



Received & posted: _____
Town Clerk _____

REMOTE MEETING NOTICE/ AGENDA

Posted in accordance with the provisions of MGL Chapter 30A, §. 18-25

Name of Board, Committee or Commission:	<u>Planning Board</u>
Date & Time of Meeting:	<u>Thursday, June 25, 2020 at 7:00 p.m.</u>
Location of Meeting:	<u>REMOTE MEETING</u>
Clerk/Board Member posting notice	<u>Cathy Murray</u>

Revised AGENDA

1. In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G.L. c.30A, §20, relating to the 2020 novel Coronavirus outbreak emergency, the June 25, 2020, public meeting of the **Planning Board** shall be physically closed to the public to avoid group congregation. **However, to view this meeting in progress, please go to facebook.com/lakecam (you do not need a Facebook account to view the meeting). This meeting will be recorded and available to be viewed at a later date at <http://www.lakecam.tv/>**
2. **Public Hearing (7:00)**
Pauline's Path-73 Howland Road upon the application for Approval of a Definitive Plan submitted by Pauline Ashley (L & B Realty Trust) for a four (4) lot subdivision, Assessors Map 013, Block 001, Lot 001.
3. **Meet with Jamie Bissonnette regarding the GIS system**
4. **ANR plan, continued – Reservoir Avenue** – Meet with Mr. David Maddigan from Maddigan Land Surveying regarding ANR submittal for Reservoir Avenue.
5. **Review the following Zoning Board of Appeals petition:**
 - a. Sena – 103 Staples Shore Road
6. **Discuss SRPEDD Commission Appointment**
7. **Administrative Review and Updates**
 - a. **Application requirements**
 - b. **Agenda deadlines**
 - c. **Advertising**
 - d. **Certified mailings**
8. **New Business**
9. **Old Business**
10. **Next meeting. . . July 9, 2020 at 7:00 p.m.**
11. **Any other business that may properly come before the Planning Board.**
12. **Adjourn**

Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the Planning Board arise after the posting of this agenda, they may be addressed at this meeting.

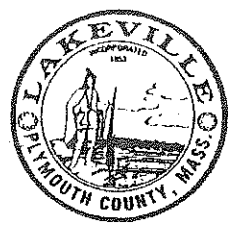
#1

Read the following into the record:

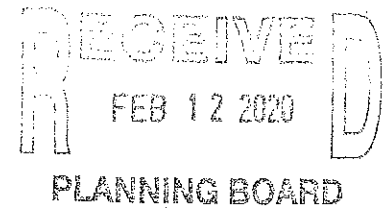
In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G.L. c.30A, §20, relating to the 2020 novel Coronavirus outbreak emergency, the June 25, 2020, public meeting of the **Planning Board** shall be physically closed to the public to avoid group congregation. **However, to view this meeting in progress, please go to [facebook.com/lakecam](https://www.facebook.com/lakecam) (you do not need a Facebook account to view the meeting). This meeting will be recorded and available to be viewed at a later date at <http://www.lakecam.tv/>**

#2

Date Submitted: _____



Town of Lakeville
PLANNING BOARD
346 Bedford Street
Lakeville, MA 02347
508-946-8803



FORM C

APPLICATION FOR APPROVAL OF DEFINITIVE PLAN

File one completed Form C with the Planning Board and one copy with the Town Clerk in accordance with the requirements of Section III-B

To the Planning Board:

The undersigned herewith submits the accompanying Definitive Plan of property located in the Town of Lakeville for approval as a subdivision as allowed under the Subdivision Control Law, and the Rules & Regulations governing the subdivision of land of the Planning Board of the Town of Lakeville.

- 1. Name of Sub Divider: L&B Realty Trust
Address: 113 East Grove Street Middleboro, MA 02346
- 2. Name of Engineer or Surveyor: Zenith Consulting Engineers, LLC.
Address: 3 Main Street Lakeville, MA 02347
- 3. Deed of property recorded in Plymouth Registry,
Book 48050 Page 317
- 4. Location and Description of Property: 73 Howland Road
Assessors Map 013 Block 001 Lot 001
Consists of approximately 21.377 acres

SIGNATURE OF OWNER: Pauline Ashley
ADDRESS: 73 Howland Rd
Lakeville, MA 02347

A list of the names and addresses of the abutters of this subdivision is attached. Verification will be made by the Planning Board.



3 Main Street Lakeville, MA 02347
 (508) 947-4208 - www.zcellc.com

- Civil Engineering
- Septic Design (Title 5)
- Septic Inspections (Title 5)
- Commercial and Industrial Site Plans
- Chapter 91 Permitting

February 5, 2020

Lakeville Planning Board
 Lakeville Town Hall
 346 Bedford Street
 Lakeville, MA 02347

RE: Pauline's Path, Lakeville, MA

Dear Board Members:

On behalf of our client, L&B Realty Trust, Zenith Consulting Engineers, LLC. respectfully requests the following waivers from the Town of Lakeville's Rules and Regulations of the Planning Board Governing the subdivision of Land:

1. Section IV b. 5. B.) - outside roadway diameter of at least one hundred twenty feet
2. Section IV b. 6. G) - roadway construction
3. Section IV b. 7) - curbs and berms
4. Section IV b. 8) - sidewalks
5. Section IV c. 2.A-C) - water facilities, water supply & gas main
6. Section IV I.) - street lights
7. Section IV K.) - tree's

Zenith Consulting Engineers, LLC. requests and opportunity to appear in front of the Board so that their waivers may be reviewed. Should you have any questions, please do not hesitate to contact the office at 508-947-4208 or email jamie@zcellc.com.

Sincerely,
Zenith Consulting Engineers, LLC

A handwritten signature in black ink, appearing to read 'Jamie L. Bissonnette', is written over a faint, circular stamp or watermark.

Jamie L. Bissonnette, P.E.
 Manager/Senior Engineer

RECEIVED
 FEB 12 2020

PLANNING BOARD

#2

GENERAL SITE NOTES:

1. WETLAND DELINEATION FLAGGED BY STEPHEN CHMIEL IN 2019.
2. SITE SHOWN AS LOT 001 ON LAKEVILLE ASSESSOR'S MAP 013 BLOCK 001.
3. PARCEL SHOWN IS LOCATED IN ZONING DISTRICT "RESIDENTIAL".
4. PROPERTY LINE AND TOPOGRAPHIC INFORMATION BY ROMANELLI ASSOCIATES INC. IN 2019. ELEVATIONS SHOWN ARE ON NAVD-88.
5. THE PROJECT IS NOT LOCATED WITHIN AN OUTSTANDING RESOURCE WATER (ORW).
6. THE PROJECT IS NOT LOCATED WITHIN A ZONE A OF A SURFACE WATER PROTECTION AREA.
7. THE PROJECT IS NOT LOCATED WITHIN A ZONE I, ZONE II OR IMPA OF A PUBLIC WATER SUPPLY WELL.
8. THE PROJECT IS NOT LOCATED WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC).
9. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A NATURAL HERITAGE ESTIMATED AND PRIORITY HABITAT ACCORDING TO THE AUGUST 2017 MAPS.
10. THE PROPERTY IS LOCATED IN ZONE A AND X PER FEMA FLOOD INSURANCE RATE MAP NUMBER: 25023C0436J, EFFECTIVE DATE: JULY 17, 2012).
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT DIG SAFE (1-888-DIG SAFE) PRIOR TO THE COMMENCEMENT OF WORK AND ALL UNDERGROUND UTILITY COMPANIES TO CONFIRM LOCATIONS AND ELEVATIONS.

CONSTRUCTION NOTES:

1. A NPDES FILING MUST BE SUBMITTED FOR THIS PROJECT PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY BENCHMARKS FOR CONSISTENCY PRIOR TO CONSTRUCTION AND SHALL NOTIFY ZENTH CONSULTING ENGINEERS, LLC. OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL VERIFY WATER TABLE ELEVATIONS AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES FROM THE PLAN.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT DIG SAFE (1-888-DIG SAFE) PRIOR TO THE COMMENCEMENT OF WORK AND ALL UNDERGROUND UTILITY COMPANIES TO CONFIRM LOCATIONS AND ELEVATIONS.
5. ALL SIGNAGE SHALL CONFORM TO MUTCD STANDARDS.
6. PROPOSED UTILITIES AND CONSTRUCTION METHODS UNDER AREAS SUBJECT TO TRAFFIC LOADING SHALL BE INSTALLED TO WITHSTAND H-20 LOADING TRAFFIC STANDARDS. CONTRACTOR SHALL VERIFY THAT ALL STRUCTURES COMPLY TO THIS STANDARD.
7. IF APPLICABLE, ANY RETAINING WALLS SHALL BE DESIGNED BY A MASSACHUSETTS REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.
8. ALL WORK SHALL CONFORM TO THE TOWN OF LAKEVILLE RULES AND REGULATIONS AND THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAY AND BRIDGES, MOST CURRENT VERSION OF PLAN SET.

THE FOLLOWING WAIVERS ARE REQUESTED FROM THE TOWN OF LAKEVILLE RULES & REGULATIONS OF THE PLANNING BOARD GOVERNING THE SUBDIVISION OF LAND:

1. SECTION IV B. 5. B.) - OUTSIDE ROADWAY DIAMETER OF AT LEAST ONE HUNDRED TWENTY FEET
2. SECTION IV B. 6. C.) - ROADWAY CONSTRUCTION
3. SECTION IV B. 7.) - CURBS AND BERMS
4. SECTION IV B. 8.) - SIDEWALKS
5. SECTION IV C. 2.A-C.) - WATER FACILITIES, WATER SUPPLY & GAS MAIN
6. SECTION IV I.) - STREET LIGHTS
7. SECTION IV K.) - TREES

PAULINE'S PATH DEFINITIVE PLAN FOR A RESIDENTIAL SUBDIVISION OFF HOWLAND ROAD LAKEVILLE, MASSACHUSETTS



SCALE: 1"=200'

SHEET	PLAN TITLE
C-1	COVER SHEET
E-1	EXISTING CONDITIONS PLAN
L-1	LOTING PLAN
G-1	GRADING AND DRAINAGE PLAN
P-1	PLAN AND PROFILE
W-1	EROSION CONTROL PLAN
D-1	DETAIL SHEET

OWNERS:

PAULINE A. ASHLEY
73 HOWLAND ROAD
LAKEVILLE, MA 02347

APPLICANT:

L&B REALTY TRUST
113 EAST GROVE STREET
MIDDLEBORO, MA 02346

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	CONTOURS	100
	CONCRETE BOUND	□
●	DRILL HOLE	● DH
●	REBAR	
●	TEST PIT	
	SPOT GRADE	98X5
W	WETLAND SYMBOL	
WF-16 ●	WETLAND FLAG AND NUMBER	
	25' BWV BUFFER	
	50' BWV BUFFER	
	100' BWV BUFFER	
W	WELL	W
	DRAIN LINE	- D - D - D
	DRAIN MANHOLE	⊕
	CATCH BASIN	⊞
	UNDERGROUND ELECTRIC/TELEPHONE/ CABLE	- ETC - ETC
	OVERHEAD WIRES	- OHW - OHW
	UTILITY POLE	⊕
	LIGHT POLE	⊙
	STONEM WALL	—
	GUARD RAIL	—
	SINGLE POLE SIGN	⊕
	CHAIN LINKED FENCE	- X - X - X

Jonathan J. Piro
 2-0-20

RECEIVED
 FEB 12 2020
PLANNING BOARD

LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____

ENDORSED: _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

SUBJECT TO A PERFORMANCE COVENANT DATED _____ RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

FOR REGISTRY USE ONLY

ZCE ZENTH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

DATE: 1/27/2020
PROJECT NUMBER: 0507-02-01
DRAWING SCALE: VARIES
SHEET ID: C-1

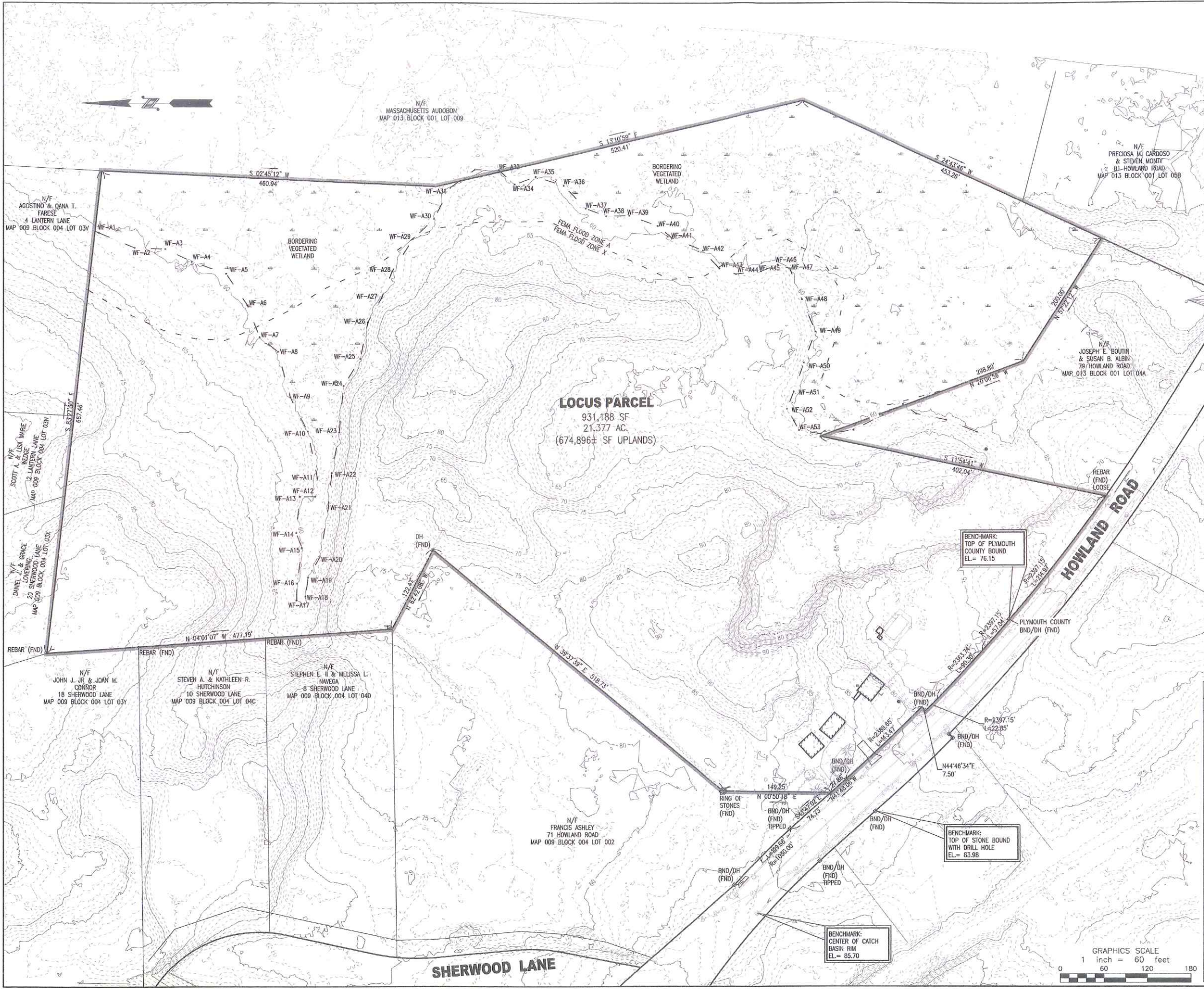
DESIGNED BY: JLB
CHECKED BY: INCZ
APPROVED BY: JLB

SHEET NAME: COVER SHEET
PROJECT SITE: 73 HOWLAND RD LAKEVILLE, MASSACHUSETTS
CLIENT INFO: L&B REALTY TRUST 113 EAST GROVE ST MIDDLEBORO, MASSACHUSETTS

BY: APP: _____
DESCRIPTION: _____
REV. DATE: _____

STATE OF MASSACHUSETTS
JONATHAN J. PIRO
REGISTERED PROFESSIONAL ENGINEER
NO. 41787

2-0-20



LOCUS PARCEL
 931,188 SF
 21.377 AC.
 (674,896± SF UPLANDS)

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LAKEVILLE PLANNING BOARD
 APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____
 ENDORSED: _____

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TOWN CLERK, LAKEVILLE, MA DATE _____

SUBJECT TO A PERFORMANCE COVENANT DATED _____ RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.



