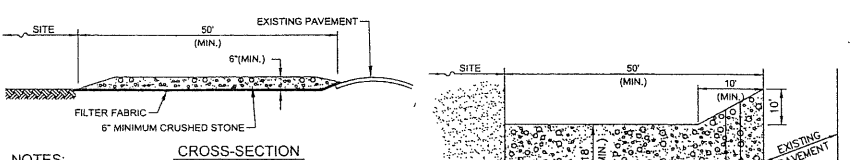


DATE	DESCRIPTION	BY	CHK
PREPARED FOR:	TOM PARENTEAU, MANAGER PBT REAL ESTATE, LLC 310 KENNETH WELCH DRIVE LAKEVILLE, MA 02347		
PROJECT:	2 BEDFORD STREET LAKEVILLE, MASSACHUSETTS		
SHEET NO.:	V - 101	DATE:	MAY 13, 2022
DRAWN BY:	MD	CHECKED BY:	MC
PREPARED BY:			
SUMMERFIELD PARK 800 PALMOUTH ROAD SUITE 301C MASHPEE, MA 02649 508.477.7272 PHONE 508.477.9072 FAX www.CapeEng.com			
DRAWING TITLE:			
EXISTING CONDITIONS PLAN			
ASSESSORS INFORMATION: MAP 024, BLOCK 008, LOT 001			



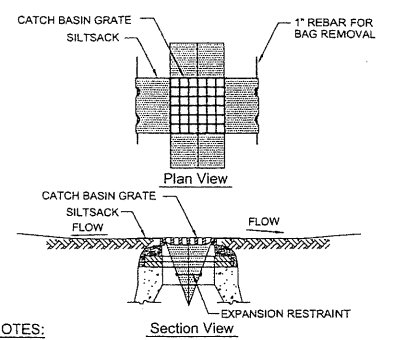
DEMO, EROSION AND SEDIMENTATION CONTROL PLAN

1. PRIOR TO ANY WORK THE CONTRACTOR SHALL EXAMINE AND FAMILIARIZE HIMSELF WITH ALL CONSTRUCTION DOCUMENTS AND PROJECT PERMITS FOR THIS WORK.
2. THE CONTRACTOR SHALL ADHERE WITH COMPLIANCE WITH THE EROSION AND SEDIMENTATION CONTROLS AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
3. THE INSTALLER SHALL EXAMINE THE WORK AREA AND SITE CONDITIONS UNDER WHICH THIS WORK IS TO BE PERFORMED PRIOR TO INSTALLATION OF SEDIMENTATION AND EROSION CONTROL.
4. THE CONTRACTOR SHALL ESTABLISH THE LIMIT OF WORK AS INDICATED IN THE CONSTRUCTION DRAWINGS AND MAINTAIN THE LIMIT OF WORK IN GOOD CONDITIONS THROUGHOUT THE DURATION OF THE WORK.
5. THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES PRIOR TO SOIL OR VEGETATION DISTURBANCE EXCEPT FOR THAT DISTURBANCE NECESSARY FOR EROSION AND SEDIMENTATION CONTROLS INSTALLATION.
6. ALL DEMOLITION MATERIAL, DEBRIS AND REFUSE SHALL BE PROPERLY DISPOSED OFF-SITE.
7. THE CONTRACTOR SHALL INSTALL SILT BAGS WITHIN PROPOSED CATCH BASINS TO PROTECT AGAINST SILTATION. THE CONTRACTOR SHALL REGULARLY AND AT LEAST ONCE A WEEK REMOVE THE SILT SACK AND PROPERLY DISPOSE THE ACCUMULATED SEDIMENTS AND REPLACE THE SILT SACK IN THE CATCH BASIN.
8. THE CONTRACTOR SHALL USE AS CONSTRUCTION ACCESS AN 'ENTRANCE PROTECTION PAD' AT THE TWO EXISTING ENTRANCES. ALL CONSTRUCTION SITE VEHICLES EXITING THE WORK SITE SHALL USE THE 'ENTRANCE PROTECTION PAD' TO AVOID TRACKING SEDIMENT OFF-SITE. THE CONTRACTOR SHALL REMOVE ALL SEDIMENTS SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC WAYS.
9. ALL EXCAVATED AREAS RENDERING A SLOPE GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE STABILIZED WITH THE INSTALLATION OF EROSION CONTROL BLANKETS.
10. ALL UNSUITABLE AND EXCESS MATERIAL NOT INTENDED FOR REUSE OR RE-PURPOSE WITHIN THE SITE SHALL BE STRIPPED FROM AREAS IMPACTED BY CONSTRUCTION AND DISPOSED OFF-SITE.
11. AFTER EVERY RAINSTORM THE CONTRACTOR SHALL EXAMINE THE CONDITIONS OF ALL THE EROSION AND SEDIMENTATION CONTROLS AND PERFORM ANY REQUIRED REPAIRS OR REPLACEMENTS.
12. THE CONTRACTOR SHALL MAINTAIN ON SITE 200 LINEAR FEET OF EXTRA SILT FENCE IN THE EVENT EROSION OCCURS AND IMMEDIATE ACTION IS NECESSARY. IF EROSION OCCURS DURING CONSTRUCTION THE CONTRACTOR SHALL TAKE IMMEDIATE STEPS TO CONTAIN MATERIAL ON SITE AND PREVENT FUTURE EROSION.
13. STABILIZATION FOR CONSTRUCTION OF THE DRIVEWAY SHALL BE ACHIEVED BY INSTALLING THE GRAVEL BASE IMMEDIATELY AFTER THE ROUGH GRADING AND SUB-BASE COMPACTION IS COMPLETE. AT THIS TIME THE 'ENTRANCE PROTECTION PADS' MAY BE REMOVED.
14. THE CONTRACTOR SHALL AVOID SMEARING THE BOTTOM LEVELS OF THE EXCAVATION AND THE EXPOSED EXCAVATION FACE WALLS FOR SUBSURFACE LEACHING SYSTEMS. THE CONTRACTOR SHALL SCARPEN ANY AREAS WHERE SMEARING OCCURS TO PROVIDE ADEQUATE FILTRATION THROUGH THE SOILS.
15. THE CONTRACTOR SHALL AVOID USING DIRTY OR SILTY CRUSHED STONE FOR THE CONSTRUCTION OF THE LEACHING SYSTEMS. THE CONTRACTOR SHALL USE WASHED CRUSHED STONE FOR THE CONSTRUCTION OF THE SUBSURFACE LEACHING SYSTEM.
16. ALL PROTECTIVE MEASURES (SILT SACKS, SILT FENCES, STRAW WATTLES AND HAY BALE) INSTALLED ON SITE OR IN THE CATCH BASINS WITHIN THE SITE SHALL BE REMOVED ONCE THE SITE WORK IS COMPLETE AND THE DISTURBED AREAS ARE STABILIZED.



