

TOWN OF LAKEVILLE MEETING POSTING & AGENDA

Town Clerk's Time Stamp
received & posted:
K. Murray
LAKEVILLE TOWN CLERK
RCUD 2022 AUG 23 PM 1:41

*48-hr notice effective
when time stamped*

Notice of every meeting of a local public body must be filed and time-stamped with the Town Clerk's Office at least 48 hours prior to such meeting (excluding Saturdays, Sundays and legal holidays) and posted thereafter in accordance with the provisions of the Open Meeting Law, MGL 30A §18-22 (Ch. 28-2009). Such notice shall contain a listing of topics the Chair reasonably anticipates will be discussed at the meeting.

Name of Board or Committee:	Planning Board
Date & Time of Meeting:	Thursday, August 25, 2022 at 7:00 p.m.
Location of Meeting:	Lakeville Police Station 323 Bedford Street, Lakeville, MA 02347
Clerk/Board Member posting notice:	Cathy Murray

Cancelled/Postponed to: _____ (circle one)

Clerk/Board Member Cancelling/Postponing: _____

A G E N D A

1. **Site Plan Review - TAC VEGA MA Owner, LLC, continued – 310 Kenneth W. Welch Drive**
Site Plan Review with a request for a density bonus of 70%.
2. **Approve Housing Survey Questions for the Housing Production Plan**
3. **Discussion and action on possible Articles for fall Town Meeting:**
 - a. **Modifying setbacks and lot coverage in the Business/Industrial Zone**
 - b. **Industrial District revisions**
4. **Review the following Zoning Board of Appeals petitions:**
 - a. **LeBaron Residential LLC (continue discussion)**
 - b. **Scott – 9 Rush Pond Road**
5. **Next meeting. . . September 8, 2022, at the Lakeville Police Station**
6. **Any other business that may properly come before the Planning Board.**
7. **Adjourn**

*Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the **Planning Board** arise after the posting of this agenda, they may be addressed at this meeting*

#1a



**Project Name: Vega Strategic Lakeville MA
310 Kenneth Welch Drive**

RE: Amended request for an increase in the maximum lot coverage from the current 70% to a proposed 77%

EPN: 22157

August 18, 2022

Dear Mr. Resnick,

On the behalf of the property owner, TAC Vega MA LLC, for 310 Kenneth Welch Drive, Epstein is requesting to modify our request for an increase in lot coverage from the 73% coverage previously requested to 77%. This increase will allow us to address the comments received from the Planning and Zoning boards request on July 28th 2022, to accommodate additional parking on site. With this modification we can now provide a total of 250 spots on site. This amount is the maximum projected need provided by the current tenants. A concept plan is attached that indicates the proposed solution.

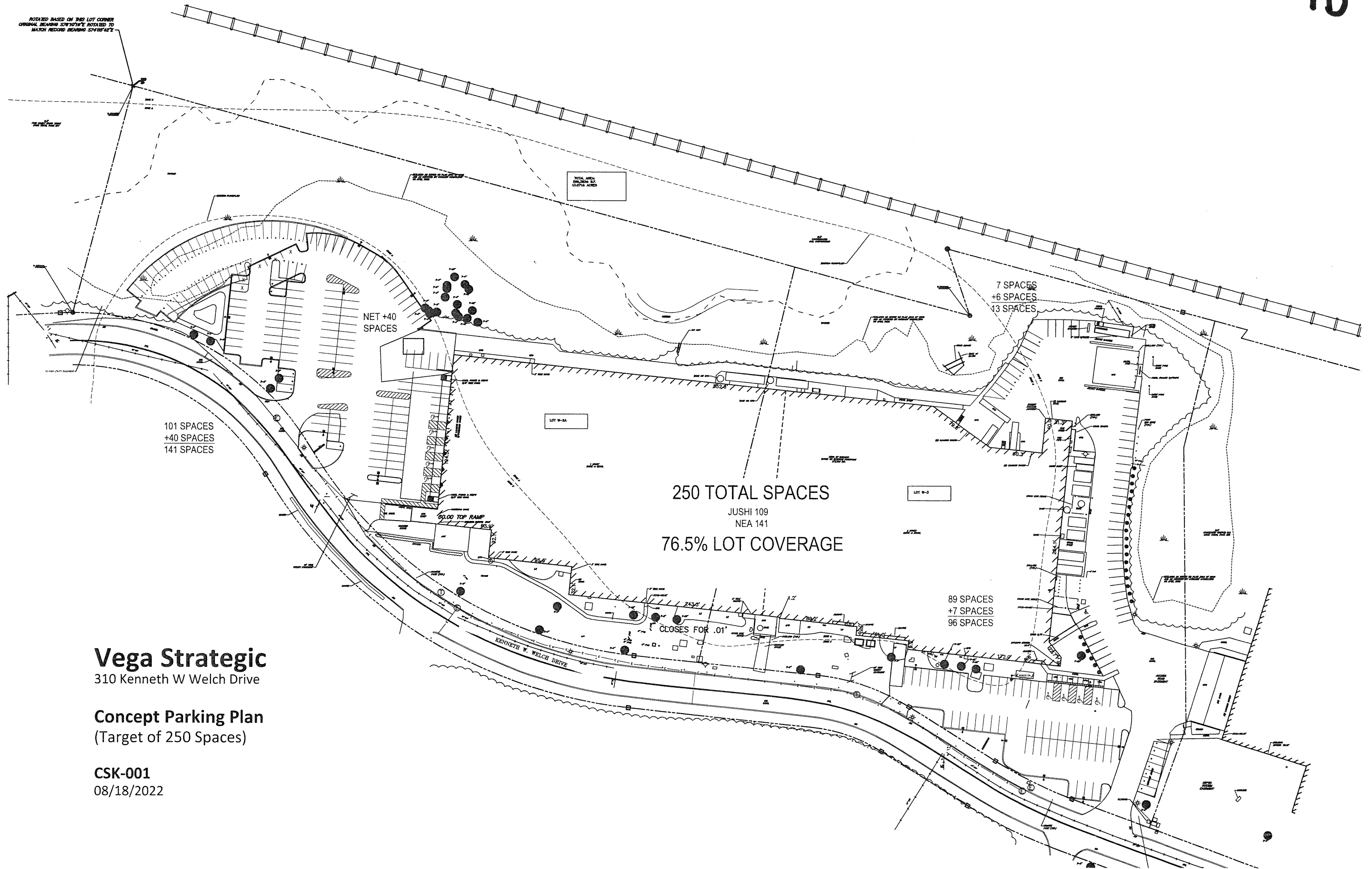
Thank you

Terence Russell, AIA

Senior Project Manager

EPSTEIN

ROTATED BASED ON THIS LOT CORNER
ORIGINAL BEARING S70°10'15"E ROTATED TO
MATCH RECORD BEARING S74°20'42"E



Vega Strategic

310 Kenneth W Welch Drive

Concept Parking Plan
(Target of 250 Spaces)

CSK-001
08/18/2022

2



Mansfield Housing Production Plan Community Survey

Existing Conditions

We want to know more about your perceptions of Mansfield's current housing stock.

East and West Mansfield

What are your thoughts on recently built homes in Mansfield?