REV.	DATE	DESCRIPTION

DATE	1/27/2020
PROJECT NUMBER	0507-02-01
DRAWING SCALE	1"=60'
SHEET ID	E-1

EXISTING	DESCRIPTION
98	CONTOURS
	CONCRETE BOUND
	DRILL HOLE
	REBAR
	TEST PIT
	SPOT GRADE
	WETLAND SYMBOL
	WETLAND FLAG AND NUMBER
	25' BWV BUFFER
	50' BWV BUFFER
	100' BWV BUFFER
	WELL
	DRAIN LINE
	DRAIN MANHOLE
	CATCH BASIN
	UNDERGROUND ELECTRIC/TELEPHONE/CABLE
	OVERHEAD WIRES
	UTILITY POLE
	LIGHT POLE
	STONEWALL
	GUARD RAIL
	SINGLE POLE SIGN
	CHAIN LINKED FENCE

GRAPHICS SCALE
 1 inch = 60 feet
 0 60 120 180

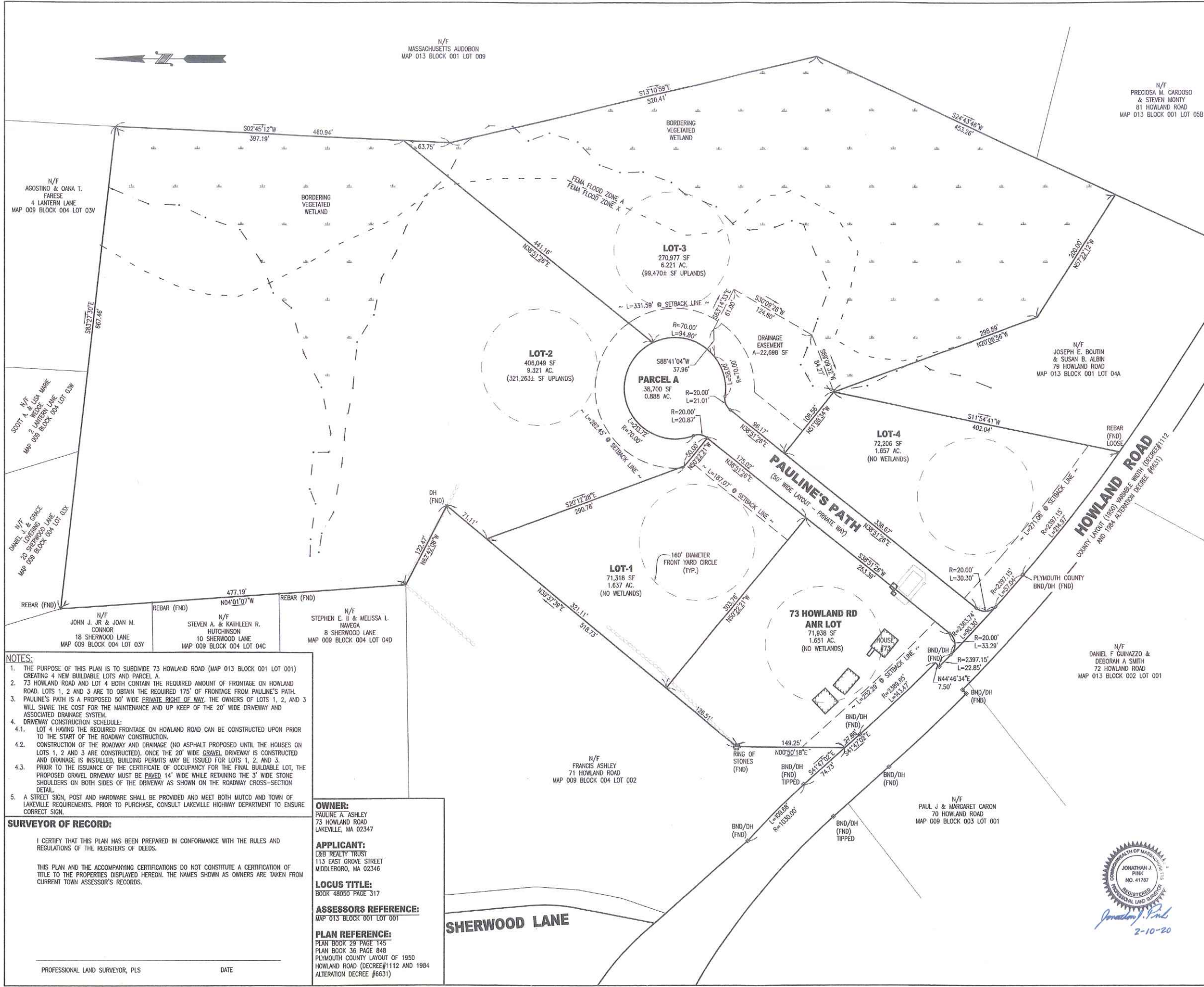
ZCE
 ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208
 P.E. STAMP

EXISTING CONDITIONS PLAN

PROJECT SITE: 73 HOWLAND RD, LAKEVILLE, MASSACHUSETTS

CLIENT INFO: L&B REALTY TRUST, 113 EAST GROVE ST, MIDDLEBORO, MASSACHUSETTS

S:\Civil Engineering\Projects\Lakeville\Howland Rd\73 Howland Road\DWG\Definitive Boas.dwg



FOR REGISTRY USE ONLY

FOR REGISTRY USE ONLY

LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____

ENDORSED: _____

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TOWN CLERK, LAKEVILLE, MA DATE _____

SUBJECT TO A PERFORMANCE COVENANT DATED _____ RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

LOCUS PLAN
SCALE: 1" = 500'

REV.	DATE	DESCRIPTION	BY	APP.

ZONING INFORMATION
RESIDENTIAL DISTRICT

LOT AREA	REQUIRED
	70,000 S.F.
CONTIGUOUS UPLAND AREA	52,500 S.F.
LOT FRONTAGE	175 FEET
MIN. FRONTYARD SETBACK	40 FEET
MIN. SIDEYARD SETBACK	20 FEET
MIN. REARYARD SETBACK	20 FEET

REQUESTED WAIVERS:

THE FOLLOWING WAIVERS ARE REQUESTED FROM THE TOWN OF LAKEVILLE RULES & REGULATIONS OF THE PLANNING BOARD GOVERNING THE SUBDIVISION OF LAND:

- SECTION IV B. 5. B.) - OUTSIDE ROADWAY DIAMETER OF AT LEAST ONE HUNDRED TWENTY FEET
- SECTION IV B. 6. G.) - ROADWAY CONSTRUCTION
- SECTION IV B. 7.) - CURBS AND BERMS
- SECTION IV B. 8.) - SIDEWALKS
- SECTION IV C. 2A-C.) - WATER FACILITIES, WATER SUPPLY & GAS MAIN
- SECTION IV L.) - STREET LIGHTS
- SECTION IV K.) - TREE'S

PROPOSED MONUMENT LOCATION IN ACCORDANCE WITH PLANNING BOARD REQUIREMENTS.

GRAPHICS SCALE

1 inch = 60 feet

LOTTER PLAN

73 HOWLAND RD
LAKEVILLE, MASSACHUSETTS

L & B REALTY TRUST
113 EAST GROVE ST
MIDDLEBORO, MASSACHUSETTS

PROJECT SITE: _____

CLEAR INFO: _____

DATE: 1/27/2020

DESIGNED BY: JLB

CHECKED BY: NCZ

APPROVED BY: JLB

ZCE
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

P.E. STAMP

NOTES:

- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE 73 HOWLAND ROAD (MAP 013 BLOCK 001 LOT 001) CREATING 4 NEW BUILDABLE LOTS AND PARCEL A.
- 73 HOWLAND ROAD AND LOT 4 BOTH CONTAIN THE REQUIRED AMOUNT OF FRONTAGE ON HOWLAND ROAD. LOTS 1, 2 AND 3 ARE TO OBTAIN THE REQUIRED 175' OF FRONTAGE FROM PAULINE'S PATH. PAULINE'S PATH IS A PROPOSED 50' WIDE PRIVATE RIGHT OF WAY. THE OWNERS OF LOTS 1, 2, AND 3 WILL SHARE THE COST FOR THE MAINTENANCE AND UP KEEP OF THE 20' WIDE DRIVEWAY AND ASSOCIATED DRAINAGE SYSTEM.
- DRIVEWAY CONSTRUCTION SCHEDULE:
 - LOT 4 HAVING THE REQUIRED FRONTAGE ON HOWLAND ROAD CAN BE CONSTRUCTED UPON PRIOR TO THE START OF THE ROADWAY CONSTRUCTION.
 - CONSTRUCTION OF THE ROADWAY AND DRAINAGE (NO ASPHALT PROPOSED UNTIL THE HOUSES ON LOTS 1, 2 AND 3 ARE CONSTRUCTED). ONCE THE 20' WIDE GRAVEL DRIVEWAY IS CONSTRUCTED AND DRAINAGE IS INSTALLED, BUILDING PERMITS MAY BE ISSUED FOR LOTS 1, 2, AND 3.
 - PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE FINAL BUILDABLE LOT, THE PROPOSED GRAVEL DRIVEWAY MUST BE PAVED 14' WIDE WHILE RETAINING THE 3' WIDE STONE SHOULDERS ON BOTH SIDES OF THE DRIVEWAY AS SHOWN ON THE ROADWAY CROSS-SECTION DETAIL.
- A STREET SIGN, POST AND HARDWARE SHALL BE PROVIDED AND MEET BOTH MUTCD AND TOWN OF LAKEVILLE REQUIREMENTS. PRIOR TO PURCHASE, CONSULT LAKEVILLE HIGHWAY DEPARTMENT TO ENSURE CORRECT SIGN.

SURVEYOR OF RECORD:

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

THIS PLAN AND THE ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTIES DISPLAYED HEREON. THE NAMES SHOWN AS OWNERS ARE TAKEN FROM CURRENT TOWN ASSESSOR'S RECORDS.

PROFESSIONAL LAND SURVEYOR, PLS _____ DATE _____

OWNER:
PAULINE A. ASHLEY
73 HOWLAND ROAD
LAKEVILLE, MA 02347

APPLICANT:
L&B REALTY TRUST
113 EAST GROVE STREET
MIDDLEBORO, MA 02346

LOCUS TITLE:
BOOK 48050 PAGE 317

ASSESSORS REFERENCE:
MAP 013 BLOCK 001 LOT 001

PLAN REFERENCE:
PLAN BOOK 28 PAGE 125
PLAN BOOK 36 PAGE 848
PLYMOUTH COUNTY LAYOUT OF 1950
HOWLAND ROAD (DECREE #1112 AND 1984 ALTERATION DECREE #6631)

OWNER:
FRANCIS ASHLEY
71 HOWLAND ROAD
MAP 009 BLOCK 004 LOT 002

OWNER:
JOHN J. JR. & JOAN M. CONNOR
18 SHERWOOD LANE
MAP 009 BLOCK 004 LOT 03Y

OWNER:
STEVEN A. & KATHLEEN R. HUTCHINSON
10 SHERWOOD LANE
MAP 009 BLOCK 004 LOT 04C

OWNER:
STEPHEN E. II & MELISSA L.
8 SHERWOOD LANE
MAP 009 BLOCK 004 LOT 04D

OWNER:
DANIEL F. GUINAZZO & DEBORAH A. SMITH
72 HOWLAND ROAD
MAP 013 BLOCK 002 LOT 001

OWNER:
PAUL J. & MARGARET CARON
70 HOWLAND ROAD
MAP 009 BLOCK 003 LOT 001

OWNER:
JOSEPH E. BOUTH & SUSAN B. ALBIN
79 HOWLAND ROAD
MAP 013 BLOCK 001 LOT 04A

OWNER:
PRECIOSA M. CARDOSO & STEVEN MONTY
81 HOWLAND ROAD
MAP 013 BLOCK 001 LOT 05B

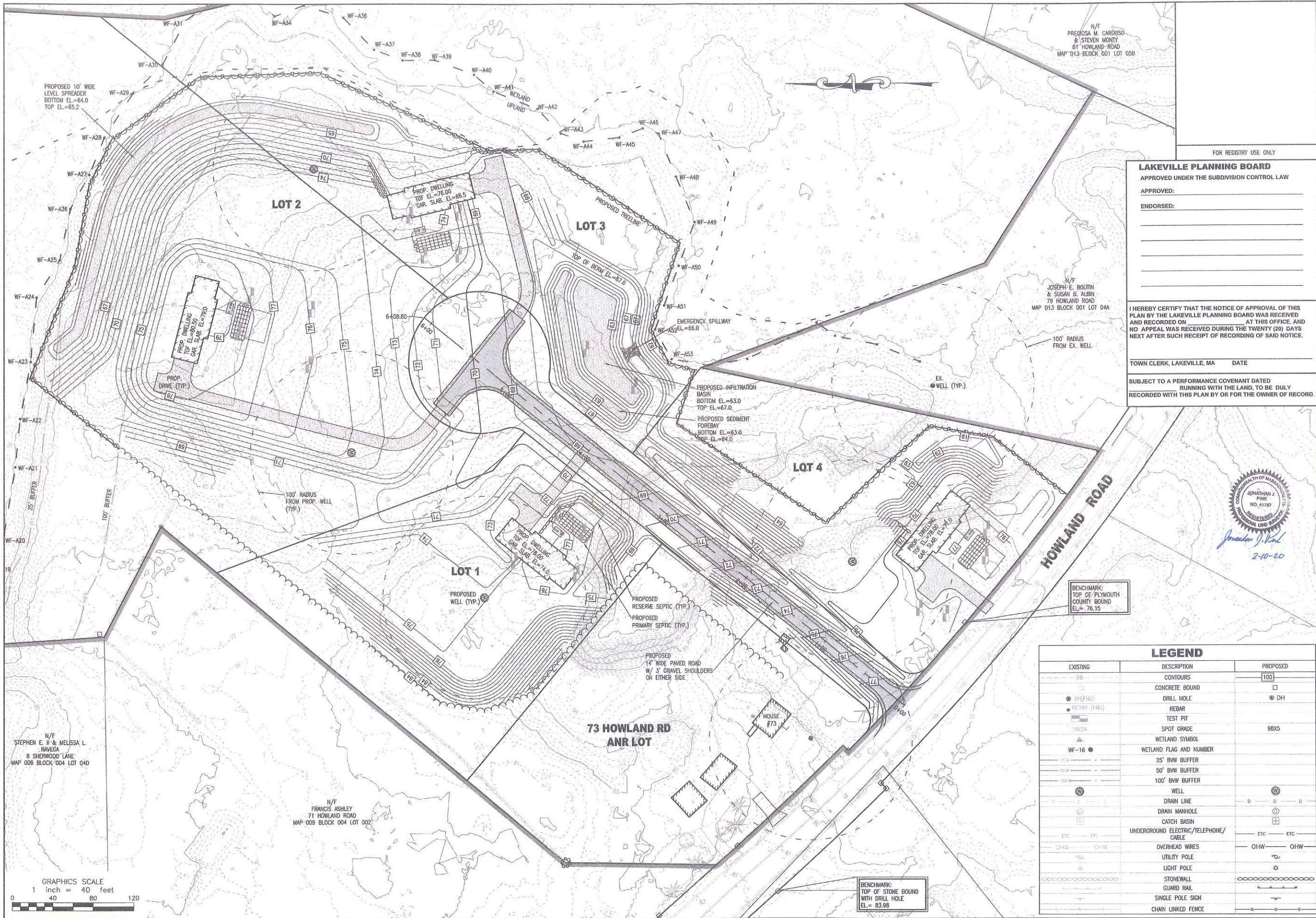
OWNER:
AGOSTINO & OANA T. FARESE
4 LANIERN LANE
MAP 009 BLOCK 004 LOT 03V

OWNER:
SCOTT A. & WENDY MARIE
2 LANIERN LANE
MAP 009 BLOCK 004 LOT 03W

OWNER:
DANIEL J. & CRACHE
20 SHERWOOD LANE
MAP 009 BLOCK 004 LOT 03X



Jonathan J. Pink
2-10-20



FOR REGISTRY USE ONLY

LAKEVILLE PLANNING BOARD
 APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____
 ENDORSED: _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

SUBJECT TO A PERFORMANCE COVENANT DATED _____ RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.