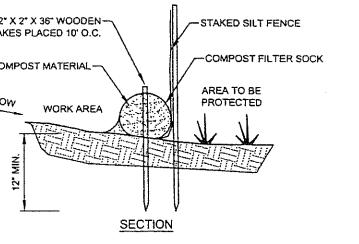
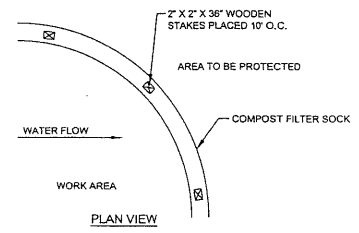
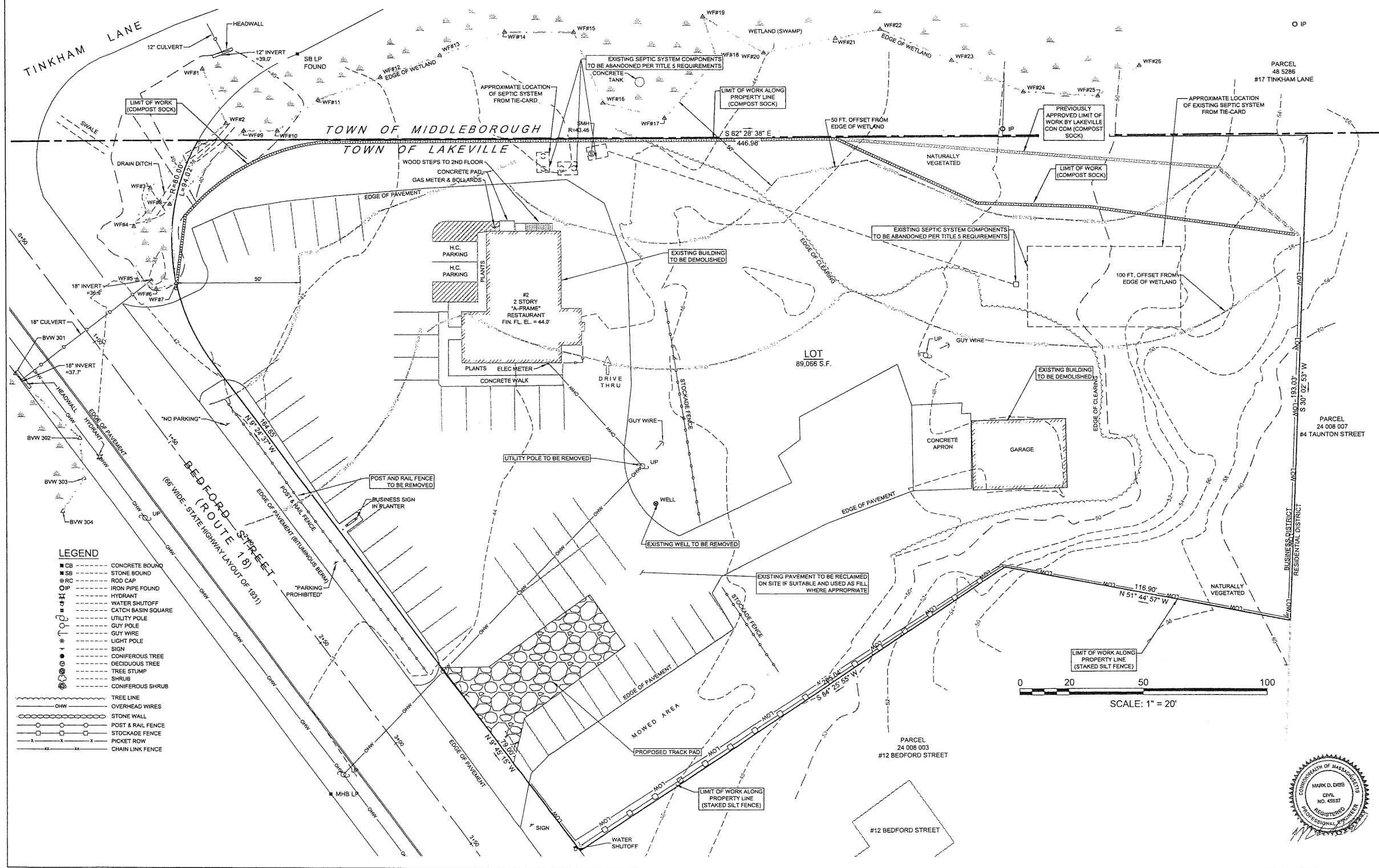
- NOTES:**
1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

TEMPORARY CONSTRUCTION ENTRANCE
NOT TO SCALE



- NOTES:**
1. INSTALL SILT SACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK.
 2. GRATE TO BE PLACED OVER SILT SACK.
 3. SILT SACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
 4. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT SACK SEDIMENT TRAP
NOT TO SCALE



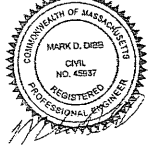
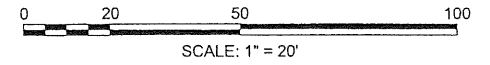
- NOTES:**
1. PREFABRICATED COMPOST SOCK SHALL BE FILTREXX SOCK OR APPROVED EQUAL.
 2. MATERIAL FOR SOCKS SHALL CONSIST OF SANITIZED MATURE COMPOST, FREE OF VIABLE WEED SEEDS AND FOREIGN DEBRIS SUCH AS GLASS AND PLASTIC. COMPOST SHALL BE IN SHREDDED OR GRANULAR FORM AND FREE FROM HARD LUMPS. IN ADDITION, NO KILN-DRIED WOOD OR CONSTRUCTION DEBRIS SHALL BE ALLOWED. CONTRACTOR SHALL REFER TO MASSDOT SPECIFICATIONS M1.06.0 FOR MATERIAL SPECIFICATIONS.
 3. TUBES SHALL CONSIST OF JUTE MESH OR OTHER APPROVED BIODEGRADABLE MATERIAL.