Single-family Cul-de-Sac
3bd | 3,529 sqft
72,745 sqft Lot (0.6 DU/Acre)

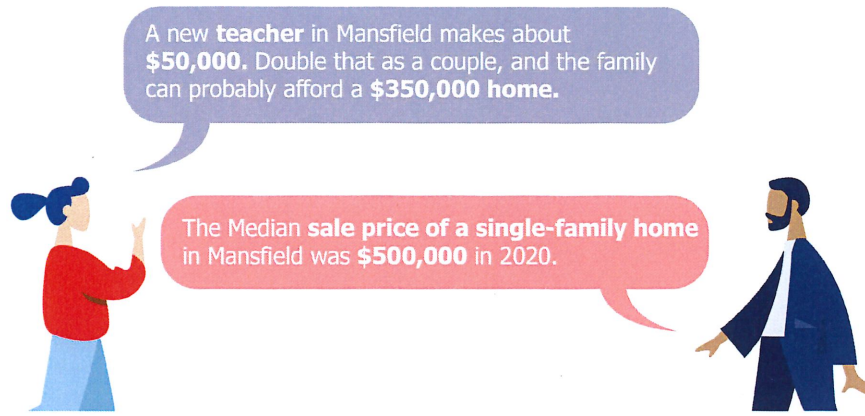


Two-family
3bd | 2,429 sqft each
53,740 sqft Lot (1.6 DU/Acre)



Single-family Cul-de-Sac
4bd | 3,200 sqft
25,700 sqft Lot (1.1 DU/Acre)

1. What are your thoughts on recently built homes in Mansfield? Are they too big, too small, or just right? Do they cost too little, the right amount, or too much?



2. How important is living in a diverse community to you?
By diverse, we mean age, occupation, type of family/household, race, and socioeconomic status.

- Extremely important
- Very important
- Somewhat important
- Not so important
- Not at all important

3. How important do you feel it is for Mansfield to have many different housing options at different price points?

- Extremely important
- Very important
- Somewhat important
- Not so important
- Not at all important

4. Do you feel Mansfield's current housing stock is meeting its community's needs?

meeting its community's needs.

- Strongly agree
- Agree
- Neither agree nor disagree
- Disagree
- Strongly disagree
- I'm not sure

5. Do you feel there are enough senior housing options in town?

- Yes
- No
- I'm not sure

6. Do you feel there are enough family-appropriate housing options in town?

- Yes
- No
- I'm not sure

7. Do you think there's anything missing from Mansfield's housing supply?

8. How much do you think a "starter home" should cost in Mansfield? Please use a whole number.

9. Are you concerned that you or someone you know will not be able to afford to live in Mansfield, now or in the future?

- Yes
- No
- I'm not sure

10. What housing-related interventions would you support?

	Strongly support	Support	Neither support nor oppose	Oppose	Strongly oppose	I'm not sure
New small-scale housing development (1-4 units).	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
New medium-scale housing development (5-9 units).	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
New large-scale housing development (10+ units).	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Collaborating with proactive 40B developers on town-owned land.	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

	Strongly support	Support	Neither support nor oppose	Oppose	Strongly oppose	I'm not sure
Zoning changes that increase density in specific areas.	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Zoning changes that modify existing regulations (lessening restrictions on Accessory Dwelling Units, creating design guidelines for larger developments).	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Adopting the Community Preservation Act .	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>



Prev

Next

One Lakeville Business Park
Suite 1A
Lakeville, MA 02347

Tel (508) 946-0066
Fax (508) 946-4474
E-Mail: rjmather@rjmatherlaw.com

Date: July 25, 2022

M. John Olivieri, Chairman
Town of Lakeville
Zoning Board of Appeals
346 Bedford Street
Lakeville, MA 02347

Re: LeBaron Residential, LLC
Modification of Comprehensive Permit

NOTICE OF PROJECT CHANGE

Dear Mr. Olivieri and Board Members:

I am writing as attorney for The Residences at LeBaron Hills, LLC. Reference is made to Town of Lakeville Zoning Board of Appeals Comprehensive Permit entitled "Decision on Comprehensive Permit Application" LeBaron Residential LLC dated June 17, 2004, issued pursuant to M.G.L. Chapter 40B, Sections 20 to 23, as modified ("the Comprehensive Permit").

My client is seeking further modification to the Comprehensive Permit as follows:

1. Modify Phase 3 to reduce the number of single-family dwellings from 77 to 74.
2. Modify Phase 5 to add three ten (10) unit buildings and one five (5) unit building.
3. Add additional parcels of land on Fern Ave to the Comprehensive Permit.
4. To change the existing emergency only access from Fern Ave. to full access to the development.
5. To allow the construction of Phase 6 which will consist of three (3) thirty six (36) unit four (4) story buildings, with elevators.
6. To increase the total number of units from 386 to 419.

RECEIVED
JUL 26 2022
BOARD OF APPEALS

This notice is being provided pursuant to 760 CMR 56.05(11)(a). Pursuant to these regulations, the Board shall first determine within twenty (20) days whether these changes are substantial in accordance with 760 CMR 56.05(11)(c) and (d). If it is determined that they are insubstantial changes, or if notice is not provided to the applicant to the contrary within such twenty (20) day period, the Comprehensive Permit shall be deemed modified to incorporate the changes. The above process does not require a public hearing. A public hearing would be required if you determine that the changes are substantial changes, and if so, and pursuant to the aforesaid regulations, a public hearing is to be held within thirty (30) days. **Please note that the Applicant concedes that the proposed changes are "substantial" and waives the right to request the Board to determine that the changes are "insubstantial".**

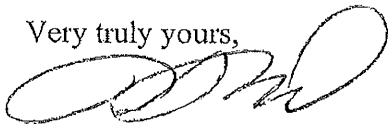
Enclosed herewith please find seventeen (17) copies of plans from Outback Engineering Inc. which show the modifications to Phase 3 and Phase 5 and the addition of Phase 6, as outlined above.

Enclosed please find a check payable to the Town of Lakeville in the amount of \$2,825.00 representing the filing fee of \$350.00 plus \$75.00 per unit for the additional requested 33 units. Please let me know when this hearing will be scheduled.