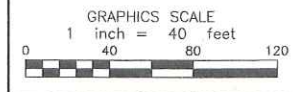
ZCE
 ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208

DATE: 1/27/2020
 PROJECT NUMBER: 0507-02-01
 DRAWING SCALE: 1"=40'
 SHEET ID: G-1

REV.	DATE	DESCRIPTION

GRADING AND DRAINAGE PLAN
 73 HOWLAND RD
 LAKEVILLE, MASSACHUSETTS
 L & B REALTY TRUST
 113 EAST GROVE ST
 MIDDLEBORO, MASSACHUSETTS

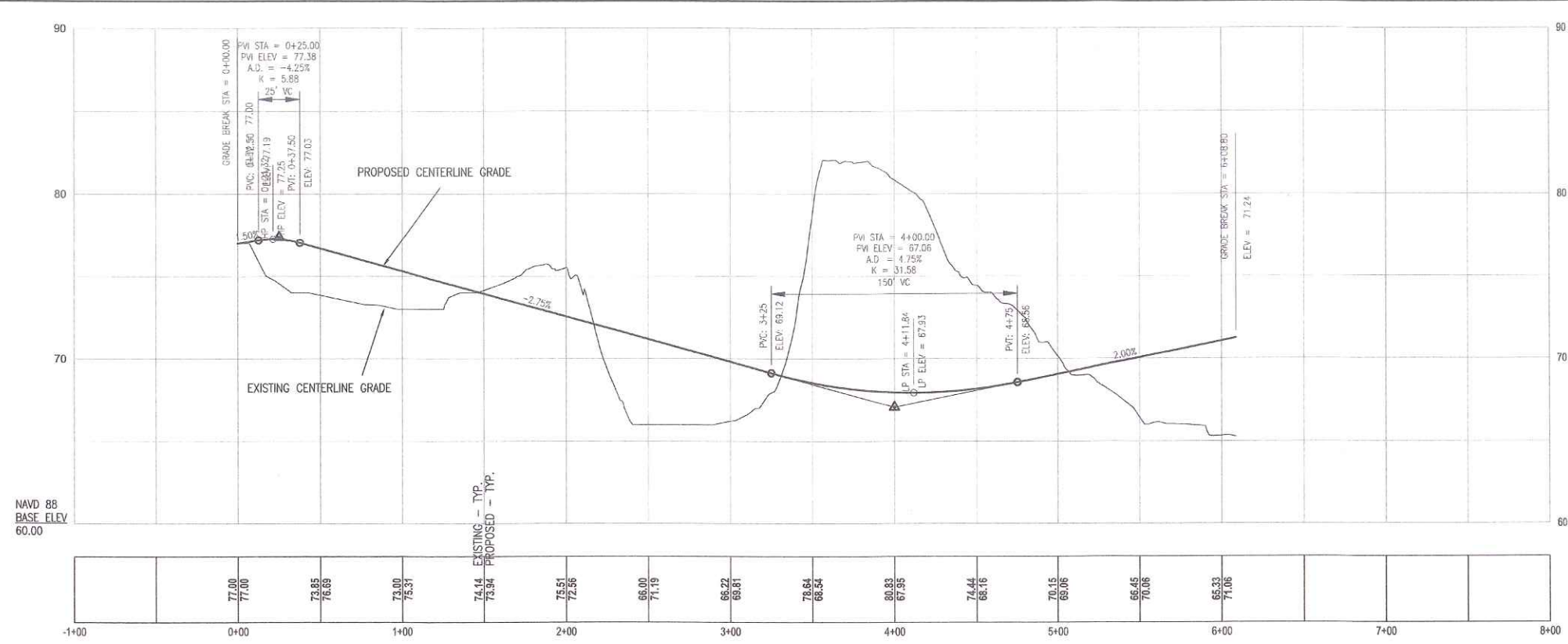
EXISTING	DESCRIPTION	PROPOSED
98	CONTOURS	100
□	CONCRETE BOUND	□
○ DH(FND)	DRILL HOLE	○ DH
○ REBAR (FND)	REBAR	○ DH
○	TEST PIT	○
19X24	SPOT GRADE	98X5
WF-16	WETLAND SYMBOL	WF-16
WF-16	WETLAND FLAG AND NUMBER	WF-16
25'	25' BW BUFFER	25'
50'	50' BW BUFFER	50'
100'	100' BW BUFFER	100'
⊙	WELL	⊙
— D —	DRAIN LINE	— D —
⊕	DRAIN MANHOLE	⊕
⊕	CATCH BASIN	⊕
ETC	UNDERGROUND ELECTRIC/TELEPHONE/CABLE	ETC
OH-W	OVERHEAD WIRES	OH-W
⊕	UTILITY POLE	⊕
⊕	LIGHT POLE	⊕
—	STONEWALL	—
—	GUARD RAIL	—
—	SINGLE POLE SIGN	—
—	CHAIN LINKED FENCE	—



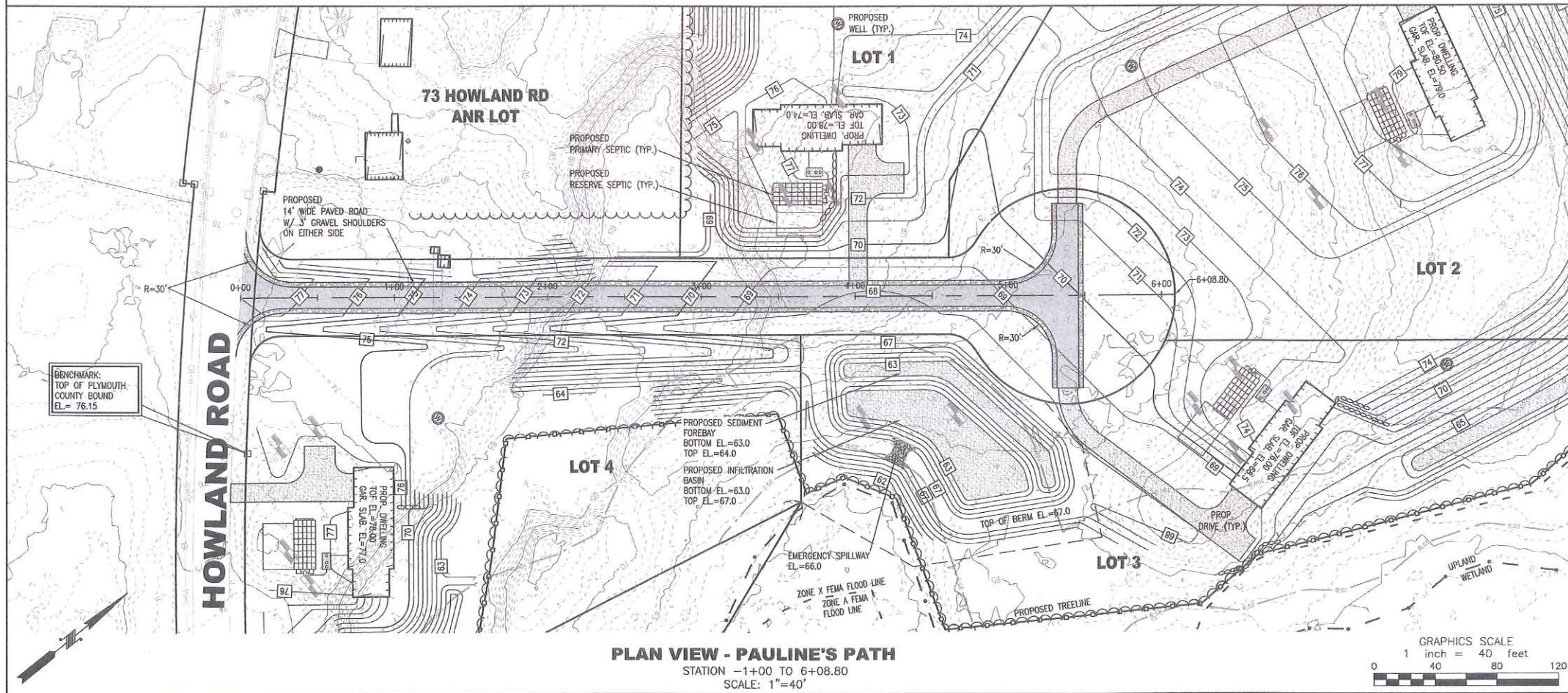
BENCHMARK:
 TOP OF STONE BOUND
 WITH DRILL HOLE
 EL = 83.98

SEAL OF ARCHYTHAN J. PINE
 NO. 41787
 REGISTERED PROFESSIONAL LAND SURVEYOR
 Jonathan J. Pine
 2-10-20

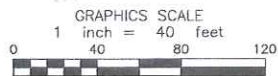
S:\Civil Engineering Projects\Lakeville\Howland Rd\73 Howland Road\DWG\Definitive Base.dwg



PROFILE VIEW - PAULINE'S PATH
 STATION -1+00 TO 6+08.80
 HORIZONTAL SCALE: 1"=40'
 VERTICAL SCALE: 1"=4'



PLAN VIEW - PAULINE'S PATH
 STATION -1+00 TO 6+08.80
 SCALE: 1"=40'



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LAKEVILLE PLANNING BOARD
 APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____
 ENDORSED: _____

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TOWN CLERK, LAKEVILLE, MA DATE _____

SUBJECT TO A PERFORMANCE COVENANT DATED _____ RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.



ZCE
ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208

1-27-2020
 P.E. STAMP



LEGEND	
EXISTING	PROPOSED
98	100
CONTOURS	CONCRETE BOUND
DRILL HOLE	DRILL HOLE
REBAR (FND)	REBAR
TEST PIT	TEST PIT
19X24	SPOT GRADE
WF-16	WETLAND SYMBOL
WETLAND FLAG AND NUMBER	WETLAND FLAG AND NUMBER
25' BWB BUFFER	25' BWB BUFFER
50' BWB BUFFER	50' BWB BUFFER
100' BWB BUFFER	100' BWB BUFFER
WELL	WELL
DRAIN LINE	DRAIN LINE
DRAIN MANHOLE	DRAIN MANHOLE
CATCH BASIN	CATCH BASIN
UNDERGROUND ELECTRIC/TELEPHONE/CABLE	UNDERGROUND ELECTRIC/TELEPHONE/CABLE
OVERHEAD WIRES	OVERHEAD WIRES
UTILITY POLE	UTILITY POLE
LIGHT POLE	LIGHT POLE
STONEMALL	STONEMALL
GUARD RAIL	GUARD RAIL
SINGLE POLE SIGN	SINGLE POLE SIGN
CHAIN LINKED FENCE	CHAIN LINKED FENCE

DATE:	1/27/2020	
PROJECT NUMBER:	0507-02-01	
DRAWING SCALE:	1"=40'	
SHEET ID:	P-1	
REV.	DATE	DESCRIPTION
BY	DATE	DESCRIPTION

PLAN AND PROFILE
73 HOWLAND RD
LAKEVILLE, MASSACHUSETTS
L & B REALTY TRUST
113 EAST GROVE ST
MIDDLEBORO, MASSACHUSETTS

S:\Civil Engineering Projects\Lakeville\Howland Rd\73 Howland Road\DWG\DWG\Definitive Base.dwg

EROSION & SEDIMENT CONTROL NOTES:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL EROSION AND PREVENT SEDIMENTATION OFFSITE AND IN THE WETLAND RESOURCE AREAS. IT IS INTENDED THAT THE IMPLEMENTATION OF THE FOLLOWING MEASURES WILL MEET THIS GOAL. WHEN IT IS CLEAR TO THE DESIGNER THAT EROSION AND SEDIMENTATION HAVE BEEN ADEQUATELY CONTROLLED WITHOUT THE IMPLEMENTATION OF EVERY MEASURE, ADDITIONAL MEASURES NEED NOT BE IMPLEMENTED. ALTERNATIVELY, IF ALL OF THE FOLLOWING MEASURES HAVE BEEN IMPLEMENTED AND THE CONTROL OF EROSION AND SEDIMENTATION IS INADEQUATE, THE CONTRACTOR MUST EMPLOY SUFFICIENT SUPPLEMENTAL MEASURES BEYOND THE SCOPE OF THIS PLAN.

1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO STUMP REMOVAL AND CONSTRUCTION. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL MUNICIPAL REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
3. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE OWNER OR AGENTS OF THE OWNER.
4. SEEDING MIXTURE FOR FINISHED GRASSED AREAS WILL BE AS FOLLOWS:

KENTUCKY BLUE GRASS	45%
CREeping RED FESCUE	45%
PERENNIAL RYEGRASS	10%

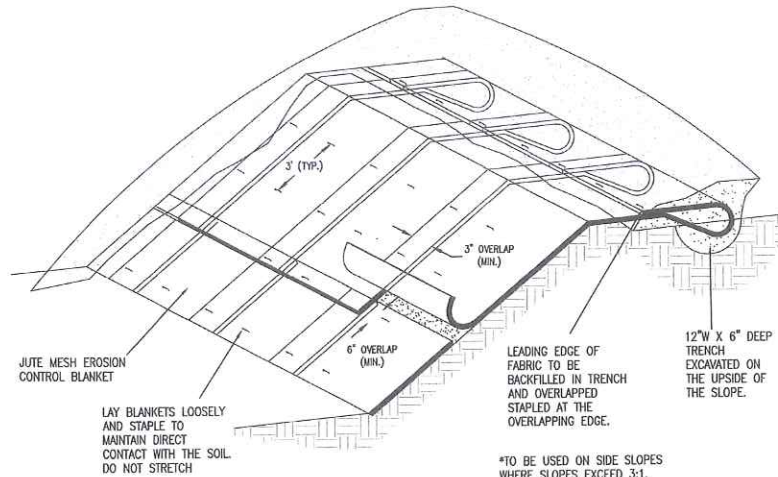
SEED TO BE APPLIED AT A RATE OF 4 LBS./1,000 SQ. FT. PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15. AFTER OCTOBER 15, AREAS WILL BE STABILIZED WITH HAYBALE CHECK, FILTER FABRIC, OR WOODCHIP MULCH, AS REQUIRED, TO CONTROL EROSION.