COMPOST FILTER SOCK
NOT TO SCALE

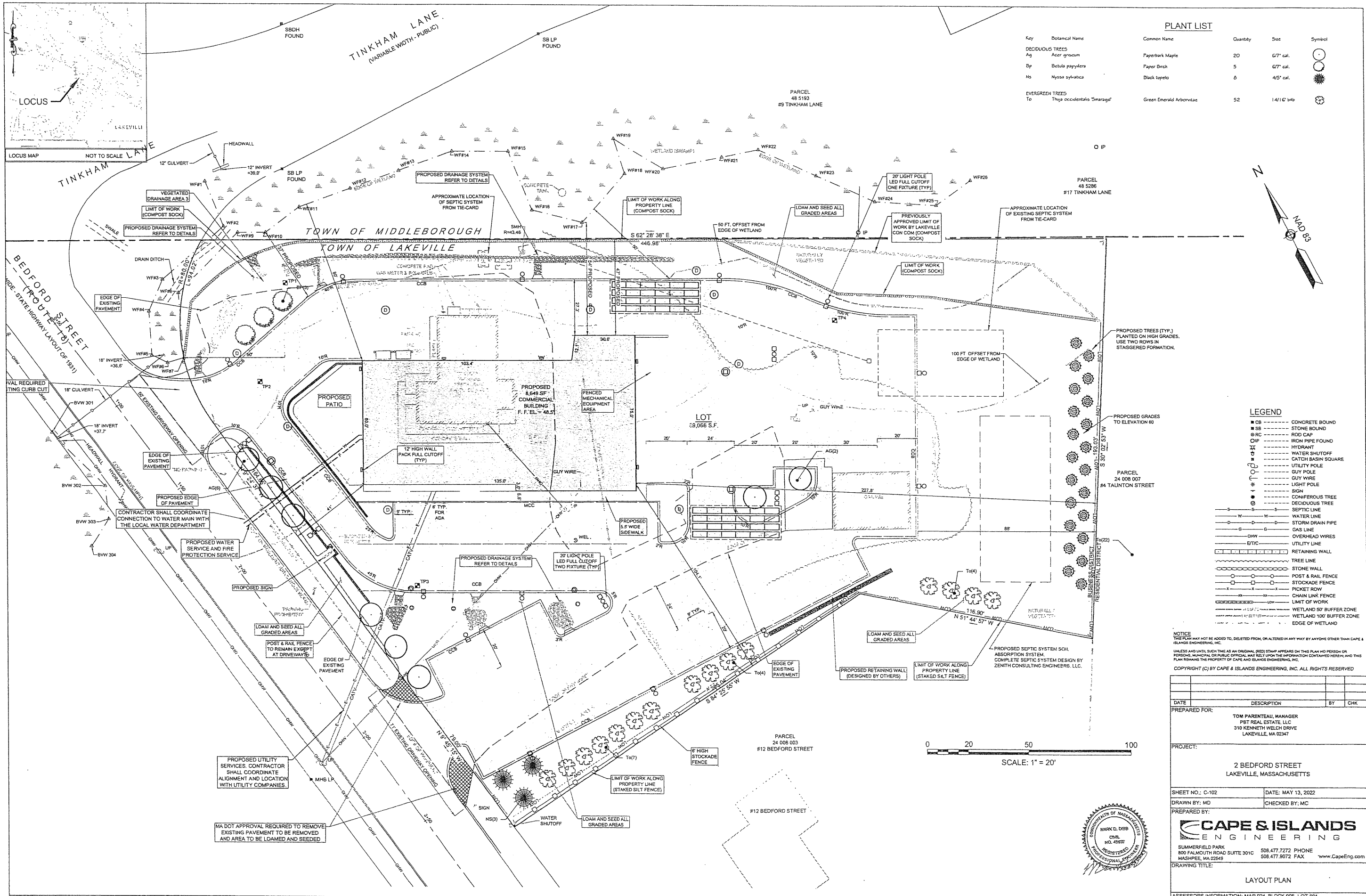
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LEGEND

CB	CONCRETE BOUND
SB	STONE BOUND
RC	ROD CAP
IP	IRON PIPE FOUND
OH	HYDRANT
WS	WATER SHUTOFF
CB	CATCH BASIN SQUARE
UP	UTILITY POLE
GP	GUY POLE
GW	GUY WIRE
LP	LIGHT POLE
S	SIGN
CT	CONIFEROUS TREE
DT	DECIDUOUS TREE
TS	TREE STUMP
SR	SHRUB
CS	CONIFEROUS SHRUB
TL	TREE LINE
OW	OVERHEAD WIRES
SW	STONE WALL
PR	POST & RAIL FENCE
ST	STOCKADE FENCE
PR	PICKET ROW
CL	CHAIN LINK FENCE



DATE	DESCRIPTION	BY	CHK
PREPARED FOR:	TOM PARENTEAU, MANAGER PST REAL ESTATE, LLC 310 KENNETH WELCH DRIVE LAKEVILLE, MA 02347		
PROJECT:	2 BEDFORD STREET LAKEVILLE, MASSACHUSETTS		
SHEET NO.:	C - 101	DATE:	MAY 13, 2022
DRAWN BY:	MD	CHECKED BY:	MC
PREPARED BY:	 SUMMERFIELD PARK 800 FALMOUTH ROAD SUITE 301C MASHPEE, MA 02649 508.477.7272 PHONE 508.477.9072 FAX www.CapeEng.com		
DRAWING TITLE:	EROSION CONTROL AND DEMOLITION PLAN		
ASSESSORS INFORMATION:	MAP 024, BLOCK 008, LOT 001		



PLANT LIST

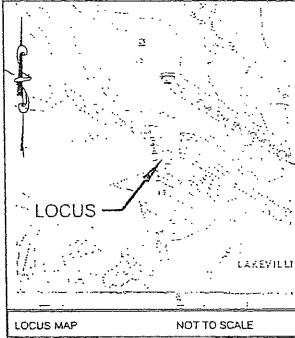
Key	Botanical Name	Common Name	Quantity	Size	Symbol
DECIDUOUS TREES					
Ag	Acer glabrum	Paperbark Maple	20	6" cal.	○
Bp	Betula papyrifera	Paper Birch	5	6" cal.	○
Ns	Nyssa sylvatica	Black tupelo	6	4" cal.	⊗
EVERGREEN TREES					
To	Thuja occidentalis 'Smaragd'	Green Emerald Arborvitae	52	1 1/2" cal.	⊗

LEGEND

CB	CONCRETE BOUND
SB	STONE BOUND
RC	ROD CAP
IP	IRON PIPE FOUND
HP	HYDRANT
WS	WATER SHUTOFF
CS	CATCH BASIN SQUARE
UP	UTILITY POLE
GW	GUY WIRE
LP	LIGHT POLE
SN	SIGN
CT	CONIFEROUS TREE
CD	DECIDUOUS TREE
S	SEPTIC LINE
W	WATER LINE
D	STORM DRAIN PIPE
G	GAS LINE
OW	OVERHEAD WIRES
UL	UTILITY LINE
RE	RETAINING WALL
TL	TREE LINE
SW	STONE WALL
PF	POST & RAIL FENCE
ST	STOCKADE FENCE
PR	PICKET ROW
CL	CHAIN LINK FENCE
LO	LIMIT OF WORK
W50	WETLAND 50' BUFFER ZONE
W100	WETLAND 100' BUFFER ZONE
EW	EDGE OF WETLAND

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DATE	DESCRIPTION	BY	CHK
PREPARED FOR: TOM PARENTEAU, MANAGER PBT REAL ESTATE, LLC 310 KENNETH WELCH DRIVE LAKEVILLE, MA 02347			
PROJECT: 2 BEDFORD STREET LAKEVILLE, MASSACHUSETTS			
SHEET NO.: C-102	DATE: MAY 13, 2022		
DRAWN BY: MD	CHECKED BY: MC		
PREPARED BY: CAPE & ISLANDS ENGINEERING			
SUMMERFIELD PARK 800 FALMOUTH ROAD SUITE 301C WASHFIELD, MA 02648		508.477.7272 PHONE 508.477.9072 FAX www.CapeEng.com	
DRAWING TITLE: LAYOUT PLAN			
ASSESSORS INFORMATION: MAP 024, BLOCK 006, LOT 001			



GENERAL NOTES

LOCATIONS ARE BASED ON AN "ON THE GROUND" INSTRUMENT SURVEY AND ELEVATIONS BASED ON THE NAVD 1988 DATUM. COORDINATE SYSTEM USED IS THE MASS-MEANLAND COORDINATE SYSTEM. DATUM: NAD 83, UNITS: U.S. SURVEY FEET.