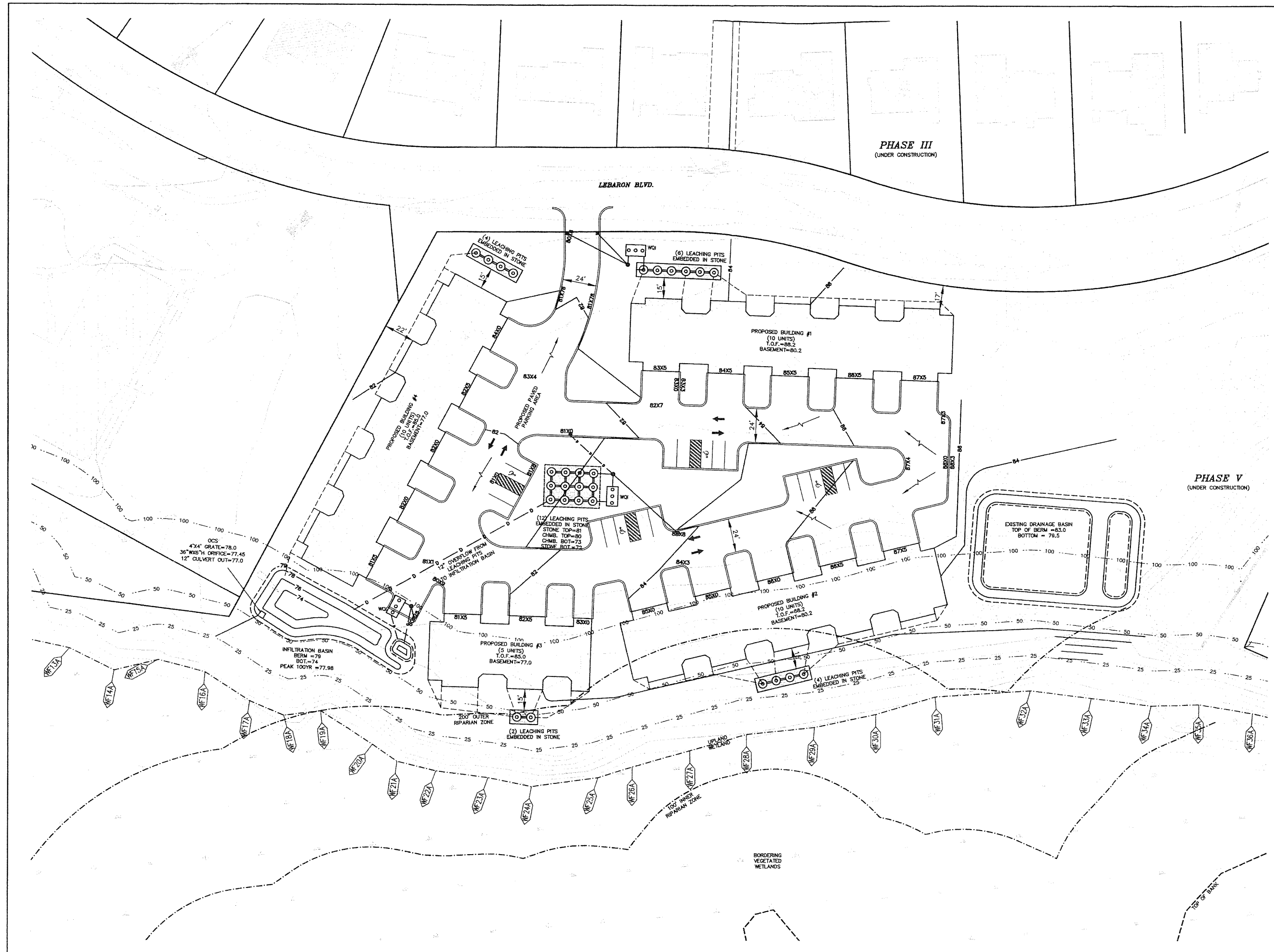
If you have any questions, please feel free to contact me.

Thank you!

Very truly yours,



Robert J. Mather, Esq.



LEGEND

- MAJOR CONTOUR
- MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- TOP OF BANK
- WETLAND LINE
- 25' BUFFER
- 50' BUFFER
- 100' BUFFER



APPLICANT

THE RESIDENCES AT LEBARON HILLS, LLC
 32 NORFOLK AVENUE
 SOUTH EASTON, MA 02375
 ASSESSORS MAP: 26 BLOCK: 3 LOT: 10-13C
 ASSESSORS MAP: 26 BLOCK: 3 LOT: 10A

**PHASE 5
 MODIFICATION PLAN**

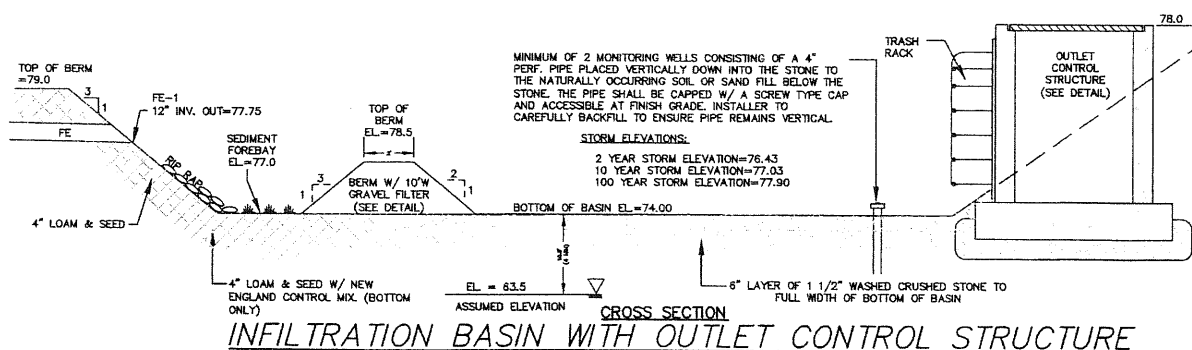
"THE RESIDENCES AT
 LEBARON HILLS"

LAKEVILLE
 MASSACHUSETTS



165 EAST GROVE STREET
 MIDDLEBOROUGH, MA 02346
 TEL: (508)-946-9231
 FAX: (508)-947-8873
 www.outback-eng.com

DATE: MARCH 17, 2022	
DRAWN BY: J.E.Y.	CHECKED BY: J.A.Y.
SCALE: 1"=30'	SHEET 1 OF 3

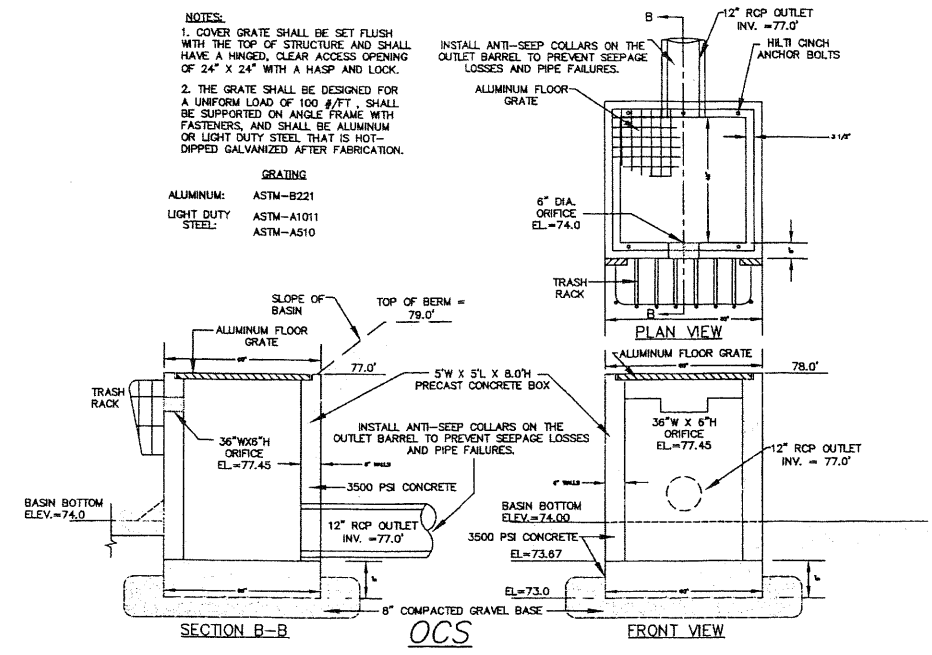


INFILTRATION BASIN NOTES:
 THE CONTRACTOR IS CAUTIONED THAT THE INFILTRATION BASIN IS DESIGNED TO INFILTRATE/RECHARGE STORMWATER PRIMARILY THROUGH THE BOTTOM OF THE BASIN. CONSTRUCTION TECHNIQUES THAT WOULD POTENTIALLY DIMINISH THE FILTRATION CAPACITY OF THE UNDERLYING SOILS ARE TO BE AVOIDED. COMPACTION AND SILTATION OF THE BASIN DURING CONSTRUCTION IS PROHIBITED.