5. AREAS THAT ARE NOT THE LOCATION OF ACTIVE CONSTRUCTION WHICH ARE TO BE LEFT BARE FOR OVER ONE MONTH BEFORE FINISHED GRADING AND SEEDING IS ACHIEVED, SHALL BE MULCHED OR RECEIVE TEMPORARY STABILIZATION SUCH AS JUTE NETTING OR SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYEGRASS APPLIED AT A RATE OF 2 LBS./1,000 SQ. FT. LIMESTONE (EQUIVALENT TO BE 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 90 LBS./1,000 SQ. FT. PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 1. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COARSE MATTER.
6. AT ALL PROPOSED FILL AREAS WHICH ARE NOT CURRENTLY SHOWN ON THESE PLANS, THE CONTRACTOR SHALL ESTABLISH AN EROSION CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) ABOUT TEN (10') FEET FROM TOE TO SLOPE OF PROPOSED FILL AREAS PRIOR TO BEGINNING FILL INSTALLATION. STABILIZATION OF SLOPES IN FILL AREAS (USING MULCH OR GRASS) SHALL BE INITIATED WITHIN THIRTY (30) DAYS OF COMMENCEMENT OF FILL INSTALLATION.
7. STABILIZATION OF SLOPES IN CUT AREAS (USING MULCH OR GRASS) AND THE INSTALLATION OF CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) AT THE TOE OF SLOPE SHALL BE INITIATED WITHIN THIRTY (30) DAYS OF COMPLETION.
8. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN. ALL HAYBALES OR SILT FENCE RETAINING SEDIMENT OVER 1/2 THEIR HEIGHT SHALL HAVE THE SEDIMENT REMOVED AND ALL DAMAGED EROSION CONTROLS SHALL BE REPAIRED OR REPLACED.
9. CONTRACTOR WILL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE MIDDLEBOROUGH PLANNING BOARD OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
10. THE CONTRACTOR SHALL SECURE THE SERVICES OF A PROFESSIONAL ENGINEER, WHO SHALL VERIFY IN THE FIELD THAT THE CONTROLS REQUIRED BY THIS PLAN ARE PROPERLY INSTALLED. SHALL MAKE INSPECTION OF SUCH FACILITIES NOT LESS FREQUENTLY THAN EVERY 14 DAYS OR AFTER A RAINFALL IN EXCESS OF 1/2 INCH, WHICHEVER OCCURS FIRST. THE INSPECTION REPORTS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT AND CONSERVATION COMMISSION OFFICE ON A MONTHLY BASIS.
11. STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN THIRTY (30) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF SOIL STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAYBALES. SIDE SLOPES SHALL NOT EXCEED 2:1.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF THE CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO SPRINKLING OF WATER ON EXPOSED SOILS AND HAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC AND ADJACENT PROPERTIES.
13. IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN THIRTY (30) DAYS AFTER LAND DISTURBANCES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZE SOILS.
14. FILTER SOCK SHALL BE USED ONLY AS A TEMPORARY MEASURE. WHERE CONTROL MEASURES WILL BE REQUIRED FOR LONGER THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED.
15. WHERE DEWATERING IS NECESSARY, THERE SHALL NOT BE A DISCHARGE DIRECTLY INTO WETLANDS OR WATERCOURSES. PROPER METHODS AND DEVICES SHALL BE UTILIZED TO THE EXTENT PERMITTED BY LAW, SUCH AS PUMPING WATER INTO A TEMPORARY SEDIMENTATION BOWL, PROVIDING SURGE PROTECTION AT THE INLET AND THE OUTLET OF PUMPS, OR FLOATING THE INTAKE OF THE PUMP, OR OTHER METHODS TO MINIMIZE AND RETAIN THE SUSPENDED SOLIDS. IF A PUMPING OPERATION IS CAUSING TURBIDITY PROBLEMS, SAID OPERATION SHALL CEASE UNTIL SUCH TIME AS FEASIBLE MEANS OF CONTROLLING TURBIDITY ARE DETERMINED AND IMPLEMENTED. SAID DISCHARGE POINTS SHALL BE LOCATED OVER 100 FEET FROM THE DELINEATED WETLANDS AS INDICATED ON THIS PLAN.

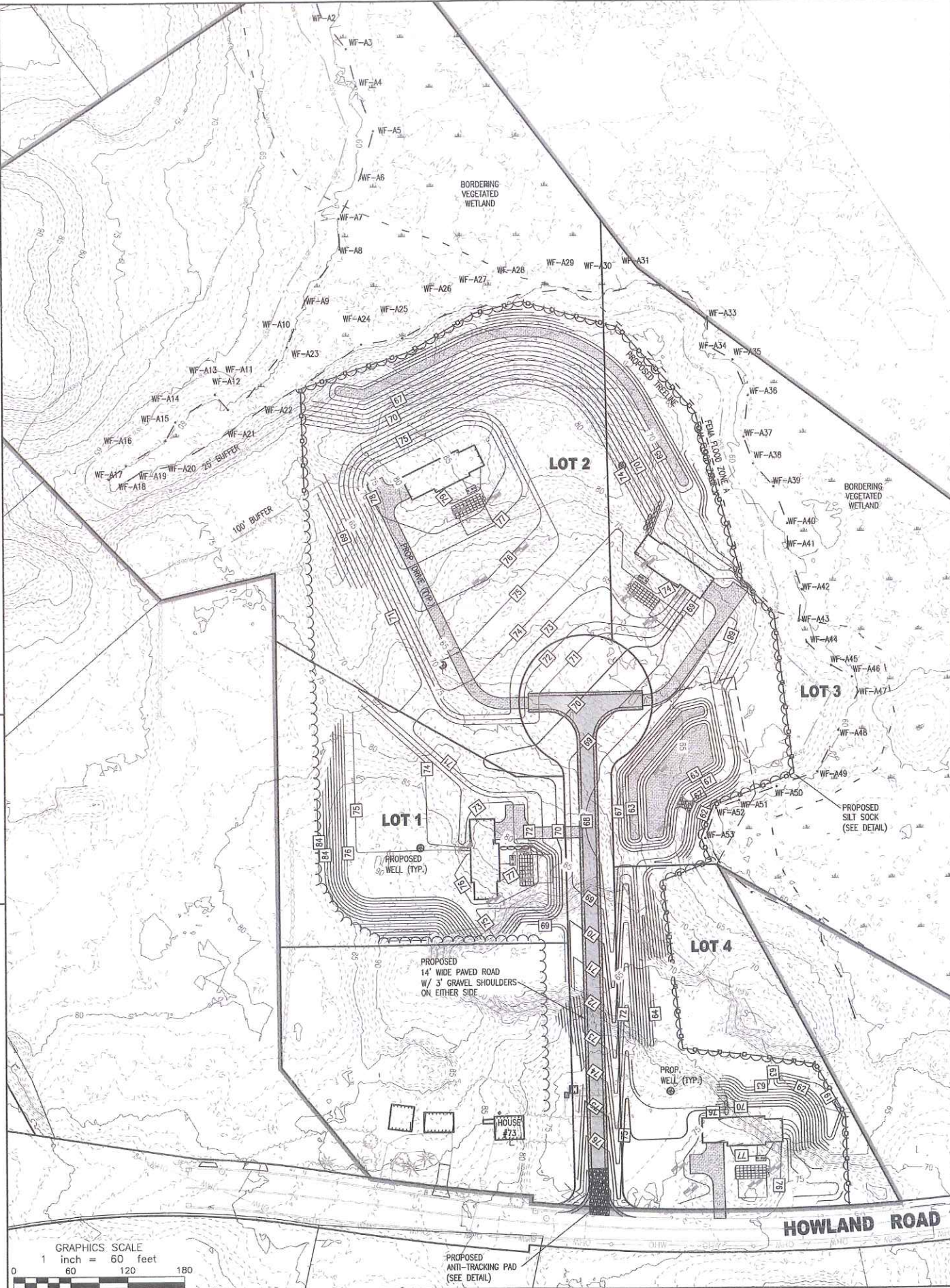
CONSTRUCTION OPERATION AND MAINTENANCE SCHEDULE

THE OPERATION AND MAINTENANCE (O&M) SCHEDULE DURING THE CONSTRUCTION PHASE IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR. THE OUTLINE BELOW SHALL BE ADHERED TO AS CLOSELY AS POSSIBLE TO ENSURE THE PROPER CONSTRUCTION AND FUNCTION OF THE DRAINAGE SYSTEM.

1. PRIOR TO CONSTRUCTION, FILTER SOCK SHALL BE INSTALLED PER THE APPROVED PLANS. THE EROSION CONTROL SHALL BE INSPECTED PRIOR TO A LARGE STORM EVENT TO ENSURE THAT THE EROSION CONTROL WILL FUNCTION AS REQUIRED AND FOLLOWING A STORM TO INSPECT FOR DAMAGE TO THE EROSION CONTROL ELEMENTS. ANY DAMAGE OR IMPROPER INSTALLATION THAT IS NOTICED PRIOR TO OR FOLLOWING A STORM EVENT SHALL BE PROMPTLY REPLACED OR REPAIRED IN A SATISFACTORY MANNER SO AS TO PREVENT SEDIMENT FROM BYPASSING THE EROSION CONTROL BARRIER.
2. THE LIMIT OF CLEARING SHOWN ON THE APPROVED PLAN SHALL BE STRICTLY ADHERED TO. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LEVEL OF SAFETY OF STANDING TREES.
3. THE FOREBAY SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. ANY SEDIMENT BUILDUP OF FOUR (4) INCH DEPTH SHALL BE PROMPTLY REMOVED BY HAND OR MECHANICAL METHODS AND ALL DEBRIS REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.



JUTE MESH EROSION CONTROL BLANKET
NOT TO SCALE



GRAPHICS SCALE
1 inch = 60 feet
0 60 120 180

P.E. STAMP

FOR REGISTRY USE ONLY

LAKEVILLE PLANNING BOARD
APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED: _____
ENDORSED: _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

SUBJECT TO A PERFORMANCE COVENANT DATED _____ RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

DEWATERING BASIN PLAN
NOT TO SCALE

* TO BE USED IF NECESSARY, LOCATION TO BE DETERMINED AT TIME OF CONSTRUCTION

ROADWAY
NOT TO SCALE

ANTI-TRACKING PAD
NOT TO SCALE

SILT SOCK DETAIL
NOT TO SCALE

REV.	DATE	DESCRIPTION

DATE: 1/27/2020	PROJECT NUMBER: 0507-02-01
DRAWN BY: JLB	DESIGNED BY: JLB
CHECKED BY: NCZ	DRAWING SCALE: 1" = 60'
APPROVED BY: JLB	SHEET ID: W-1

EROSION CONTROL PLAN

PROJECT SITE: **73 HOWLAND RD**
LAKEVILLE, MASSACHUSETTS

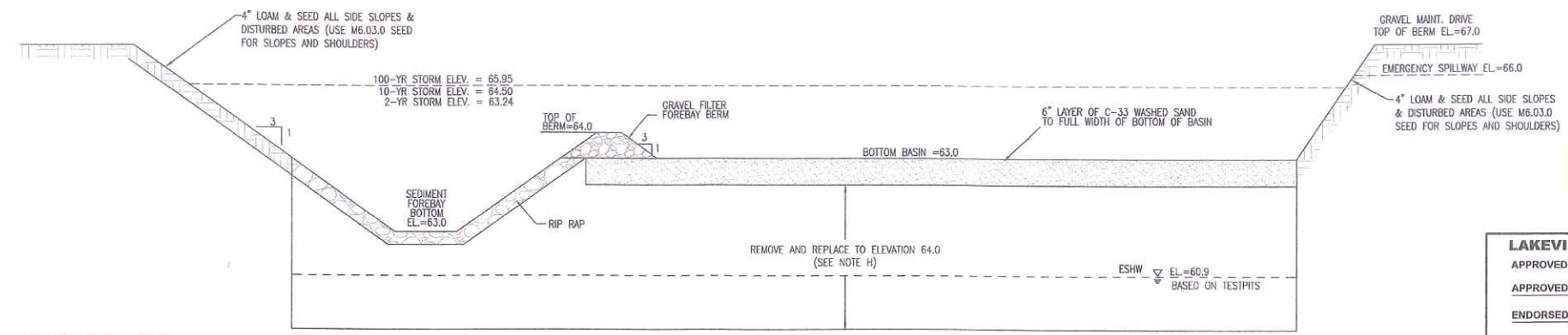
CLIENT INFO: **L&B REALTY TRUST**
113 EAST GROVE ST
MIDDLEBORO, MASSACHUSETTS

Project: Lakeville/Howland Rd '23 Howland Road DWO/Definitive Base.dwg

SOIL LOGS:

DATE: 12-11-19
 PERFORMED BY: NYLES ZAGER, ZENITH CONSULTING ENGINEERS, LLC.
 WITNESSED BY: JOHN ASHLEY, LAKEVILLE BOH

DEPTH (INCHES)	TP 1-1	TP 1-2	TP 1-3	TP 1-4
0	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2
12	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6
30	C1 LOAMY SAND 2.5Y 5/4	C1 LOAMY COARSE SAND & GRAVEL 2.5Y 5/4	C1 MEDIUM COARSE SAND & GRAVEL 2.5Y 5/4	C1 LOAMY COARSE SAND & GRAVEL 2.5Y 5/4
174				
MOTTLING	⓪ NONE	⓪ NONE	⓪ NONE	⓪ NONE
WEEPING	⓪ NONE	⓪ NONE	⓪ NONE	⓪ NONE
STANDING	⓪ NONE	⓪ NONE	⓪ NONE	⓪ NONE
PERC DEPTH	48"-66"	PERC DEPTH NONE	30"-48"	PERC DEPTH NONE
PERC RATE	4 MPI	PERC RATE NONE	<2 MPI	PERC RATE NONE
DEPTH (INCHES)	TP 2-1	TP 2-2	TP 2-3	TP 2-4
0	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2
8	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6
20	C1 LOAMY COARSE SAND & GRAVEL 2.5Y 5/4	C1 LOAMY COARSE SAND & GRAVEL 2.5Y 5/4	C1 MEDIUM COARSE SAND & GRAVEL 2.5Y 5/3	C1 MEDIUM COARSE SAND & GRAVEL 2.5Y 5/6
170				
MOTTLING	⓪ NONE	⓪ NONE	⓪ NONE	⓪ NONE
WEEPING	⓪ NONE	⓪ NONE	⓪ NONE	⓪ NONE
STANDING	⓪ NONE	⓪ NONE	⓪ NONE	⓪ NONE
PERC DEPTH	48"-66"	PERC DEPTH 58"-76"	PERC DEPTH NONE	PERC DEPTH NONE
PERC RATE	2 MPI	PERC RATE 4 MPI	PERC RATE NONE	PERC RATE NONE
DEPTH (INCHES)	TP 3-1	TP 3-2	TP 3-3	TP 3-4
0	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2
10	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6
38	C1 FINE SAND 2.5Y 5/3	C1 FINE MEDIUM SAND 2.5Y 5/3	C1 FINE MEDIUM SAND 2.5Y 5/3	C1 FINE MEDIUM SAND 2.5Y 5/3
100	C2 MEDIUM COARSE SAND & GRAVEL 2.5Y 5/6	C2 LOAMY COARSE SAND & GRAVEL 2.5Y 5/6	C2 MEDIUM COARSE SAND & GRAVEL 2.5Y 5/6	C2 MEDIUM COARSE SAND & GRAVEL 2.5Y 5/6
148				
MOTTLING	⓪ NONE	⓪ NONE	⓪ NONE	⓪ NONE
WEEPING	⓪ NONE	⓪ NONE	⓪ NONE	⓪ NONE
STANDING	⓪ NONE	⓪ NONE	⓪ NONE	⓪ NONE
PERC DEPTH	42"-60"	PERC DEPTH 32"-50"	PERC DEPTH NONE	PERC DEPTH NONE
PERC RATE	<2 MPI	PERC RATE <2 MPI	PERC RATE NONE	PERC RATE NONE
DEPTH (INCHES)	TP 4-1	TP 4-2	TP 4-3	TP 4-4
0	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2
6	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6
16	C1 MEDIUM COARSE SAND & GRAVEL 2.5Y 5/6	C1 MEDIUM COARSE SAND & GRAVEL 2.5Y 5/6	C1 MEDIUM COARSE SAND & GRAVEL 2.5Y 5/6	C1 MEDIUM COARSE SAND & GRAVEL 2.5Y 5/6
68	C2 FINE MEDIUM SAND 2.5Y 5/3	C2 FINE MEDIUM SAND 2.5Y 5/3	C2 FINE MEDIUM SAND 2.5Y 5/3	C2 FINE MEDIUM SAND 2.5Y 5/3
170				
MOTTLING	⓪ NONE	⓪ NONE	⓪ NONE	⓪ NONE
WEEPING	⓪ NONE	⓪ NONE	⓪ NONE	⓪ NONE
STANDING	⓪ NONE	⓪ NONE	⓪ NONE	⓪ NONE
PERC DEPTH	42"-60"	PERC DEPTH 48"-66"	PERC DEPTH NONE	PERC DEPTH NONE
PERC RATE	<2 MPI	PERC RATE <2 MPI	PERC RATE NONE	PERC RATE NONE
DEPTH (INCHES)	D-1	D-2	D-3	
0	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2	0/A SANDY LOAM 10R 3/2	
8	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6	B LOAMY SAND 10R 5/6	
26	C1 FINE MEDIUM SAND 2.5Y 5/6	C1 FINE MEDIUM SAND 2.5Y 5/6	C1 FINE MEDIUM SAND 2.5Y 5/6	
64	C2 LOAMY COARSE SAND & GRAVEL 2.5Y 5/3	C2 FINE SANDY LOAM 2.5Y 5/3	C2 FINE SANDY LOAM 2.5Y 5/3	
130				
MOTTLING	⓪ 64"	⓪ 66"	⓪ 66"	
WEEPING	⓪ 64"	⓪ 66"	⓪ 66"	
STANDING	⓪ NONE	⓪ NONE	⓪ NONE	
ESHW EL.	60.9	60.9		

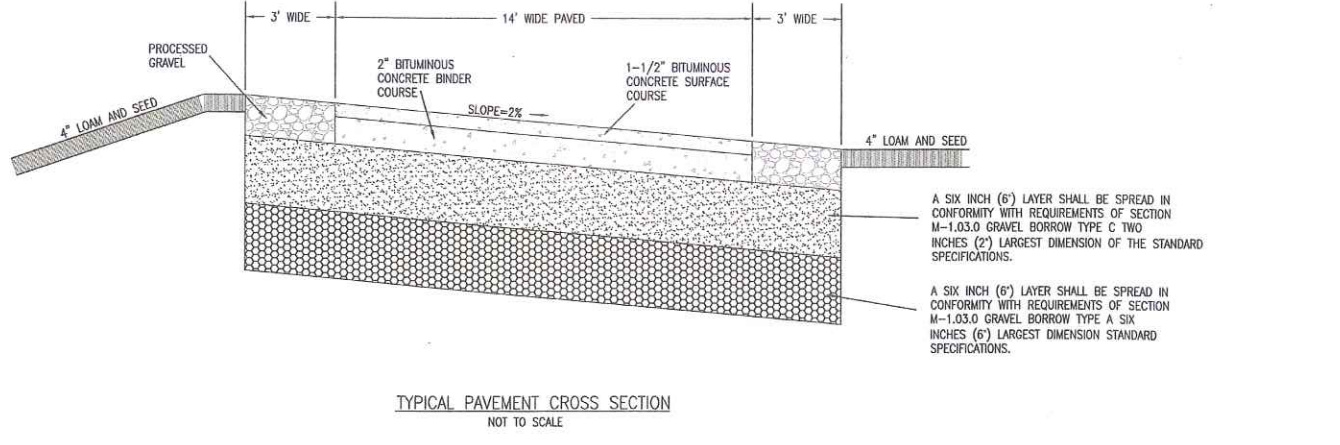
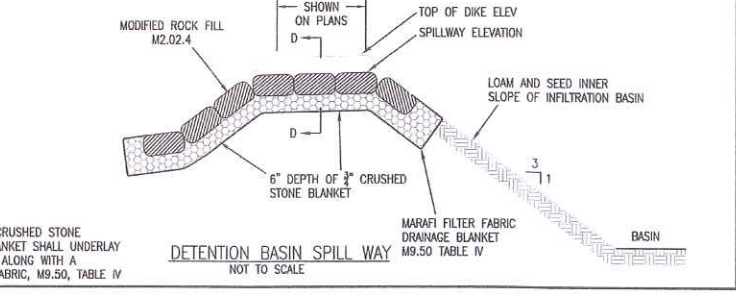
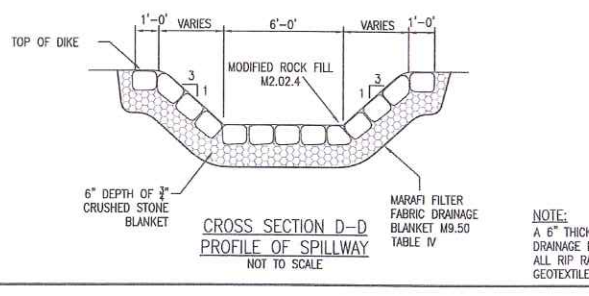
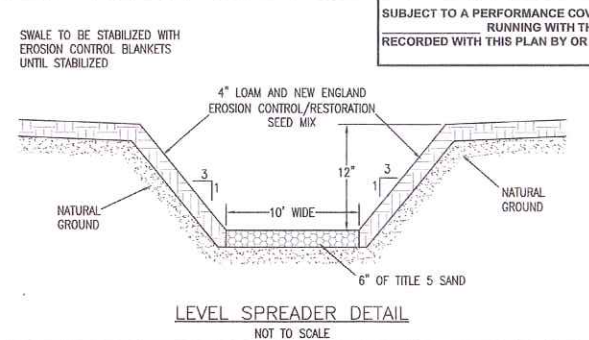
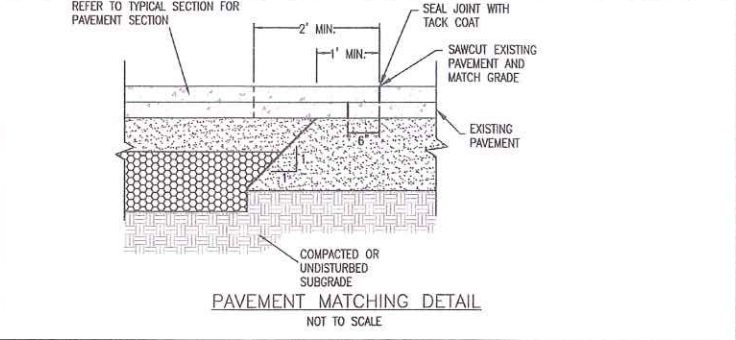
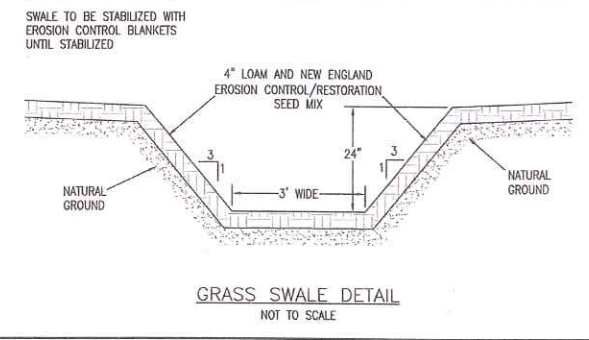


INFILTRATION BASIN NOTES:

THE CONTRACTOR IS CAUTIONED THAT THE DETENTION BASIN IS DESIGNED TO INFILTRATE/RECHARGE STORMWATER PRIMARILY THROUGH THE BOTTOM AND SIDES OF THE BASIN. CONSTRUCTION TECHNIQUES THAT WOULD POTENTIALLY DIMINISH THE FILTRATION CAPACITY OF THE UNDERLYING SOILS ARE TO BE AVOIDED. COMPACTION AND SILTATION OF THE BASIN DURING CONSTRUCTION IS PROHIBITED.

- DO NOT UTILIZE ANY PORTION OF THE BASIN FLOOR AS A HAUL ROAD FOR MATERIAL AND HEAVY EQUIPMENT.
- DO NOT COMPACT SOILS IN THE BASIN FLOOR.
- DO NOT PLACE GRAVEL OR OTHER MATERIALS TO STABILIZE THE BASIN FLOOR FOR CONSTRUCTION VEHICULAR TRAVEL ACCESS. STRICT COMPLIANCE WITH THE EROSION CONTROL PLAN AND THE STORMWATER OPERATIONS AND MAINTENANCE PLAN IS NECESSARY.
- BASIN CONSTRUCTION SHALL OCCUR AT THE EARLY STAGES OF THE PROJECT CONSTRUCTION SO THAT THEY ARE FULLY VEGETATED AND STABILIZED PRIOR TO RECEIVING STORMWATER.
- RIP-RAP IN THE FOREBAYS TO BE PLACED, NOT DUMPED. DO NOT COMPACT.
- DO NOT USE THE INFILTRATION BASIN AS A TEMPORARY SEDIMENT BASIN OR DE-WATERING BASIN.
- AS PART OF THE INFILTRATION BASIN CONSTRUCTION, THE CONTRACTOR SHALL REMOVE TOPSOIL, SUBSOIL, AND OTHER UNSUITABLE SOIL THAT MAY BE ENCOUNTERED DOWN TO THE "FINE-MEDIUM SAND / C1" LAYER (EL=64.0±) REFERENCED IN TEST PITS D-1 AND D-2. THE REMOVED MATERIAL SHALL BE REPLACED BY CLEAN SAND WHICH MEETS TITLE V (310 CMR 15.255) REQUIREMENTS. AFTER THE REMOVAL OF UNSUITABLE MATERIAL AND PRIOR TO THE PLACEMENT OF THE CLEAN SAND, AN INSPECTION BY THE DESIGN ENGINEER SHALL BE COMPLETED TO CONFIRM CONDITIONS. SIEVE ANALYSIS OF THE CLEAN SAND SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL PRIOR TO PLACEMENT AND SAMPLED ONSITE BY THE DESIGN ENGINEER.

INFILTRATION BASIN CROSS SECTION DETAIL
 NOT TO SCALE



LAKEVILLE PLANNING BOARD

APPROVED UNDER THE SUBDIVISION CONTROL LAW

APPROVED:

ENDORSED:

TOWN CLERK, LAKEVILLE, MA DATE

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE PLANNING BOARD WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

SUBJECT TO A PERFORMANCE COVENANT DATED _____ RUNNING WITH THE LAND, TO BE DULY RECORDED WITH THIS PLAN BY OR FOR THE OWNER OF RECORD.

ROADWAY CONSTRUCTION.

NUMBERS REFER TO SPECIFIC SECTIONS IN THE MASSDOT STANDARD SPECIFICATIONS. THE STANDARD SPECIFICATIONS SHOULD BE REFERRED TO FOR MORE DETAILED DESCRIPTIONS OF THE WORK, MATERIALS, AND CONSTRUCTION METHODS. THE ROADWAY SHALL BE GRADED AND PREPARED FOR PAVEMENT AS FOLLOWS:

- 101 CLEARING AND GRUBBING SHALL BE PERFORMED TO REMOVE ALL STUMPS, BRUSH, ROOTS, AND LIKE MATERIAL FROM THE AREA OF THE TRAVELED WAY, BERMS, SHOULDERS, SIDEWALKS, AND UTILITY TRENCHES, BUT WHEREVER FEASIBLE, EXISTING VEGETATION SHALL BE PROTECTED. CLEARED MATERIALS SHALL BE REMOVED FROM THE PROPERTY UNLESS OTHERWISE APPROVED BY THE BOARD.
 - 120 EARTH EXCAVATION SHALL BE THE REMOVAL OF ALL MATERIALS ENCOUNTERED WITHIN THE AREA OF THE TRAVELED WAY, BERMS, SHOULDERS, AND SIDEWALKS DOWN TO THE TRUE SURFACE OF THE SUBGRADE OR TO SUITABLE MATERIAL IN AREAS WHERE UNSUITABLE MATERIAL EXISTS, IN PREPARATION FOR FOUNDATION OF ROADWAY, SIDEWALKS, DRIVEWAYS, AND BERMS. APPROVED MATERIAL OBTAINED FROM THE EXCAVATION MAY BE USED IN FILLS AS REQUIRED IF, IN THE OPINION OF THE PLANNING BOARD, THEY ARE SUITABLE.
 - 150 WHEN IN THE OPINION OF THE PLANNING BOARD, SUITABLE MATERIAL IS NOT AVAILABLE WITHIN THE LIMITS OF THE ROADWAY LOCATION TO FORM THE SUBGRADE OR SUB-BASE, THE DEVELOPER SHALL OBTAIN SUITABLE ADDITIONAL MATERIAL FROM OTHER SOURCES IN ACCORDANCE WITH THIS SECTION AND AS MAY BE APPROVED BY THE PLANNING BOARD.
 - 170 THE SUBGRADE SURFACE, FIFTEEN AND ONE-HALF INCHES (15 AND 3/8) BELOW THE FINISHED SURFACE GRADE IN RESIDENTIAL STREETS SHALL BE PREPARED TRUE TO THE LINES, GRADES AND CROSS SECTIONS GIVEN AND PROPERLY ROLLED. ALL SOFT OR SPONGY MATERIAL BELOW THE SUBGRADE SURFACE SHALL BE REMOVED TO A DEPTH DETERMINED BY THE PLANNING BOARD. THE SPACE THUS MADE SHALL BE FILLED WITH SPECIAL GRAVEL BORROW, CONTAINING NO STONES OVER SIX INCHES (6") IN THEIR LARGEST DIMENSION.
 - 401 THE GRAVEL SUB-BASE OR FOUNDATION SHALL BE SPREAD IN TWO SIX INCH (6") LAYERS ON THE SURFACE OF THE SUBGRADE. THE FIRST SIX INCH (6") LAYER SHALL BE SPREAD IN CONFORMITY WITH REQUIREMENTS OF SECTION M-1.03.0 GRAVEL BORROW TYPE A SIX INCHES (6") LARGEST DIMENSION STANDARD SPECIFICATIONS. THE SECOND SIX INCH (6") LAYER SHALL BE SPREAD IN CONFORMITY WITH REQUIREMENTS OF SECTION M-1.03.0 GRAVEL BORROW TYPE C TWO INCHES (2") LARGEST DIMENSION OF THE STANDARD SPECIFICATIONS.
- EACH LAYER SHALL BE THOROUGHLY WATERED, ROLLED AND COMPACTED TRUE TO LINE AND GRADE. ANY DEPRESSIONS THAT APPEAR DURING AND AFTER THE ROLLING SHALL BE FILLED WITH ADDITIONAL GRAVEL AND RE-ROLLED UNTIL THE SURFACE IS TRUE. SUITABLE SUBGRADE STABILITY FABRIC MAY BE REQUIRED BY THE PLANNING BOARD PRIOR TO GRAVEL PLACEMENT.
- FINAL GRADING, ROLLING AND FINISHING INCLUDING THE SHAPING, TRIMMING, ROLLING AND FINISHING OF THE SURFACE OF THE SUB-BASE PRIOR TO APPLICATION OF GRAVEL FOR SURFACING OF THE ROADWAY BASE COURSES FOR WALKS AND BERMS SHALL BE IN ACCORDANCE WITH THIS SECTION AND AS DIRECTED BY THE PLANNING BOARD. COMPACTION TESTING AND SOIL GRADATIONS SHALL BE PERFORMED AS REQUIRED BY THE PLANNING BOARD.
 - ROADWAY PAVEMENT SHALL BE CONSTRUCTED FOR THE FULL LENGTH OF THE STREET WITHIN THE SUBDIVISION. THE CENTER LINE OF ALL ROADWAYS SHALL COINCIDE WITH THE CENTER LINE OF THE STREET RIGHT-OF-WAY UNLESS A DEVIATION IS APPROVED BY THE PLANNING BOARD.
 - PAVEMENT FOR ROADWAYS IN SUBDIVISIONS SHALL BE CLASS 1 BITUMINOUS CONCRETE PAVEMENT TYPE 1-1. THE MATERIAL AND CONSTRUCTION METHODS FOR LAYING PAVEMENT SHALL CONFORM IN EVERY WAY TO THE APPLICABLE SECTIONS OF SECTION 400 AND SECTION M OF THE STANDARD SPECIFICATIONS EXCEPT THAT NO SUCH CONSTRUCTION SHALL BE UNDERTAKEN BEFORE MARCH 30TH OF ANY YEAR NOR AFTER DECEMBER 1ST OF ANY YEAR WITHOUT WRITTEN PERMISSION OF THE PLANNING BOARD. PAVEMENT ON MINOR AND SECONDARY RESIDENTIAL SUBDIVISION STREETS SHALL BE LAID TO A FINISHED DEPTH OF THREE AND ONE-HALF INCHES (3 AND 1/2) AND LAID IN TWO (2) COURSES. THE BASE COURSE SHALL BE TWO INCHES (2") AND THE TOP COURSE SHALL BE ONE AND ONE-HALF INCHES (1 AND 1/2").

ZCE
 ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208

1-27-2020
 P.E. STAMP

DATE	REV.	DESCRIPTION	BY	APP.
1/27/2020	D-1		JLB	

DETAIL SHEET
 73 HOWLAND RD
 LAKEVILLE, MASSACHUSETTS
 L & B REALTY TRUST
 113 EAST GROVE ST
 MIDDLEBORO, MASSACHUSETTS

PROJECT SITE:
 CLIENT INFO:
 DRAWN BY: JLB
 DESIGNED BY: JLB
 CHECKED BY: NCZ
 DATE: 1/27/2020
 PROJECT NUMBER: 0507-02-01
 DRAWING SCALE:

#4

Date Submitted: _____



Town of Lakeville
PLANNING BOARD
346 Bedford Street
Lakeville, MA 02347
508-946-8803

FORM A

APPLICATION FOR ENDORSEMENT OF PLAN
BELIEVED NOT TO REQUIRE APPROVAL (ANR)

To the Planning Board:

The undersigned believing that the accompanying plan of this property in the Town of Lakeville does not constitute a subdivision within the meaning of the Subdivision Control Law, herewith submits said plan for determination and endorsement that Planning Board approval under this Subdivision Control Law is not required.

PLAN TITLE: Form A plan of land Date: 5/27/2020

1. Owner's Signature: Derek Mark Muter, Madelyn Marie Muter Date: 5/27/2020

2. Owner's Name (Please Print): DEREK MARK MUTER, MADLYN MARIE MUTER

Owner's Address: 44 CLEAR POND, LAKEVILLE, 139 STAPLE SHORE RD, LAKEVILLE

3. Name of Land Surveyor: Madigan Land Surveying David Madigan

Surveyor's Address: 88 East Grove St., Middleboro MA

Surveyor's Telephone: 774-213-5196

4. Deed of property recorded in Plymouth Registry,

Book 40414 Page 215
48309 345

5. Assessors' Map, Block and Lot (MBL) 059-001-050 ; 059-001-050-01

6. Location and Description of Property: Lakeville Country Club 44 Clear Pond Rd

7. Plan Contact Name and Telephone Number:

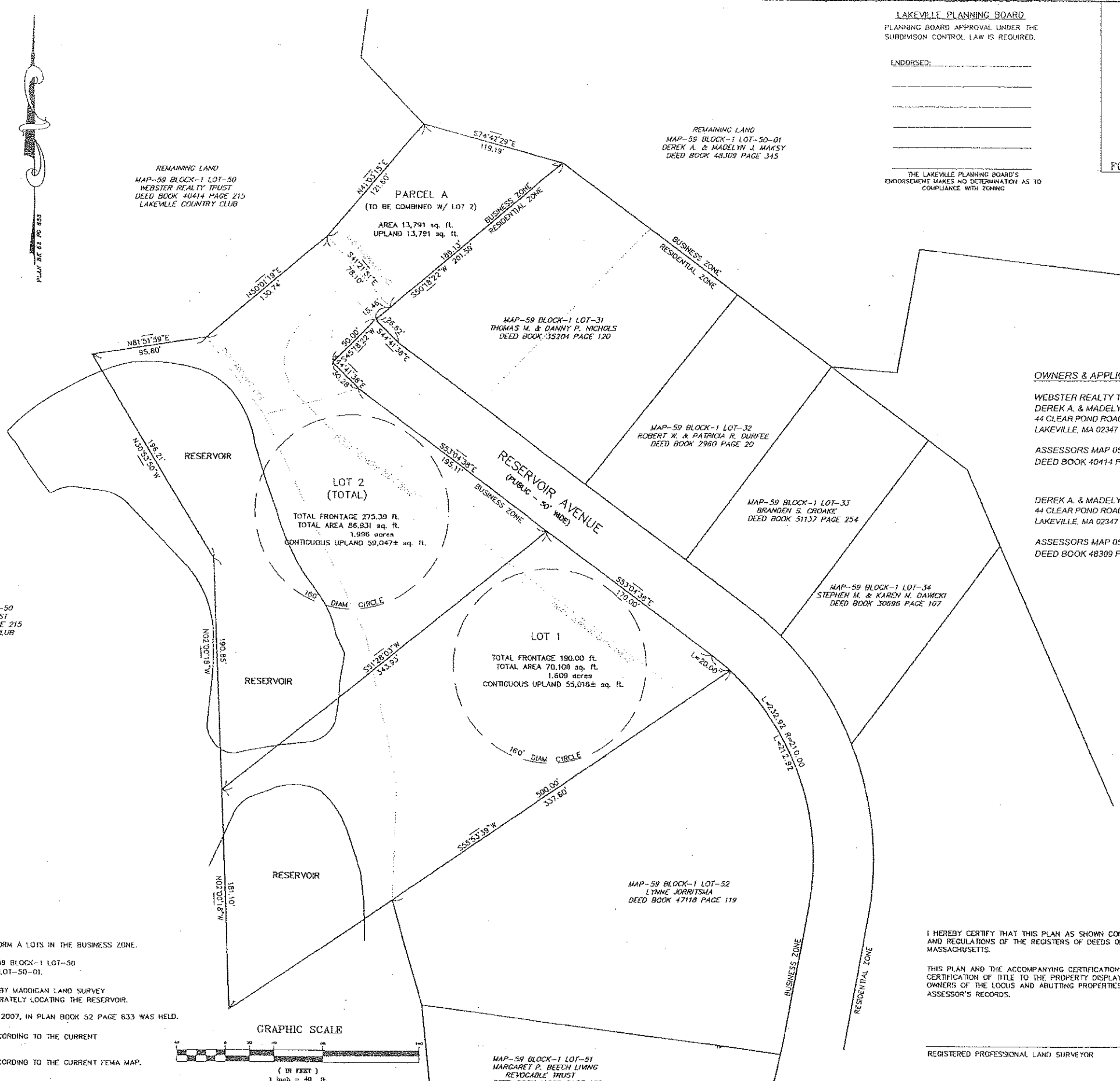
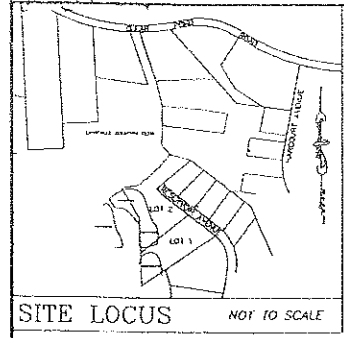
Contact Name: David Madigan Telephone: 774-213-5196

LAKEVILLE PLANNING BOARD
PLANNING BOARD APPROVAL UNDER THE
SUBDIVISION CONTROL LAW IS REQUIRED.
ENDORSED:

THE LAKEVILLE PLANNING BOARD'S
ENDORSEMENT MAKES NO DETERMINATION AS TO
COMPLIANCE WITH ZONING.

MADDIGAN
LAND SURVEYING,
LLC.
88 EAST GROVE STREET
MIDDLEBORO, MA 02345
T: 774-213-5156
DMADDIGAN@COMCAST.NET

FOR REGISTRY USE ONLY



HARCOURT AVENUE
(Public - 40' WIDE)

OWNERS & APPLICANT:
WEBSTER REALTY TRUST
DEREK A. & MADELYN J. MAKSY TRUSTEES
44 CLEAR POND ROAD
LAKEVILLE, MA 02347

ASSESSORS MAP 059-001-050
DEED BOOK 40414 PAGE 215

DEREK A. & MADELYN J. MAKSY
44 CLEAR POND ROAD
LAKEVILLE, MA 02347

ASSESSORS MAP 059-001-050-01
DEED BOOK 48309 PAGE 345

PLAN REVISIONS

NO.	DATE	DESCRIPTION

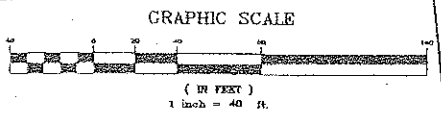
DATE: MAY 27, 2020
DRAWN BY: DJM DESIGN BY: DJM CHECK BY: DJM/JJD
PROJECT NO: 11-0066-GC 60
ISSUED FOR: _____

FORM A PLAN OF LAND
RESERVOIR AVENUE
LAKEVILLE, MASSACHUSETTS

PREPARED FOR
DEREK & MADELYN MAKSY TRUSTEES OF
WEBSTER REALTY TRUST

ZONE: BUSINESS DISTRICT
AREA: 70,000 SQ. FT.
MIN. UPLAND AREA: 52,000 SQ. FT.
LOT FRONTAGE: 175'
LOT COVERAGE: 50%
SETBACKS: 40' FRONT
 40' SIDE & REAR

- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO CREATE TWO NEW FORM A LOTS IN THE BUSINESS ZONE.
 2. LOTS 1 & 2 ARE DIVIDED OUT FROM ASSESSORS MAP-59 BLOCK-1 LOT-50 AND PARCEL A IS FROM ASSESSORS MAP-59 BLOCK-1 LOT-50-01.
 3. AN ACTUAL ON THE GROUND SURVEY WAS PERFORMED BY MADDIGAN LAND SURVEY TYING INTO THE PROPERTY LINE MONUMENTS AND ACCURATELY LOCATING THE RESERVOIR.
 4. THE BEARING SYSTEM OF THE RECORDED CAF PLAN OF 2007, IN PLAN BOOK 52 PAGE 833 WAS HELD.
 5. ADJUTING OWNERS OF THE PROPERTIES SHOWN ARE ACCORDING TO THE CURRENT TOWN ASSESSOR'S RECORDS.
 6. THE PROPERTY IS NOT WITHIN A FEMA FLOOD ZONE ACCORDING TO THE CURRENT FEMA MAP.



I HEREBY CERTIFY THAT THIS PLAN AS SHOWN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

THIS PLAN AND THE ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE NAMES SHOWN AS OWNERS OF THE LOCUS AND ADJUTING PROPERTIES ARE TAKEN FROM CURRENT TOWN ASSESSOR'S RECORDS.

REGISTERED PROFESSIONAL LAND SURVEYOR _____ DATE _____

DRAWING TITLE:
FORM A PLAN
SCALE: **1" = 40'**
SHEET NO.
1 OF 1

MAP-59 BLOCK-1 LOT-51
MARGARET P. BEECH LIVING
REVOCABLE TRUST
DEED BOOK 11989 PAGE 128

MAP-59 BLOCK-1 LOT-52
LYNNE JORRITSMA
DEED BOOK 47118 PAGE 119

MAP-59 BLOCK-1 LOT-34
STEPHEN M. & KAREN M. DAWCKI
DEED BOOK 30696 PAGE 107

MAP-59 BLOCK-1 LOT-33
BRANDEN S. CROAKE
DEED BOOK 51137 PAGE 254

MAP-59 BLOCK-1 LOT-32
ROBERT W. & PATRICIA R. DURFEE
DEED BOOK 2980 PAGE 20

MAP-59 BLOCK-1 LOT-31
THOMAS M. & DANNY P. NICHOLS
DEED BOOK 35204 PAGE 120

REMAINING LAND
MAP-59 BLOCK-1 LOT-50-01
DEREK A. & MADELYN J. MAKSY
DEED BOOK 48309 PAGE 345

REMAINING LAND
MAP-59 BLOCK-1 LOT-50
WEBSTER REALTY TRUST
DEED BOOK 40414 PAGE 215
LAKEVILLE COUNTRY CLUB

REMAINING LAND
MAP-59 BLOCK-1 LOT-50
WEBSTER REALTY TRUST
DEED BOOK 40414 PAGE 215
LAKEVILLE COUNTRY CLUB

Petition to be filed with Town Clerk

EXHIBIT "A"

TOWN OF LAKEVILLE MASSACHUSETTS

ZONING BOARD OF APPEALS PETITION FOR HEARING

RECEIVED MAY 26 2020 BOARD OF APPEALS

Name of Petitioner: Donald Sena

Mailing Address: 103 Staples Shore Road

Name of Property Owner: Same

Location of Property: Same

Property is located in a residential business industrial (zone)

Registry of Deeds: Book No. 4932 Page No. 290

Map 64 Block 3 Lot 26

Petitioner is: owner tenant licensee prospective purchaser

Nature of Relief Sought:

Special Permit under Section (s) 6.1.3 & 7.4 of the Zoning Bylaws

Variance from Section (s) of the Zoning Bylaws.