THE FINISHED FLOOR ELEVATION (FIN. FL. EL.) SHOWN HEREON IS BASED ON AN ASSUMED 1" LOWER THAN THE SURVEYED THRESHOLD ELEVATION. AN INTERIOR INSPECTION OF BUILDINGS WAS NOT PERFORMED.

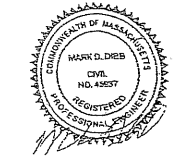
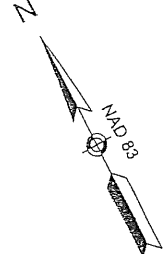
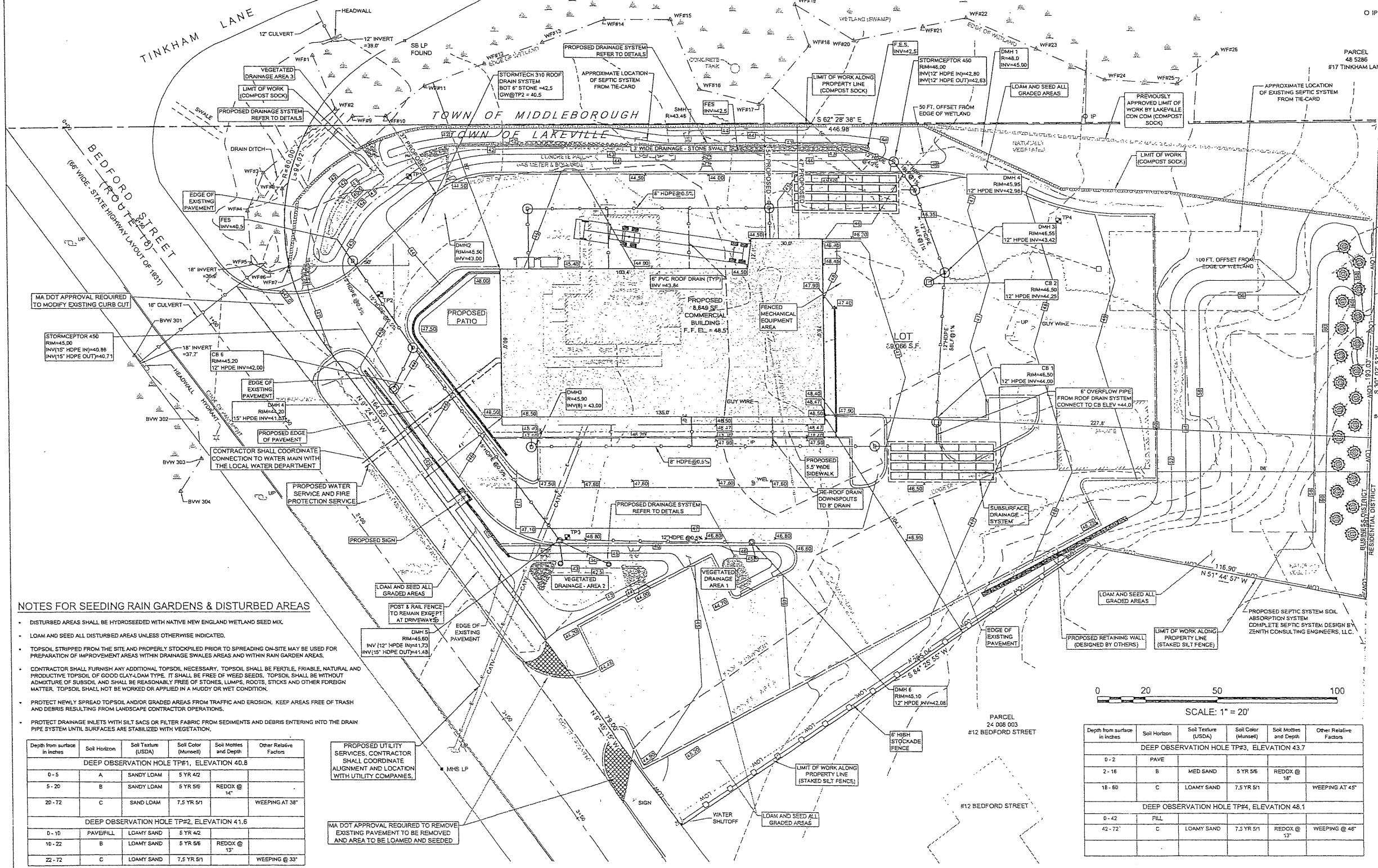
ZONING DISTRICT: BUSINESS, WATER RESOURCE PROTECTION DISTRICT

PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF MINIMAL HAZARD ZONE X BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 2502C0314J, WITH A MAP EFFECTIVE DATE OF JULY 17, 2012.

THIS LOT IS NOT LOCATED WITHIN A DEP APPROVED ZONE II WELLHEAD PROTECTION AREA. THIS LOT IS NOT LOCATED WITHIN A NHESP ESTIMATED HABITATS OF RARE WILDLIFE.

DEED REFERENCE: DEED BK 27232 PAGE 106

OWNER: JAMES F. MENAMARA
W.A.M. REALTY TRUST II
188 ROCKLAND STREET
BROCTON, MA 02401



LEGEND

- CB CONCRETE BOUND
- SB STONE BOUND
- RC ROOF CAP
- IP IRON PIPE FOUND
- H HYDRANT
- W WATER SHUTOFF
- C CATCH BASIN SQUARE
- U UTILITY POLE
- G GUY POLE
- W WIRE
- L LIGHT POLE
- S SIGN
- C CONIFEROUS TREE
- D DECIDUOUS TREE
- S SEPTIC LINE
- W WATER LINE
- S STORM DRAIN PIPE
- G GAS LINE
- O OVERHEAD WIRES
- E ELECTRIC UTILITY LINE
- R RETAINING WALL
- T TREE LINE
- S STONE WALL
- P POST & RAIL FENCE
- S STOCKADE FENCE
- P PICKET ROW
- C CHAIN LINK FENCE
- L LIMIT OF WORK
- W WETLAND 50' BUFFER ZONE
- W WETLAND 100' BUFFER ZONE
- E EDGE OF WETLAND