- A.) DO NOT UTILIZE ANY PORTION OF THE BASIN FLOOR AS A HAUL ROAD FOR MATERIAL AND HEAVY EQUIPMENT.
- B.) DO NOT COMPACT SOILS IN THE BASIN FLOOR.
- C.) DO NOT PLACE GRAVEL OR OTHER MATERIALS TO STABILIZE THE BASIN FLOOR FOR CONSTRUCTION VEHICULAR TRAVEL ACCESS.
- D.) STRICT COMPLIANCE WITH THE EROSION CONTROL PLAN AND THE STORMWATER OPERATIONS AND MAINTENANCE PLAN IS NECESSARY.
- E.) BASIN CONSTRUCTION SHALL OCCUR AT THE EARLY STAGES OF THE PROJECT CONSTRUCTION SO THAT THEY ARE FULLY VEGETATED AND STABILIZED PRIOR TO RECEIVING STORMWATER.
- F.) DESIGN ENGINEER TO INSPECT BOTTOM OF BASIN PRIOR TO PLACEMENT OF STONE BOTTOM.
- G.) RIP-RAP IN THE BOTTOM OF THE BASIN TO BE PLACED, NOT DUMPED. DO NOT COMPACT.
- H.) DO NOT USE THE INFILTRATION BASIN AS A TEMPORARY SEDIMENT BASIN OR DE-WATERING BASIN.

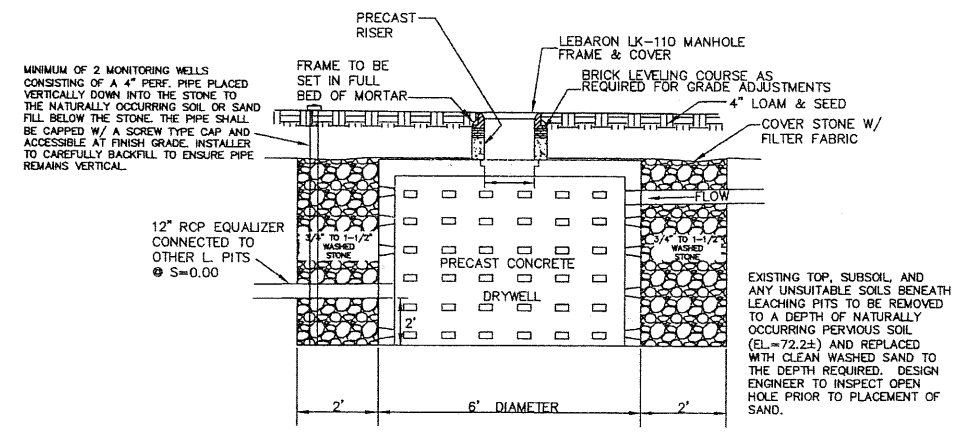
INFILTRATION BASIN WITH OUTLET CONTROL STRUCTURE

NOT TO SCALE
 EXISTING TOP, SUBSOIL, AND ANY UNSUITABLE SOILS BENEATH INFILTRATION BASIN (EXCLUDING SEDIMENT FOREBAY) TO BE REMOVED TO A DEPTH OF NATURALLY OCCURRING PERVIOUS SOIL AND REPLACED WITH CLEAN WASHED SAND TO THE DEPTH REQUIRED. DESIGN ENGINEER TO INSPECT OPEN HOLE PRIOR TO PLACEMENT OF SAND.



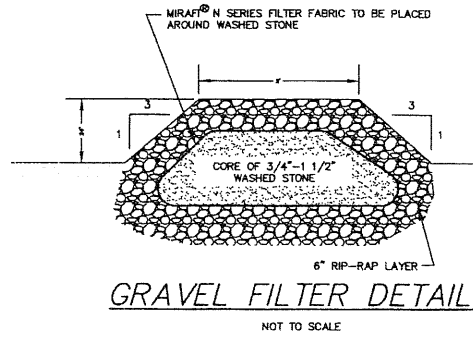
GRATING
 ALUMINUM: ASTM-B221
 LIGHT DUTY: ASTM-A1011
 STEEL: ASTM-A510

OCS SECTION B-B FRONT VIEW

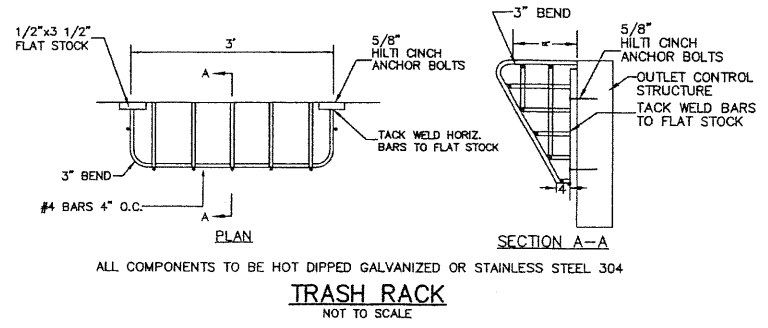


LEACHING PIT DETAIL

- NOTES:**
- L. PITS SHALL BE LOCATED 10' O.C. MINIMUM.
 - 2 OBSERVATION WELLS TO BE LOCATED WITHIN THE LEACHING PIT FIELD AND ACCESSIBLE AT FINAL GRADE.
 - FILTER FABRIC OR CRUSHED STONE SHALL BE PLACED UNDER FIRST ROW OF PITS TO PREVENT SOIL SCOUR.
 - SEE PLAN FOR LOCATION AND SIZE OF INDIVIDUAL L PITS



GRAVEL FILTER DETAIL

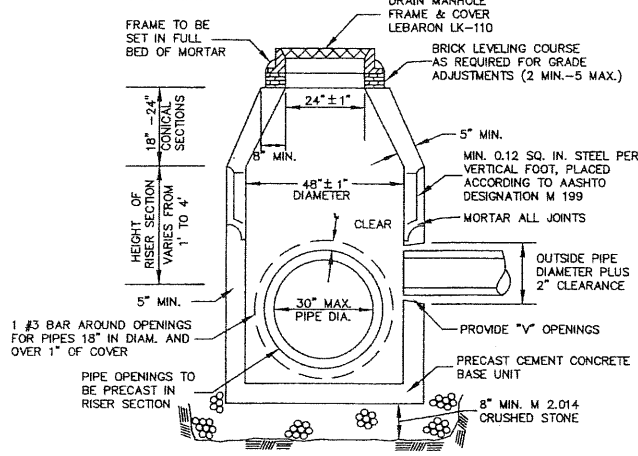


TRASH RACK

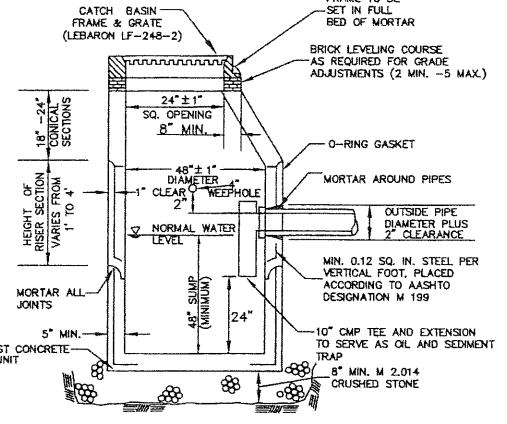
NOTE: FOR DOUBLE GRATED C.B.'S USE PRECAST MANUFACTURER'S STANDARD FOR DOUBLE GRATED CONICAL SECTION.