Appeal from Decision of the Building Inspector/Zoning Enforcement Officer

Date of Denial

Brief to the Board: (See instructions on reverse side - use additional paper if necessary.)

See attached

I HEREBY REQUEST A HEARING BEFORE THE ZONING BOARD OF APPEALS WITH REFERENCE TO THE ABOVE PETITION OR APPEAL. ALL OF THE INFORMATION ON THIS PETITION, TO THE BEST OF MY KNOWLEDGE, IS COMPLETE AND ACCURATE AND CONFORMS TO THE REQUIREMENTS ON THE BACK OF THIS PETITION FORM.

Petitioner: Donald Sena

Date: 5/22/20

Signed: Donald Sena

Telephone: 508-821-8981

Owner Signature: Same

Owner Telephone:

(If not petitioner) (REFERENCE THE REVERSE SIDE OF THIS APPLICATION FOR FURTHER INSTRUCTIONS IN FILING YOUR PETITION.)

WILL YOU HAVE A REPRESENTATIVE OTHER THAN YOURSELF?

Yes No

Richard Rheume - Prime Eng. (Name and Title)



May 11, 2020

Lakeville Zoning Board of Appeals
346 Bedford Street
Lakeville, MA 02347

RE: 103 STAPLES SHORE ROAD

Dear Board Members:

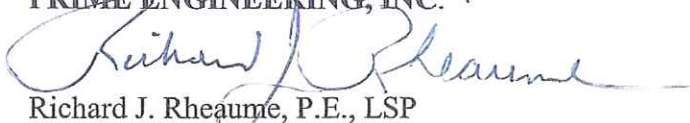
On behalf of Donald T. Sena, we hereby submit this petition for a Special Permit to re-construct a pre-existing non-conforming dwelling. The submittal package consists of the originals and 17 copies of the following:

- This letter,
- The executed petition,
- The Narrative,
- Photos of the existing site,
- An Existing Conditions plan and
- A Proposed Dwelling Re-Construction plan.

In addition, we have enclosed a check for \$140, which is the filing fee, and a check for \$120.76, which is the legal ad fee. The sewage disposal system was upgraded within the past eight years in compliance with plans approved by the Lakeville Board of Health.

We look forward to your favorable review.

Sincerely,
PRIME ENGINEERING, INC.


Richard J. Rheume, P.E., LSP
Chief Engineer

**NARRATIVE IN SUPPORT OF A PETITION
FOR A SPECIAL PERMIT FOR A
DWELLING AT 103 STAPLES SHORE ROAD
LAKEVILLE, MA**

PREPARED FOR:

DONALD T. AND SUSAN E. SENA

PREPARED BY:

**PRIME ENGINEERING, INC.
P.O. BOX 1088
LAKEVILLE, MA**

MAY 5, 2020

1.0 INTRODUCTION

It is proposed to reconstruct an existing dwelling at 103 Staples Shore Road. There is currently an exceedence in allowed impervious area thereby necessitating a Special Permit from the Lakeville Zoning Board of Appeals. This Narrative has been prepared in support of that petition.

2.0 EXISTING CONDITIONS

The property, which is referenced as Assessor's Map 64, Block 003, Lot 26, is an approximately quarter acre lot. It is situated on the northern shore of Assawompset Pond at the eastern end of Staples Shore Road. There is an existing two story, three bedroom, wood framed dwelling with ancillary deck, driveway and boat ramp on the south side of the road and a wood framed garage and driveway on the north side of the road. The dwelling falls in a FEMA food zone with a flood elevations of 56.8 MSL. The finish floor of the existing dwelling is elevation 56.11 and the ground on all four sides of the dwelling is elevation 56.0.

The dwelling is pre-existing, non-conforming with respect to front yard setback and side yard setback.

3.0 PROPOSED IMPROVEMENTS

It is proposed to demolish the existing dwelling and to construct a similarly sized dwelling in the same location. The proposed dwelling has been sited so it is no closer to the road and to the side property line and no closer to Assawompsett Pond than the current deck. The finished floor will be set at elevation 58.50 which is 1.7 feet above the flood plain. The foundation will be a standard concrete foundation with the bottom set 4 feet below ground level and the top 1.5 feet above ground level thereby providing a 1.5 foot height of crawl space. Flood vents will be installed on all sides with the bottom set at ground level so flood waters can readily flow in and subsequently drain out. The driveway south of the garage and the patio south of the proposed dwelling will be made pervious in order to decrease the overall impervious area.

4.0 NEED FOR RELIEF

Section 6.1.3 of the Lakeville zoning bylaw provides that "pre-existing non-conforming structures or uses may be changed, extended or altered by Special Permit from the Board of Appeals, finding that such change, extension or alteration is not substantially more detrimental than the existing non-conforming structures or uses.

- Changes, extensions or alterations to pre-existing non-conforming structures on lots zoned residential of 15,000 square feet or more shall be exempt from the Special Permit requirement, except where the Building Commissioner determines that the proposed change, extension or alteration will intensify the nonconformity."

It is proposed to bring the structure into conformity with the flood plain regulations where it is presently out of compliance. It is also proposed to bring the site into conformity with percent impervious requirements where it is presently out of compliance.

The lot has approximately 12,100 square feet of area but a 20 foot wide right of way (a road easement) cuts through it. Lakeville zoning bylaws requires that easements be deducted from the lot area leaving a net area of 10,500 square feet. The proposed impervious area resulting from the dwelling, driveway and garage totals 1,971 square feet resulting in 20.7% impervious using the area on both sides of the right of way. This meets the Town's zoning standards. However, if only the south side of the road's lot area is used, the impervious will exceed the 25% impervious.

5.0 SPECIAL PERMIT CRITERIA

The Lakeville zoning bylaw lists specific criteria that must be met in order to obtain a Special Permit. All of these criteria have been met as detailed in the following subsections.

5.1 NOT HARMFUL

Constructing a new similarly sized dwelling in the same location that has been there for eighty years will not be noxious, harmful or hazardous. In fact, raising the finish floor above the floodplain is less hazardous and meets an existing need and avoids a potential future hazard.

5.2 ADVANTAGES OUTWEIGH DETRIMENTAL EFFECTS

The advantage of constructing a modern, energy-efficient, similarly sized dwelling above the flood plain clearly outweighs leaving the old dwelling in its current state.

5.3 COMPATIBILITY WITH NEIGHBORHOOD

Building a comparably sized modern dwelling in the same location as the existing dwelling is clearly compatible with the immediate neighborhood. Constructing a code compliant, energy efficient dwelling above the flood plain is fully compliant with the principles of good engineering, sound planning and correct land use.

6.0 CONCLUSION

The proposed improvements will be in harmony with the general purpose and intent of the Lakeville zoning bylaw and meets all of the criteria for a Special Permit.

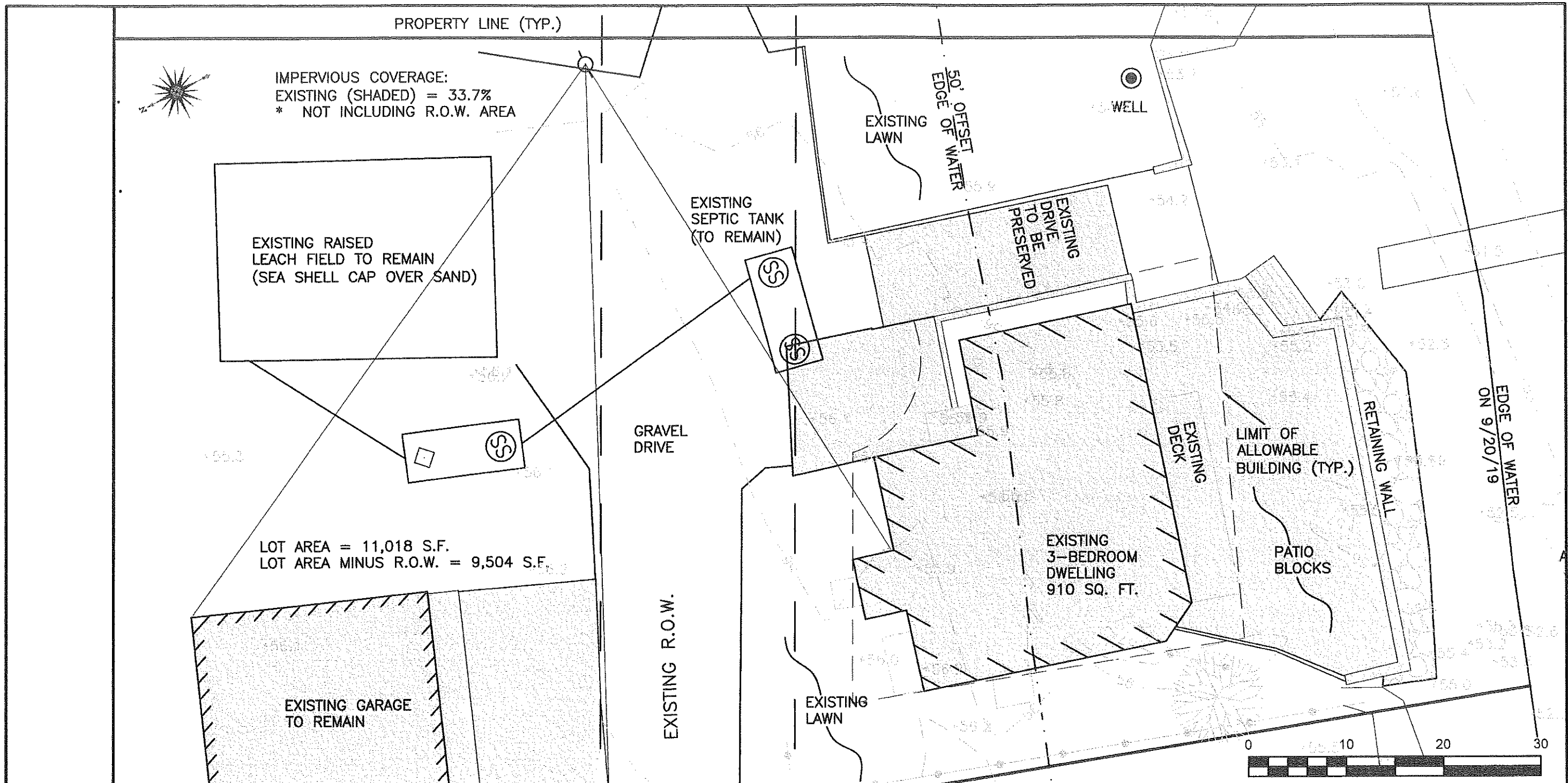












IMPERVIOUS COVERAGE:
 EXISTING (SHADED) = 33.7%
 * NOT INCLUDING R.O.W. AREA

EXISTING RAISED
 LEACH FIELD TO REMAIN
 (SEA SHELL CAP OVER SAND)

EXISTING
 SEPTIC TANK
 (TO REMAIN)

EXISTING
 LAWN

50' OFFSET
 EDGE OF WATER

WELL

EXISTING
 DRIVE
 TO BE
 PRESERVED

GRAVEL
 DRIVE

EXISTING R.O.W.

LIMIT OF
 ALLOWABLE
 BUILDING (TYP.)

RETAINING WALL

EDGE OF WATER
 ON 9/20/19

LOT AREA = 11,018 S.F.
 LOT AREA MINUS R.O.W. = 9,504 S.F.

EXISTING GARAGE
 TO REMAIN


EXISTING
 3-BEDROOM
 DWELLING
 910 SQ. FT.

PATIO
 BLOCKS

EXISTING
 LAWN



C:\Users\Admin\appdata\local\temp\AcPublish_45588\103 Staples Shore Road - Base.dwg

SCALE: SEE DETAIL	DRAWING TITLE EXISTING CONDITION	SHEET NO. 1 OF 2
DATE: APRIL 3, 2020	PROJECT 103 STAPLES SHORE ROAD LAKEVILLE, MASSACHUSETTS	
DRAWN BY: SWL	CLIENT DON SENA LAKEVILLE, MASSACHUSETTS	PROJECT NO.
DESIGNED BY: RJR	 P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050 FAX: 508.947.2004	
CHECKED BY: RJR		
APPROVED BY: RJR		

Robert J. Ryan

PROPERTY LINE (TYP.)

IMPERVIOUS COVERAGE:
EXISTING = 33.7%
PROPOSED (SHADED) = 20.7% (1,971 S.F.)
* NOT INCLUDING R.O.W. AREA

EXISTING RAISED
LEACH FIELD TO REMAIN
(SEA SHELL CAP OVER SAND)

EXISTING
SEPTIC TANK
(TO REMAIN)

EXISTING
LAWN

50' OFFSET
EDGE OF WATER

WELL

EXISTING PATIO BLOCKS
TO BE REMOVED AND
REPLACED WITH LAWN

EXISTING RAISED
LEACH FIELD TO REMAIN
(SEA SHELL CAP OVER SAND)

EXISTING
DRIVE
TO BE
PRESERVED

LOT AREA = 11,018 S.F.
LOT AREA MINUS R.O.W. = 9,504 S.F.

GRAVEL
DRIVE

EXISTING PATIO
BLOCKS TO
REMAIN

PROPOSED
BUILDING LAYOUT
950 SQ. FT.
FEMA FLOOD PLAIN
EL = 56.50
T.O.F. = 57.50
FIN. FL. = 58.00

LIMIT OF
ALLOWABLE
BUILDING (TYP.)

EDGE OF WATER
ON 9/20/19

GROUND UNDER BUILDING TO
PITCH SOUTHERLY @ 2% SLOPE
FROM EL. 56.60 AT THE NORTH
END TO 56.00 AT THE SOUTHERN
END. FLOOD VENTS TO BE SET
WITH BOTTOMS AT INTERIOR
GROUND LEVEL.

RETAINING WALL

PROP. SILT
FENCE (TYP.)

EXISTING GARAGE
TO REMAIN

EXISTING PAVEMENT IN
DRIVE TO BE REMOVED
AND REPLACED WITH
SEA SHELLS
OVER GRAVEL

EXISTING R.O.W.