NOTES FOR SEEDING RAIN GARDENS & DISTURBED AREAS

- DISTURBED AREAS SHALL BE HYDROSEEDED WITH NATIVE NEW ENGLAND WETLAND SEED MIX.
- LOAM AND SEED ALL DISTURBED AREAS UNLESS OTHERWISE INDICATED.
- TOPSOIL STRIPPED FROM THE SITE AND PROPERLY STOCKPILED PRIOR TO SPREADING ON-SITE MAY BE USED FOR PREPARATION OF IMPROVEMENT AREAS WITHIN DRAINAGE SWALES AREAS AND WITHIN RAIN GARDEN AREAS.
- CONTRACTOR SHALL FURNISH ANY ADDITIONAL TOPSOIL NECESSARY. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL AND PRODUCTIVE TOPSOIL OF GOOD CLAY-LOAM TYPE. IT SHALL BE FREE OF WEED SEEDS. TOPSOIL SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND SHALL BE REASONABLY FREE OF STONES, LUMPS, ROOTS, STICKS AND OTHER FOREIGN MATTER. TOPSOIL SHALL NOT BE WORKED OR APPLIED IN A MUDDY OR WET CONDITION.
- PROTECT NEWLY SPREAD TOPSOIL AND/OR GRADED AREAS FROM TRAFFIC AND EROSION. KEEP AREAS FREE OF TRASH AND DEBRIS RESULTING FROM LANDSCAPE CONTRACTOR OPERATIONS.
- PROTECT DRAINAGE INLETS WITH SILT SACS OR FILTER FABRIC FROM SEDIMENTS AND DEBRIS ENTERING INTO THE DRAIN PIPE SYSTEM UNTIL SURFACES ARE STABILIZED WITH VEGETATION.

Depth from surface in inches	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Moisture and Depth	Other Relative Factors
DEEP OBSERVATION HOLE TP#1, ELEVATION 40.8					
0-5	A	SANDY LOAM	5 YR 4Z		
5-20	B	SANDY LOAM	5 YR 5/6	REDOX @ 14"	
20-72	C	SAND LOAM	7.5 YR 5/1		WEEPING @ 38"
DEEP OBSERVATION HOLE TP#2, ELEVATION 41.6					
0-10	A	LOAMY SAND	5 YR 4Z		
10-22	B	LOAMY SAND	5 YR 5/6	REDOX @ 15"	
22-72	C	LOAMY SAND	7.5 YR 5/1		WEEPING @ 33"

PROPOSED UTILITY SERVICES. CONTRACTOR SHALL COORDINATE ALIGNMENT AND LOCATION WITH UTILITY COMPANIES.

MA DOT APPROVAL REQUIRED TO REMOVE EXISTING PAVEMENT TO BE REMOVED AND AREA TO BE LOAMED AND SEED.

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DATE	DESCRIPTION	BY	CHK

PREPARED FOR:
TOM PARENTEAU, MANAGER
P&T REAL ESTATE, LLC
310 KENNETH WELCH DRIVE
LAKEVILLE, MA 02447

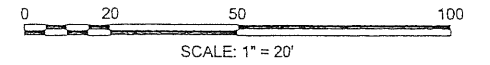
PROJECT:
**2 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS**

SHEET NO.: C-103 DATE: MAY 13, 2022
DRAWN BY: MD CHECKED BY: MC

PREPARED BY:
CAPE & ISLANDS ENGINEERING
SUMMERFIELD PARK
800 FALMOUTH ROAD SUITE 301C 508.477.7272 PHONE
MASHPEE, MA 02649 508.477.9672 FAX www.CapeEng.com

DRAWING TITLE:
GRADING, DRAINAGE AND UTILITY PLAN

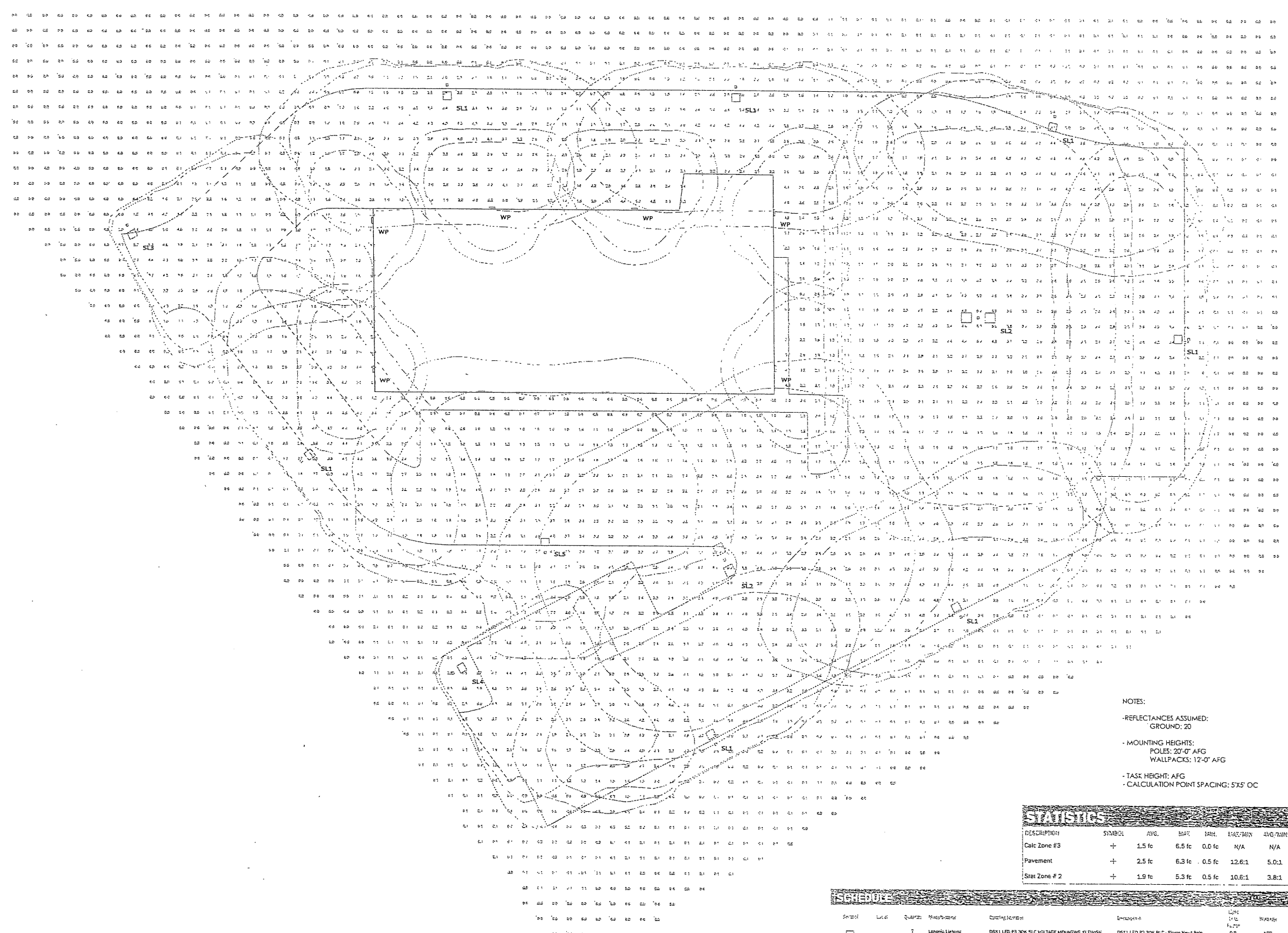
ASSESSORS INFORMATION: MAP 024, BLOCK 008, LOT 001