FRAMES AND GRATES:
 SINGLE GRATE: LEBARON LF-248-2
 DOUBLE GRATE: LEBARON LV2448-2 (4 FLANGE)

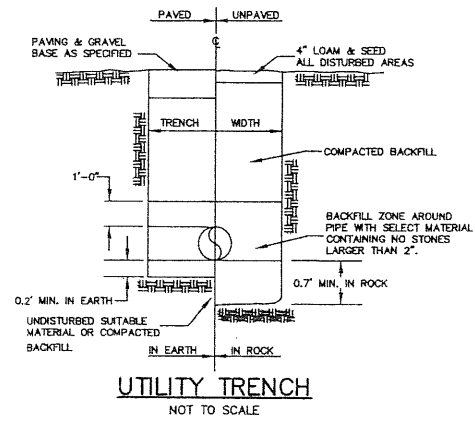
NOTE: FOR DOUBLE GRATED C.B.'S USE PRECAST MANUFACTURER'S STANDARD FOR DOUBLE GRATED CONICAL SECTION.



PRECAST CONCRETE DRAIN MANHOLE



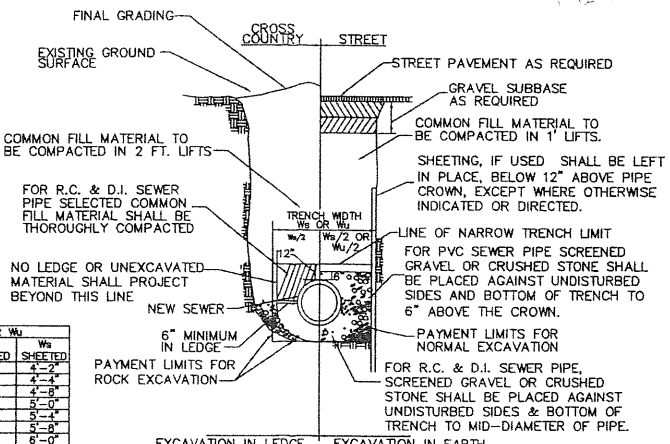
PRECAST CONCRETE CATCH BASIN



UTILITY TRENCH

DIAMETER OF PIPE D	TRENCH WIDTH W ₁ OR W ₂	
	UNSHEETED	SHEETED
12" AND SMALLER	3'-0"	2'-0"
15"	3'-2"	2'-4"
18"	3'-8"	2'-8"
21"	3'-10"	3'-0"
24"	4'-2"	3'-2"
27"	4'-8"	3'-8"
30"	4'-10"	4'-0"
36"	5'-8"	4'-8"
42"	6'-2"	5'-2"
48"	6'-10"	6'-0"

TRENCH WIDTH DATA



SEWER TRENCH SECTION

NOTE: TRENCHES LOCATED ON THE ROAD SHOULDER SHALL BE TREATED THE SAME AS STREET EXCEPT FOR PAVING



APPLICANT
 THE RESIDENCES AT LEBARON HILLS, LLC
 32 NORFOLK AVENUE
 SOUTH EASTON, MA 02375
 ASSESSORS MAP: 26 BLOCK: 3 LOT: 10-15C
 ASSESSORS MAP: 26 BLOCK: 3 LOT: 10A

PHASE 5 MODIFICATION PLAN

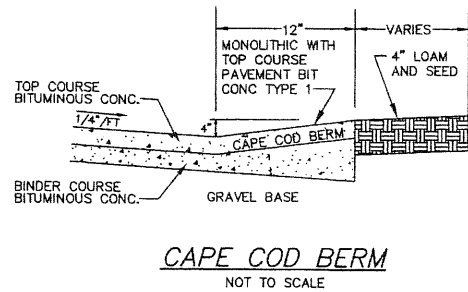
"THE RESIDENCES AT LEBARON HILLS"

LAKEVILLE MASSACHUSETTS

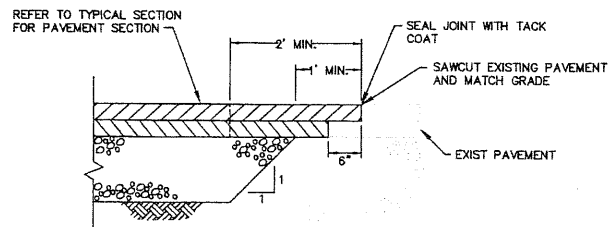


165 EAST GROVE STREET
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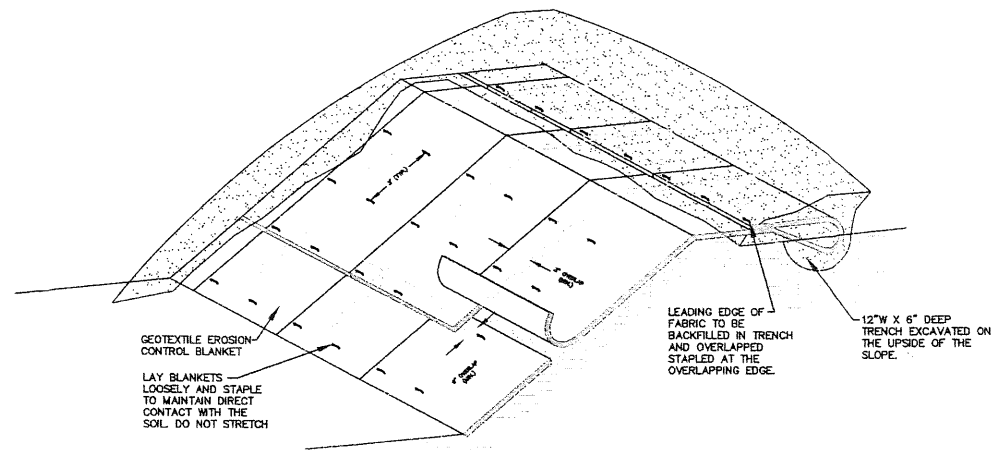
DATE: MARCH 17, 2022
 DRAWN BY: J.E.Y. CHECKED BY: J.A.Y.
 SCALE: 1"=30' SHEET 2 OF 3