EXISTING
LAWN

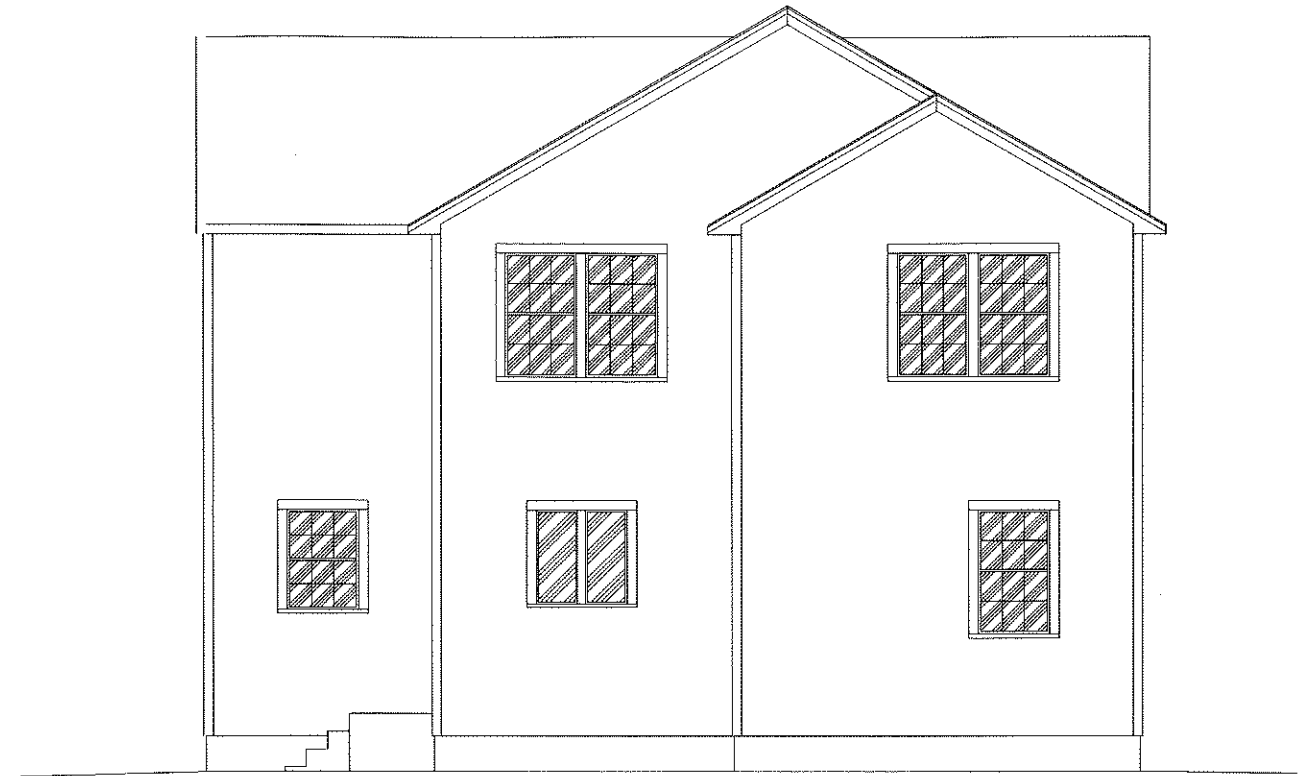
MIN. 2 VENTS PER MAIN WALL
125 SQ. IN. / VENT X 8 VENTS =
1000SQ. IN.



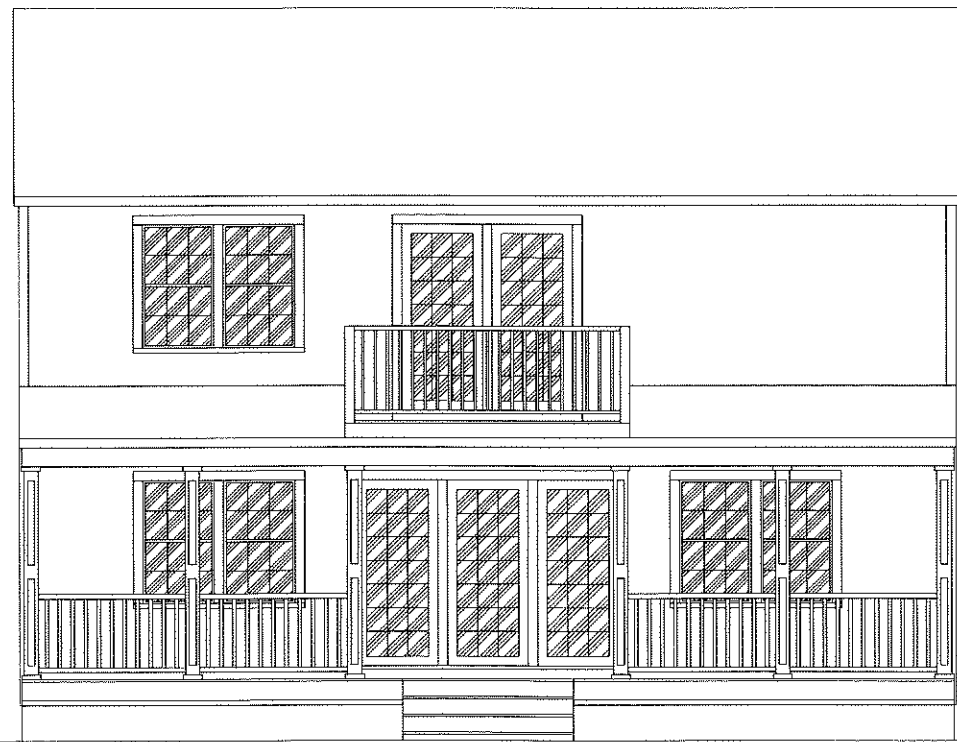
C:\Users\Admin\appdata\local\temp\AcPublish 45588\103 Staples Shore Road - Base.dwg

Richard Cohen
REGISTERED PROFESSIONAL ENGINEER
COMMONWEALTH OF MASSACHUSETTS
LICENSED

SCALE: SEE DETAIL	DRAWING TITLE PROPOSED DWELLING RECONSTRUCTION		SHEET NO. 2 OF 2
DATE: APRIL 3, 2020	PROJECT 103 STAPLES SHORE ROAD LAKEVILLE, MASSACHUSETTS		
DRAWN BY: SWL	CLIENT DON SENA LAKEVILLE, MASSACHUSETTS		
DESIGNED BY: RJR	<ul style="list-style-type: none"> CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL ASSESSMENT 		PROJECT NO.
CHECKED BY: RJR	 PRIME ENGINEERING <small>INC.</small>		
APPROVED BY: RJR			P.O. BOX 1088 360 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050 FAX: 508.947.2004



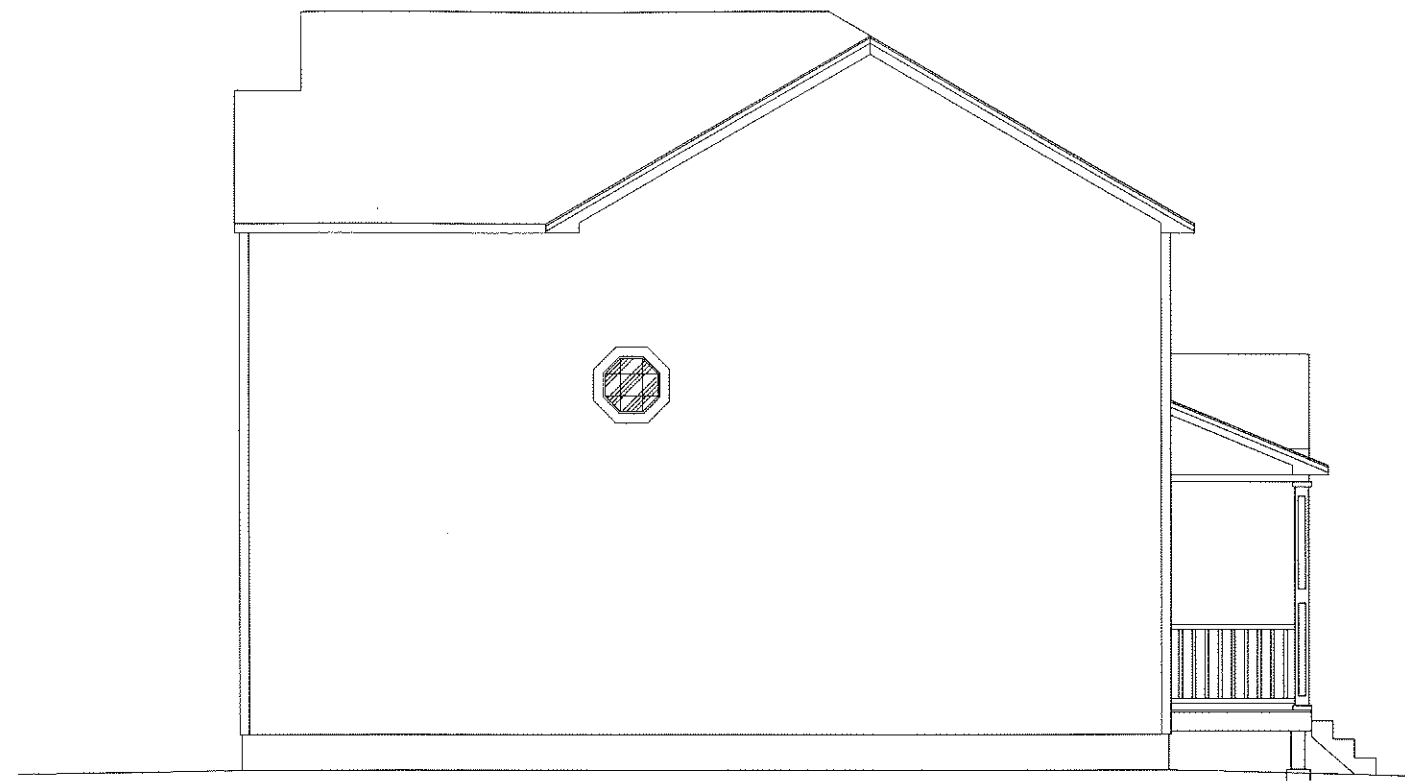
FRONT VIEW
SCALE: 1/4" = 1'-0"



WATER SIDE (REAR)
SCALE: 1/4" = 1'-0"

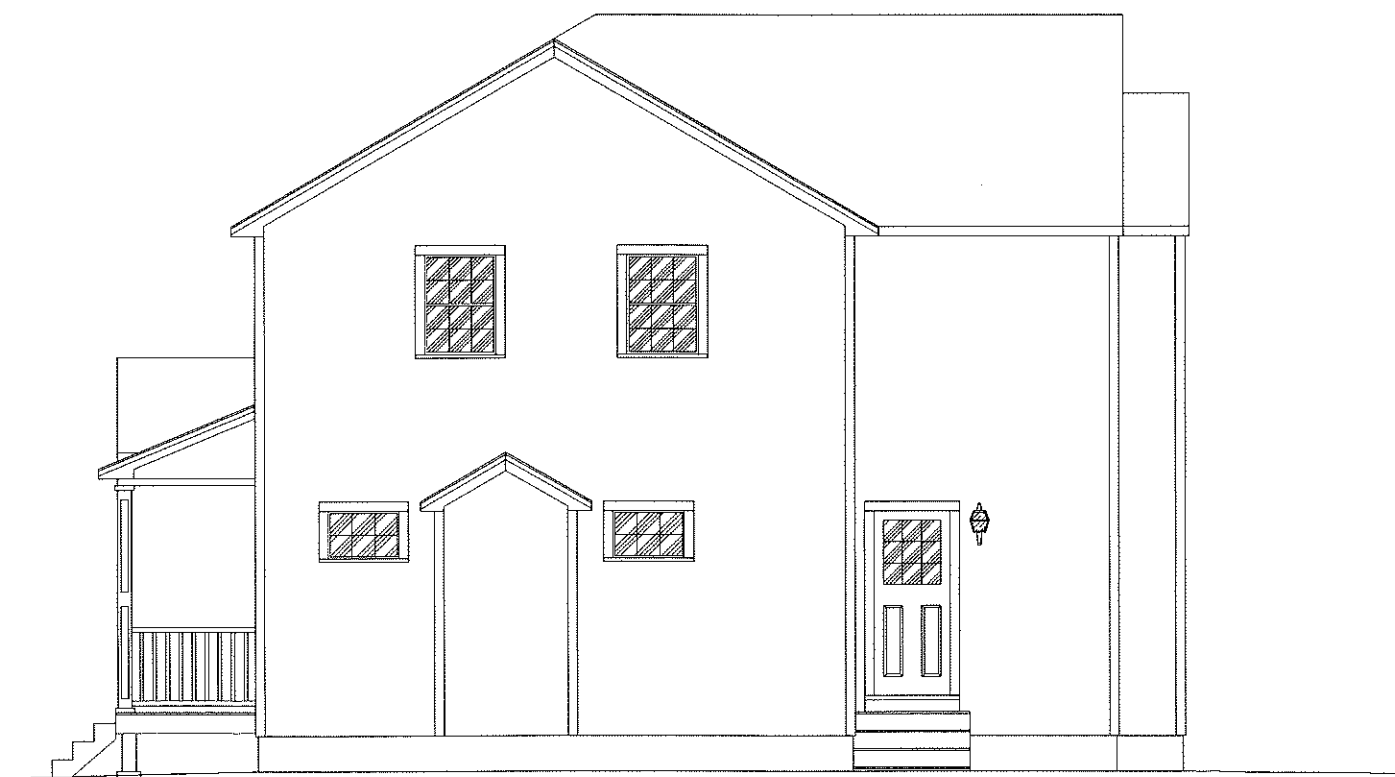
DR. BY: J. ROGERS





RIGHT SIDE

SCALE: 1/4" = 1'-0"



LEFT SIDE

SCALE: 1/4" = 1'-0"

DR. BY: J. ROGERS





#6

**Southeastern Regional Planning and Economic
Development District (SRPEDD)**

2020-2021 SRPEDD Commission Member Appointment Form

The Southeastern Regional Planning and Economic Development District (SRPEDD) was created by the Massachusetts Legislature, along with 12 other regional planning agencies across the state to undertake regional planning and deliver cost-effective planning-related technical assistance to the municipalities that they serve (in SRPEDD's case: four cities and 23 towns). The key to all such agencies' success and effectiveness in achieving those missions, is the **Regional Commission**, or body of **appointed representatives** from each member municipality. As one would expect, there is call and opportunity for such Commissioners to exercise leadership, share of their expertise, and help to advance their respective regions— be it through land use, transportation, economic development, environmental, or multiple other types of planning. Indeed, it is the Commissioners that define the agency, who through their commitment, dedication and engagement in the following, help to ensure that the region is most effectively served:

1. **Policy Setting** - Through your participation in Committee and at Commission meetings, you will be asked to vote on important policy matters affecting the region:
 - Regional development policies – adoption of plans and goals.
 - Regional priorities –assessment and establishment of priorities that help to determine and apportion federal and state funding for transportation and economic development projects.
 - Work program direction – deliberation on whether to apply for particular funding, and/or pursue identified projects in conjunction with the annual work program.

2. **Partnering with Member Municipalities** - As a liaison and key point of contact between your municipality and SRPEDD:
 - Provide timely information and updates to your municipality in regards to ongoing planning initiatives, upcoming funding and other opportunities; also, to fellow Commissioners about key planning issues in your community.
 - Help to represent your city/town's perspective in discussion of regional issues.
 - Help to educate and promote awareness of regional planning in your community.

3. **Agenda Setting** – Based on your understanding and familiarity with local and regional needs, help to set the organization's agenda by encouraging focus on prioritized planning issues important and beneficial to the region.

4. **Commission Governance** – Finally, in conjunction with fellow Commissioners and possible service as a SRPEDD officer or committee member, help to provide key oversight on personnel, budget and other areas related to day-to-day operations.

**2020-2021 SRPEDD COMMISSION MEMBER
Appointment Form**

Please be advised that has been appointed to represent the (check one) Mayor [], Bd. of Selectmen [] Planning Bd. [] for the

City/Town of

on the SRPEDD Commission for the period:

May 22, 2020 through May 22, 2021.

Signature: _____
Mayor or Chair, Board of Selectmen/Planning Board

Date: _____

Please provide SRPEDD Commissioner Appointee contact information

Name: _____

Street: _____

City/Town: _____

Telephone: _____

Email Address: _____

Please return this form by: **MAY 15, 2020**
Via Email: ssousa@srpedd.org, Fax: (508) 823-1803 or U.S. Mail