Depth from surface in inches	Soil Horizon	Soil Texture (USDA)	Soil Color (Munsell)	Soil Moisture and Depth	Other Relative Factors
DEEP OBSERVATION HOLE TP#3, ELEVATION 43.7					
0-2	PAVE				
2-16	B	MED SAND	5 YR 5/6	REDOX @ 18"	
18-60	C	LOAMY SAND	7.5 YR 5/1		WEEPING AT 45"
DEEP OBSERVATION HOLE TP#4, ELEVATION 48.1					
0-42	FILL				
42-72	C	LOAMY SAND	7.5 YR 5/1	REDOX @ 13"	WEEPING @ 46"



2 Bedford Street
05-03-2022



- NOTES:
- REFLECTANCES ASSUMED:
GROUND: 20
 - MOUNTING HEIGHTS:
POLES: 20'-0" AFG
WALLPACKS: 12'-0" AFG
 - TASK HEIGHT: AFG
 - CALCULATION POINT SPACING: 5'x5' OC

STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MIN.	MAX.	AVG./MIN.	AVG./MAX.
Calc Zone #3	+	1.5 fc	0.0 fc	N/A	N/A	
Pavement	+	2.5 fc	0.5 fc	12.6:1	5.0:1	
Site Zone # 2	+	1.9 fc	0.5 fc	10.6:1	3.8:1	

SCHEDULE							
Symbol	Qty	Description	Notes	Manufacturer	Quantity	Unit	Notes
□	1	Landscape Lighting	DS11 LED P3 30W SLC VOLTAGE MOUNTING 12' FINISH *Single Head Pole Mounted at 20' AFG*	DS11 LED P3 30W SLC - Single Head Pole	0.9	102	
□	2	Landscape Lighting	DS11 LED P3 30W TSM VOLTAGE MOUNTING 12' FINISH *Twin Head Pole @ 20' AFG, Mounting at 20' AFG*	DS11 LED P3 30W TSM - Twin Head Pole	0.9	204	
□	3	Landscape Lighting	DS11 LED P3 30W RGS VOLTAGE MOUNTING 12' FINISH *Single Head Pole Mounted at 20' AFG*	DS11 LED P3 30W RGS - Single Head Pole	0.9	102	
□	4	Landscape Lighting	DS11 LED P3 30W LED VOLTAGE MOUNTING 12' FINISH *Single Head Pole Mounted at 20' AFG*	DS11 LED P3 30W LED - Single Head Pole	0.9	102	
□	5	Landscape Lighting	DS11 LED P3 30W TSM VOLTAGE MOUNTING 12' FINISH *Single Head Pole Mounted at 20' AFG*	DS11 LED P3 30W TSM - Single Head Pole	0.9	102	
□	6	Landscape Lighting	WP13 LED P2 30W 12'	WP13 LED wallpack, 3000K, 2000K color temperature 120-277 Vrms	0.5	2526	

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DATE	DESCRIPTION	BY	CHK

PREPARED FOR:
TOM PARENTEAU, MANAGER
PBT REAL ESTATE, LLC
310 KENNETH WELCH DRIVE
LAKEVILLE, MA 02447

PROJECT:
2 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS

SHEET NO.: C-102	DATE: MAY 13, 2022
DRAWN BY: MD	CHECKED BY: MC

PREPARED BY:
CAPE & ISLANDS ENGINEERING
SUMMERFIELD PARK
800 FALMOUTH ROAD, SUITE 301C
MASHPEE, MA 02549
508.477.7272 PHONE
508.477.9072 FAX
www.CapeEng.com

DRAWING TITLE:
PHOTOMETRIC PLAN
ASSESSORS INFORMATION: MAP 024, BLOCK 008, LOT 001

**Planning Board
Lakeville, Massachusetts
Minutes of Meeting
Thursday, March 10, 2022**

On March 10, 2022, the Planning Board held a meeting at the Lakeville Police Station. The meeting was called to order by Chairman Knox at 7:00 p.m. LakeCam was making a video recording of the meeting.

Members present:

Mark Knox, Chair; Peter Conroy, Vice-chair; Barbara Mancovsky, Michele MacEachern, Jack Lynch

Others present:

Marc Resnick, Town Planner

Review of possible amendments to the Zoning Bylaw – Sign Bylaw

Mr. Knox said there were some unresolved items that members could speak to tonight. Mr. Resnick stated at the last meeting they had talked about electronic message boards, the changeable copy signs, and the internally illuminated signs. There had been discussion about not allowing them but a majority felt that they should require a Special Permit with certain parameters. The Zoning Board can then determine if there are certain site-specific conditions that ought to be reviewed, whether it's the height or intensity, or if it is even desirable. Mr. Resnick advised he has rewritten this section and has included it in the Special Permit section.

Ms. MacEachern asked if it would be necessary to add the definition for an internally illuminated sign. Mr. Resnick said that could be added. Ms. MacEachern was still hesitant about allowing these signs with a Special Permit because there is so much land that could potentially be developed, and they already have all these existing signs. This will just add to the trend of that unappealing design. Mr. Resnick advised that what they have here is still a significant change over what they currently have. You can go in and amortize and get rid of signs that are non-conforming and give people a certain length of time to do so, but it has to be a reasonable amount of time. He felt at this point, it's better not to do that as this is their first real re-write of a small bylaw. Ms. Mancovsky said personally she would like them to limit the signage as suggested by Ms. MacEachern at their last meeting. She did not think advertising on the street had a material impact on the operations of a local business, but it did have an impact on their community.

Members then discussed if any of the sizes should be modified. Mr. Conroy was not in favor and noted the sign outside would not even be available by Special Permit. They have designated business zones, and there needs to be options for signs. The height of signs was also discussed. Mr. Conroy said if the maximum building height in Town is 35 feet, 30 feet for a sign is not

outrageous. Mr. Resnick said there is a section that allows the Zoning Board to issue a Special Permit for signs that exceed the limitations in this bylaw. Unless they take that out and eliminate Special Permits for signs unless they specifically say so, such as electronic message boards, they then can take out some of these prohibitions of maximum size and heights. He was trying to set some limits so the Zoning Board can't allow, for example, a 50-foot sign.

Ms. MacEachern asked if anything regarding the lumens had been included. Mr. Resnick said that it had not. That was going to require a lot of research, and there had not been enough time to delve into that particular issue to figure out what is the maximum, and how to regulate it. Mr. Knox said under 6.6.6.3, changeable copy signs, it says that only one of these types of signs are permitted per property. If there is a strip mall with five spaces, only one store can have a sign? Mr. Resnick replied normally the name of the plaza would be on the top of a sign and below it there would be a placard for each individual business. Those would not have to be internally illuminated. If they are trying to have better design and better quality, then each business could still have their own placard which would be lit by spotlights or some other illumination on the sides of the sign.