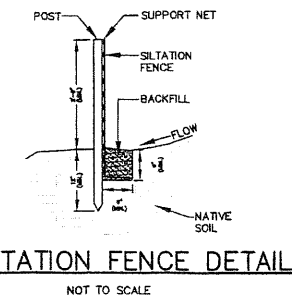
CAPE COD BERM
NOT TO SCALE



PAVEMENT MATCHING DETAIL
NOT TO SCALE

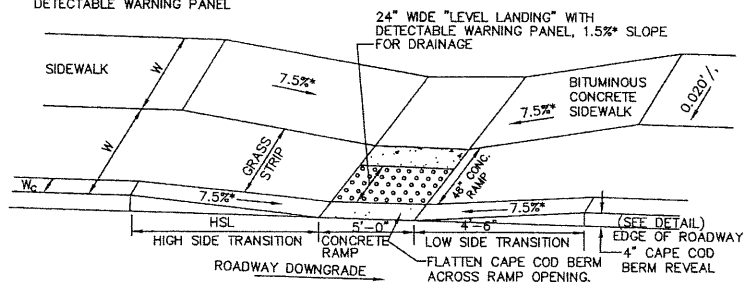


GEOTEXTILE EROSION CONTROL BLANKET
NOT TO SCALE

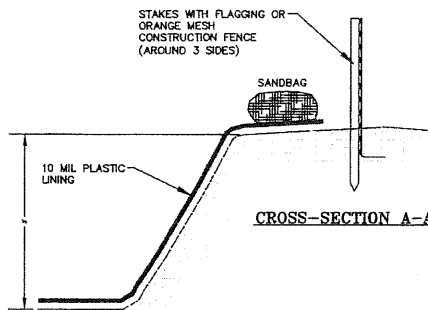


SILTATION FENCE DETAIL
NOT TO SCALE

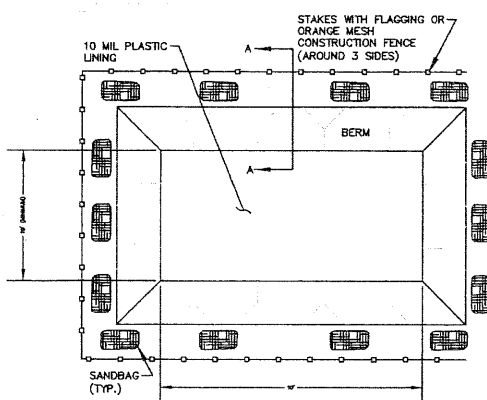
WHEELCHAIR RAMP LEGEND
HSL=HIGH SIDE TRANSITION LENGTH (SEE M/E 107.9.0)
W=SIDEWALK LENGTH
W=CURB WIDTH
*TOLERANCE FOR CONSTRUCTION ±0.5%
USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'-0"
SEE M/E 107.6.5R FOR DETAILS OF DETECTABLE WARNING PANEL



WHEELCHAIR RAMP DETAIL
NOT TO SCALE

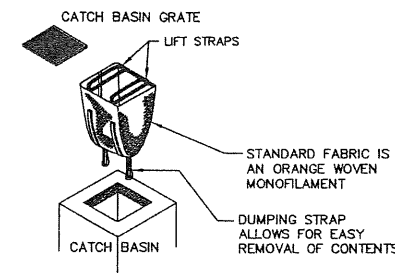


CROSS-SECTION A-A



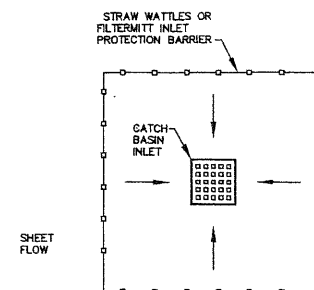
BELOW GRADE CONCRETE WASHOUT PIT
NOT TO SCALE

ALTERNATIVE: UTILIZE 10 MIL LINER ABOVE GRADE W/ RAISED EDGES USING FILLED BERM AND SAND BAGS



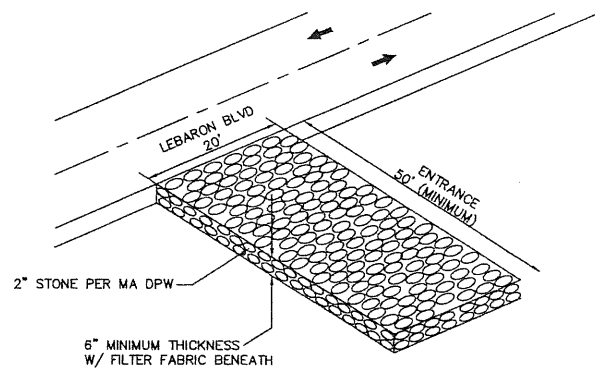
DANDY SACK® SILT SACK
BY MIRAFI
NOT TO SCALE

NOTE: SILT SACKS TO BE INSTALLED AT CATCH BASINS ONLY AFTER ROAD IS CONSTRUCTED TO BASE COURSE PAVEMENT

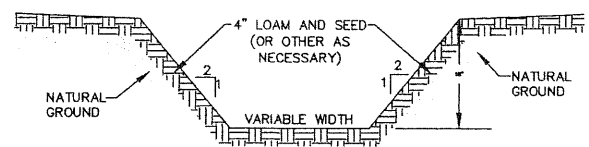


STORM DRAIN INLET PROTECTION
NOT TO SCALE

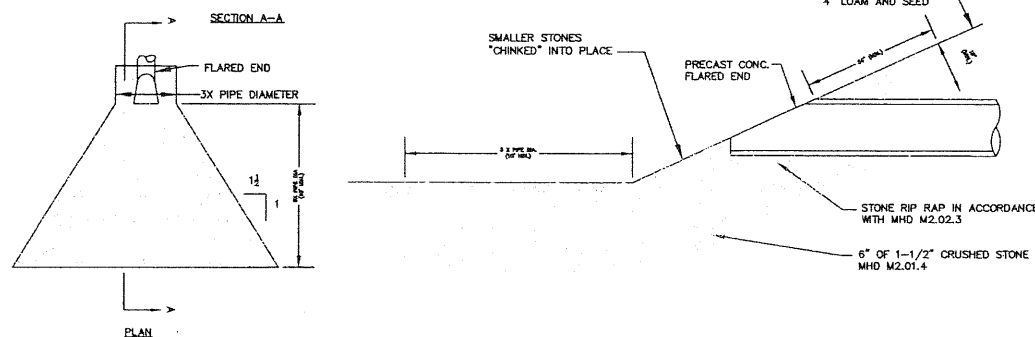
NOTES:
1) FILTERMATT SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS THE EXPECTED FLOW PATH.
2) FILTERMATT OR OTHER TO BE INSTALLED PER DETAIL SPECIFICATIONS.



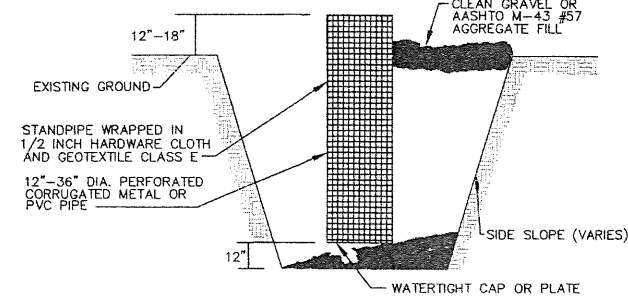
TEMPORARY SITE CONSTRUCTION ENTRANCE PAD
N.T.S.



TEMPORARY DIVERSION BERM/SWALE DETAIL
NOT TO SCALE
CONTRACTOR SHALL STABILIZE AS NECESSARY USING RIP RAP, CRUSHED STONE, EROSION CONTROL BLANKETS, AND/OR LOAM & SEED



FLARED END W/RIP-RAP DETAIL
NOT TO SCALE



CONSTRUCTION DEWATERING SUMP PIT DETAIL
NOT TO SCALE

NOTE: IN LOCATIONS WHERE DEWATERING IS REQUIRED, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING SUMP PIT IN ACCORDANCE WITH THE DETAIL PROVIDED. TO PREVENT THE MIGRATION OF SILT AND SEDIMENT, THE CONTRACTOR SHALL FIT THE DISCHARGE END OF THE PUMP HOSE WITH A COMPOSITE SOCK AND ALL FLOW SHALL BE DISCHARGED INTO A SEDIMENT CONTROL TRAP PRIOR TO CONVEYANCE INTO THE STORM DRAIN SYSTEM. THE SEDIMENT CONTROL TRAP SHALL BE CONSTRUCTED UTILIZING AN ENCLOSED AREA OF SILT FENCE AND/OR FILTERMATT IN ACCORDANCE WITH THE DETAIL SHOWN. SEDIMENT TRAPS SHALL BE PLACED IN UPLAND AREAS ONLY AWAY FROM WETLANDS.



APPLICANT
THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10-15C
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10A

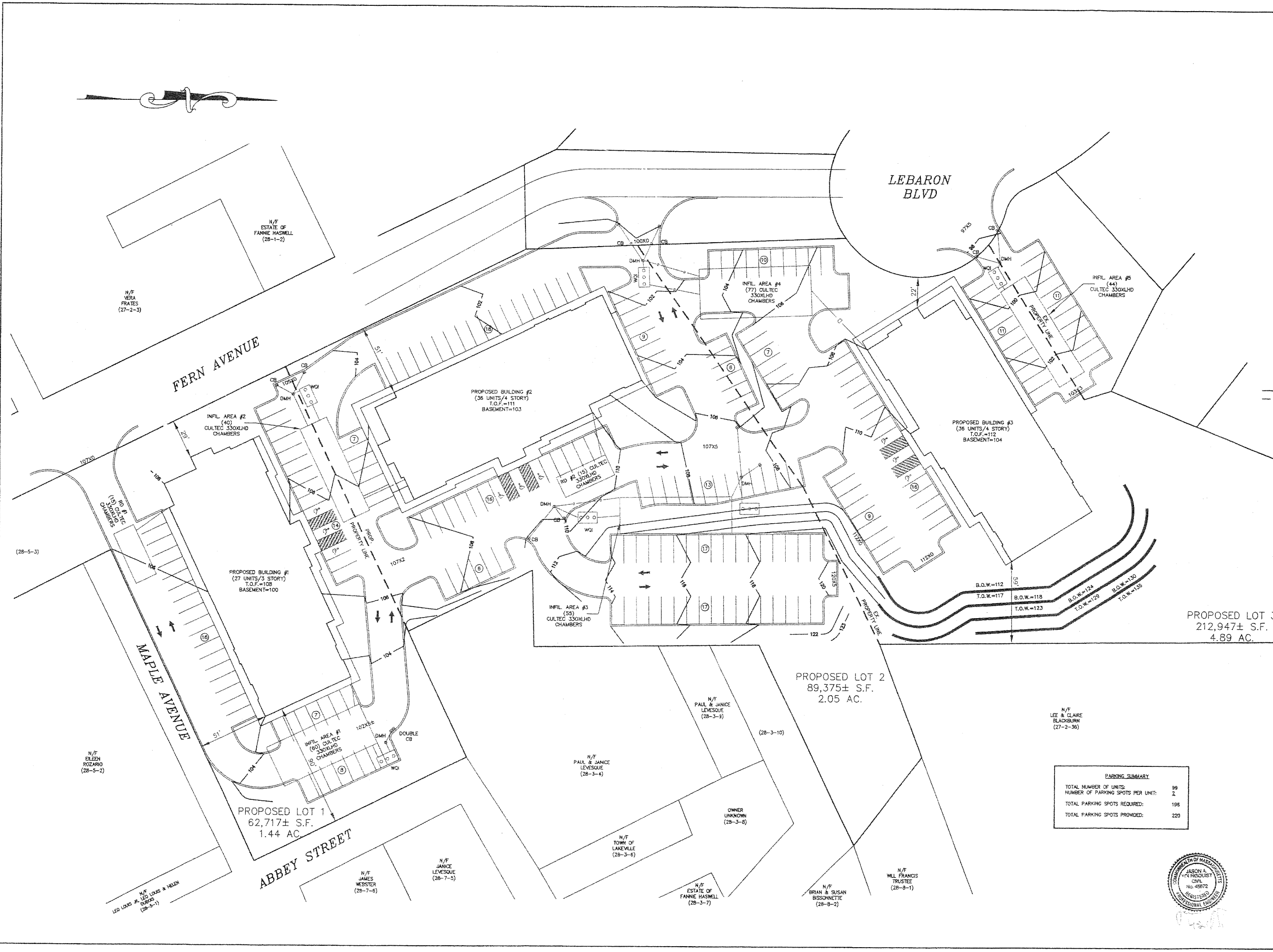
PHASE 5 MODIFICATION PLAN
"THE RESIDENCES AT LEBARON HILLS"
LAKEVILLE MASSACHUSETTS



165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508)-946-9231
FAX: (508)-947-8873
www.outback-eng.com

DATE: MARCH 17, 2022
DRAWN BY: J.E.Y. CHECKED BY: J.A.Y.
SCALE: 1"=30' SHEET 3 OF 3

OE-1865E



LEGEND

- MAJOR CONTOUR
- - - MINOR CONTOUR
- - - PROPOSED MAJOR CONTOUR
- - - PROPOSED MINOR CONTOUR

APPLICANT
 THE RESIDENCES AT LEBARON HILLS, LLC
 32 NORFOLK AVENUE
 SOUTH EASTON, MA 02375
 ASSESSORS MAP: 26 BLOCK: 3 LOT: 10-D
 ASSESSORS MAP: 28 BLOCK: 4 LOTS: 2 & 3

PROPOSED LOT 3
 212,947± S.F.
 4.89 AC.

PROPOSED LOT 2
 89,375± S.F.
 2.05 AC.

PROPOSED LOT 1
 62,717± S.F.
 1.44 AC.