Mr. Knox asked if they could change the per property to per business. Mr. Resnick said what could happen is with the maximum of a 32 square foot freestanding sign, the entire thing will be an internally illuminated sign, or it will have an electronic message board and then it will be all internally illuminated. Ms. MacEachern thought what was written was a good compromise, with one internally lit and the other businesses having a side spotlight. Mr. Conroy said that they are discussing that a business can't have both an internally lit sign and an electronic message board even though this building has that. He didn't see how that is necessarily bad. Ms. MacEachern added that this was a good example of a good exception. Mr. Knox said that he would be opposed to this unless the word property was changed to business. He said you could then have two internally illuminated signs and no electronic message board. Mr. Conroy said he didn't want to limit people with their business, when the Town has a business zone. Mr. Resnick added that they were not taking away the ability to advertise but were forcing a more thoughtful design.

Mr. Conroy questioned what type of business would be open for 24 hours. Should they also include veterinarian care? Mr. Resnick said it would say "except for a facility providing medical care or emergency services." Mr. Knox said he wanted to revisit changing per property to per business. Mr. Conroy had no problem with the change. Mr. Resnick added that either way it was not overly restrictive. He noted that after a new bylaw is implemented, if it's found to be too restrictive or too lenient adjustments can be made. Ms. Mancovsky asked if they make that change, what does it look like? Mr. Resnick said if there were five businesses on a property there could be five internally illuminated, five changeable copies, or five electronic message boards by changing just that one word. Mr. Resnick said he would add a sentence which would allow that kind of sign but under a Special Permit and only for a common directory sign. He would add internally illuminated signs shall not exceed 24 square feet. He would also add a common directory sign may be allowed to have one internally illuminated sign per business not to exceed 12 square feet. It would still be a Special Permit so the Board can look at the design, brightness, etc. to ensure that it is compatible with the neighborhood.

Ms. MacEachern asked if the definition for an internally illuminated sign was going to be included. Mr. Resnick said he had not included it. Ms. MacEachern just wanted to make sure that going

forward there wouldn't be any confusion where an applicant would try to claim otherwise. Mr. Resnick said he would then define it as signs illuminated by the means of a light source completely enclosed by the sign panels. This would make it absolutely clear.

Mr. Knox then made a motion, seconded by Ms. Mancovsky, to send the amended sign bylaw to the Board of Selectmen for approval for the Town Meeting Warrant with the following changes: the internally illuminated signs per business change; the change to emergency services signs illuminated overnight; and the additional definition for illuminated sign. The **vote** was **unanimous for**.

Review of possible amendments to the Zoning Bylaw – Site Plan Review including Design Standards

Mr. Knox began with a couple of questions. Regarding Section 6.7.5.6 Architectural requirements, later in the bylaws they are under 6.7.6. Should this be referenced? Mr. Knox said also under 6.7.6.7 Lighting should that reference the Town's lighting by-law? Mr. Resnick replied that he could add those references in. The last question was in regards to on-site construction. Within the bylaw, they have already called out that peer review, at the applicant's expense, may be required. He asked for a clarification. Mr. Resnick said that sometimes within a project items may have to be amended or adjusted and that is what this section allows. If it is something of significance that affects the Site Plan, then that should come back to the Board. Mr. Knox said they might want to call out what they want to regulate and have an engineer be able to review it at the developer's expense. Mr. Resnick said there is a line regarding this under fees.

Ms. MacEachern noted that there were two Sections 6.7.6 which would need to be corrected. Mr. Knox asked if language could be added in Section 6.7.4.3 to include for final as-builts for stormwater management, sidewalks, handicapped access, etc. He noted that previously, somethings had been missed. This will make sure that they have, in the bylaw, the ability to close out a project at the applicant's request. Mr. Resnick advised that compliance with handicap standards should go into the Site Design Performance Standards with a reference that all would meet State Handicap Design Guidelines.

Mr. Knox said that he liked the section where mitigation has been called out for access to another neighboring site. Mr. Resnick said that regarding site construction he noted they can add the Board may require the site construction be inspected at the applicant's expense. Mr. Knox asked if there were any additional questions for the Site Plan Review. There were none. He then made a motion, seconded by Mr. Conroy, to send the Site Plan Review by-law changes to the Board of Selectmen with the three minor changes that had been discussed. The **vote** was **unanimous for**.

Review of possible amendments to the Zoning Bylaw – Filling Station- corrections from 2018 Town Meeting

Mr. Knox said there had been a document included in their packets. Mr. Resnick noted that everything had been approved except for the section that was in front of them. Mr. Knox said it appears to be a housekeeping item. Was this from Town Counsel? Mr. Resnick was unsure where it originated. It had been given to him, and he was told this portion had not been put forth at Town

Meeting and it was not known why it hadn't made it onto the Warrant. He believed it had been changed in one section but not this specific Special Permit section.

After discussion, Mr. Knox made a motion, seconded by Mr. Conroy, to send this Article to the Board of Selectmen to be placed on the Warrant. The **vote** was **unanimous for**.

Review of possible amendments to the Zoning Bylaw – Open Space Residential Development (OSRD)

Ms. Mancovsky noted that their current frontage is 175 feet and this is down to 50 feet. Mr. Resnick said that he had made some adjustments but he thought they could discuss it. He would show them some drawings of subdivisions they had done in Foxborough. Unlike in Foxborough, most of Lakeville is private water and private septic so he changed the minimum lot size to 30,000 square feet. This was after consulting with the Health Agent to be able to maintain the required setbacks for both water and septic systems.

Ms. Mancovsky asked if they were to approve something like this, where everything would be fairly tight, would septic systems have to be dug out to be replaced? Mr. Knox said that it depends on the reason for failure, but that it can be done. Members then discussed the sample plan that Mr. Resnick had provided. Ms. MacEachern asked if they were only setting aside 50 %, shouldn't they just half their existing requirements? Mr. Resnick replied it was required to have at least 50% but that doesn't mean you couldn't have a higher number. The other item is you have to take out roadways, etc. He also has a limitation that you cannot count the drainage areas toward the open space. Leaving that in there, allows a little more flexibility to the builder to design something.

Mr. Knox said his suggestion would be to a change in those requirements to somewhere between 75 and 100 feet, but then could the Planning Board offer a waiver that not more than 20% of the lots have reduced frontage? He noted that you could get away with 50 feet on the outside corners, but some lots on the straight part of the road would still require the 100 feet and some on the cul-de-sac or a bend in the road would gain from that. If they limit the number, they could allow it but not on every lot. Mr. Resnick said that you would find from laying out a subdivision that no one's going to have all the lots 50 or 75 feet, but he thought allowing that flexibility would be a good thing.

Ms. Mancovsky asked if this Open Space by-law was one of the objectives of the Master Plan Implementation Committee. Mr. Lynch said that it was, but they hadn't really had much conversation regarding it. Mr. Resnick said they could increase the frontage and then allow the Planning Board to reduce the frontage on 20% of the lots to 50 feet. Therefore, if it was a 20-lot subdivision, 4 of them could be 50 feet but the others would have to be whatever number they come up with. Mr. Resnick said that still allowed some flexibility but also some control of the configuration of odd shaped lots.

Mr. Knox asked if the road would be adopted by the Town. Mr. Resnick said it could be. The developer may want to build a private road for his private community but still have public access to the open space. It would depend on the piece of land; if it was a sensitive habitat; if there are existing trails, etc. Mr. Knox asked about the option for a duplex so there could be a shared septic.

Mr. Resnick replied that would require a whole new section. As they work through the other bylaw over the summer for age restricted senior housing, they could discuss whether they want to amend this to allow that type of option. Initially, the goal is just to have some reduced size subdivision so they could have a variety of housing and some land preservation.

Mr. Knox asked if in the dimensional requirements where it states maximum percentage of land covered by structures, parking, and paved areas; would it make sense to change it to lot coverage so it cannot be construed as percent of land on the entire project. Mr. Resnick noted that was the same language used in the current bylaw. He could take out that language in the OSRD bylaw, and when they look at some other adjustments to the zoning, that might be something they correct. Mr. Knox said they were normally at 25% coverage, was a formula used to get to the 40%. Mr. Resnick replied what he had done was added up the square footage for a house, driveway, pool, pool apron, shed, decks, etc. The sum of those comes to approximately 33%, and 40% allows a little more flexibility in case there are other factors affecting the lot. Mr. Knox asked if this would negate what was in the Zoning by-law. Mr. Resnick said it does say that all lots approved under this section do not have to comply with the requirements of Section 5.1, the Intensity Regulations. If there were wetlands on these lots, it would not take away from the lot coverage as found in the Zoning by-law, but 30,000 square feet of contiguous upland area would be required for the lot to be a lot. It would have to exceed that number if there were wetlands on it.

Mr. Knox asked if for the potential of some Planning Board control, could they require 10-20% age restricted, maximum two-bedroom homes, or an affordable component. Could they develop something as a negotiating point for them to grant a waiver for something else? Mr. Resnick said some towns will do an inclusionary zoning bylaw that will say if your developing a subdivision with so many lots, you must have one affordable unit, etc. They could write an inclusionary zone affordable section to this, but he has never written one. He would be concerned with just throwing in a blanket statement. They would need to know what does that mean; what is the criteria; what is the affordability requirement; who is going to be monitoring? He thought that could be a good discussion as they go forward. Do they amend this or do they create an inclusionary zoning bylaw themselves? That is something they can look further into.

Members then discussed having a private road versus a public road. Mr. Resnick said this doesn't say all the roads under this have to be private. The Board can say their policy is that they want all of these roads to be public ways because of the open space, or any other reasons. He said that in other communities, he has found that the private roads can be a real hassle. Mr. Conroy thought it was great, and nothing mentioned was a hold up. Mr. Lynch was also okay with it. Mr. Knox said they will see how the rest of the Town receives it when it goes to Town Meeting. From a development standpoint and preserving open space, he thought it would be a good thing, and it is a positive. He said that they are going to change the frontage and put in the potential for a waiver over 20%. Mr. Resnick said that he will put in 100 feet and then 20% of the lots may be reduced to a minimum of 50% or the Board may approve.

Mr. Knox then made a motion, seconded by Mr. Conroy, to send this to the Board of Selectmen for approval for the Town Meeting Warrant. The **vote** was **unanimous for**.

Master Plan Implementation- Fee Review Project - update

Mr. Knox asked Mr. Resnick if he had a chance to go over the fees that the Town currently charges and what the Board had proposed. Mr. Resnick replied he had gone through them, and had also checked a few other communities. He then reviewed some of the fees. He noted most were comparable with surrounding Towns. After discussion, he advised he would revise this for their next meeting for further discussion. If they approve it, they can then figure out a date to post a hearing.

Mr. Knox added that it had also been mentioned prior that at their last Town Meeting there was a bylaw change for gravel removal permits. One of the requirements that negated the gravel removal permit going to the Board of Selectmen was if it was part of an already permitted project, so if there was a subdivision in front of them, it wouldn't then go back to the Selectmen because it was already permitted by the Planning Board. Mr. Knox asked if they should add a gravel removal line into their fee schedule and include it under their purview.

Mr. Resnick asked if that was something that was overlooked, or was it something they thought where the amount coming out of site would be relatively insignificant or reused within the site. He noted that in Towns that he has been in, they haven't required it because of those issues. Mr. Knox said the change had been recommended by Counsel because what they had was antiquated and needed to be updated. It had previously been a vague and nondescript bylaw, but it was changed to become a very descriptive bylaw. There were certain criteria that excluded it from going to the Board of Selectmen because it would have already been permitted. Mr. Knox said that he did not want to see the Town lose out on that revenue because of the new bylaw. Mr. Resnick said that he would have to determine if the Board had the authority to require a fee for the removal of gravel from the site under the subdivision control law, or they may have to add something to the regs that would give them the authorization to require a fee. They could look at that concurrently with the greater changes and updates to their subdivision regulations. Mr. Knox said he thought it was worth Mr. Resnick looking at the new bylaw, and they could then have additional discussion on the subject. Mr. Resnick would have the final review of the fee project for their next meeting.

Next meeting

Mr. Knox advised the next meeting is scheduled for March 24, 2022, at 7:00 p.m.

Old Business

Ms. MacEachern said she had the re-codification materials which she would be sharing with Mr. Resnick.

Mr. Resnick said there is a subdivision in the Town called Bella's Way. He has not yet been by there or inspected it, but one of the conditions is the posting of a cash bond for \$11,000 for the completion of the roadway. He advised they have submitted this check. Mr. Knox said that Mr.

Resnick should go by there. There were still some drainage structures that needed to be put in. He would like him to take a look at it before they make a final decision.

Mr. Resnick then discussed 310 Kenneth W. Welch Drive. He had spoken with their engineers, and there had been a team of people on the call. They said that items such as the parking calculations, lot coverages, as well as the gas storage or distribution facility that has been added, aren't theirs, they didn't add them, and therefore, were not responsible. He has advised them that someone has to coordinate all of this, and they are the first ones coming through to make adjustments. They are the beneficiary of this, and they need to ensure that all of this is coordinated with the building owner or that the owner coordinates this on behalf of his tenants.

Mr. Knox noted that the installation of the gas storage took 22 of their parking spaces. That is why they needed to add more out front as well as their expansion. Mr. Resnick stated they will be on the Board's next agenda. They will also be asking for an extension of their temporary parking plan.

New Business

Ms. Mancovsky advised that later this month she would be attending her last SRPEDD meeting. She wanted the Board to be aware that someone would have to be appointed to fill that position. Mr. Knox said they will place that on their next agenda for discussion.

Adjourn

Mr. Knox made a motion, seconded by Ms. Mancovsky, to adjourn the meeting. The **vote** was **unanimous for**.

Meeting adjourned at 9:25.