PARKING SUMMARY

TOTAL NUMBER OF UNITS:	99
NUMBER OF PARKING SPOTS PER UNIT:	2
TOTAL PARKING SPOTS REQUIRED:	198
TOTAL PARKING SPOTS PROVIDED:	220

PHASE 6 MODIFICATION PLAN
 "THE RESIDENCES AT LEBARON HILLS"
 LAKEVILLE MASSACHUSETTS

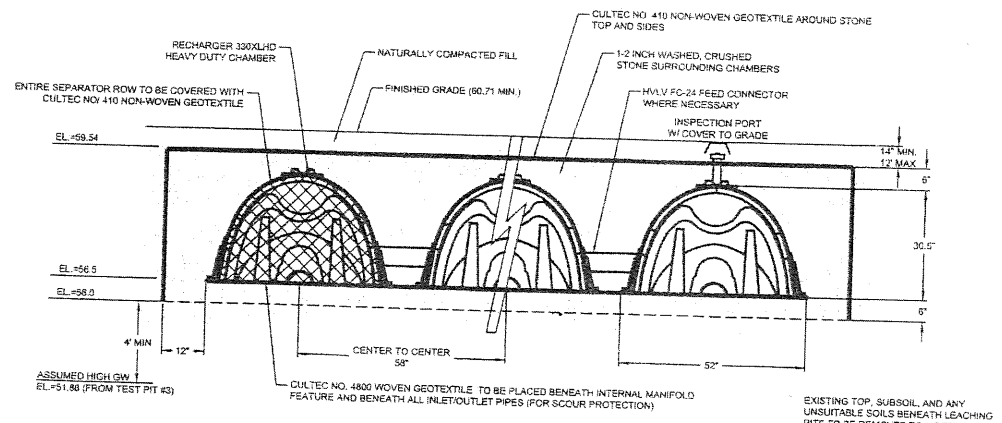


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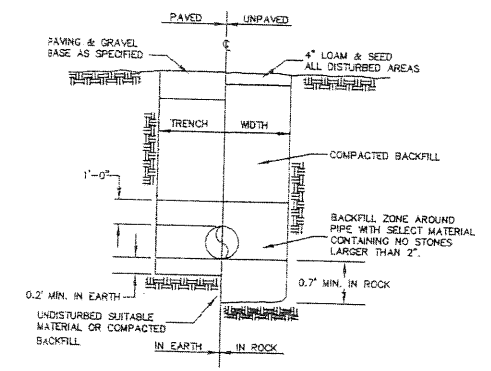
OE-1865E



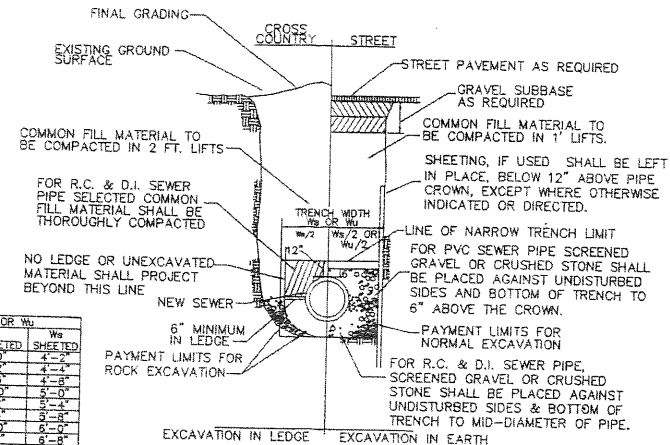
CULTEC CHAMBER FIELD DETAIL
NOT TO SCALE

INFL. AREA	BOT. STONE	BOT. CHAMB.	TOP CHAMB.	TOP STONE	FINISHED GRADE
#1	94.5	95.0	97.54	98.04	102.5±(MIN.)
#2	97.43	97.93	100.5	104.7	105.5±(MIN.)
#3	101.1	101.6	104.2	104.7	118.0±(MIN.)
#4	92.33	92.83	95.4	95.9	102.5±(MIN.)
#5	90.0	90.5	93.04	93.54	99.5±(MIN.)
#RD1	101.2	101.7	104.3	104.8	105.8±(MIN.)
#RD2	105.5	106.0	108.5	109.0	110.0±(MIN.)

ELEVATION SCHEDULE



UTILITY TRENCH
NOT TO SCALE

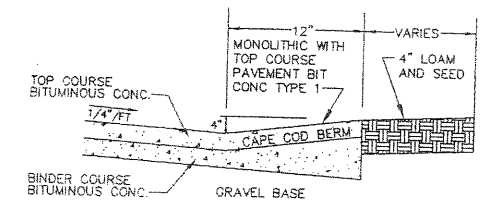


SEWER TRENCH SECTION
NOT TO SCALE

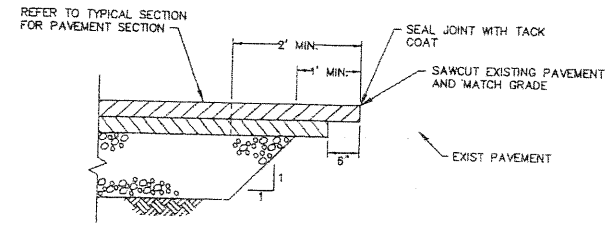
NOTE:
TRENCHES LOCATED ON THE ROAD SHOULDER SHALL BE TREATED THE SAME AS STREET EXCEPT FOR PAVING

DIAMETER OF PIPE D	TRENCH WIDTH Ws OR Wt	
	UN-SHEETED	SHEETED
12" AND SMALLER	3'-0"	4'-0"
18"	3'-6"	4'-6"
24"	4'-0"	5'-0"
27"	4'-6"	5'-6"
30"	4'-10"	6'-0"
36"	5'-6"	6'-6"
42"	6'-0"	7'-0"
48"	6'-10"	8'-0"

TRENCH WIDTH DATA

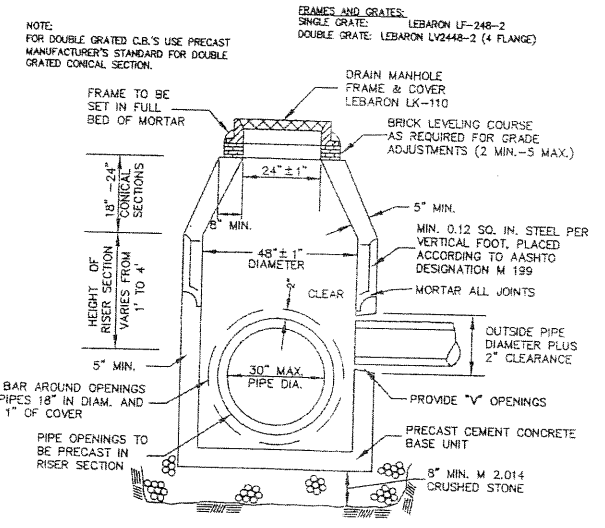


CAPE COD BERM
NOT TO SCALE

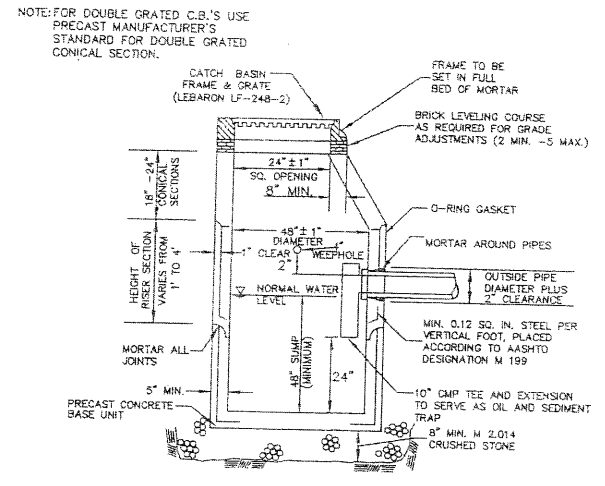


PAVEMENT MATCHING DETAIL
NOT TO SCALE

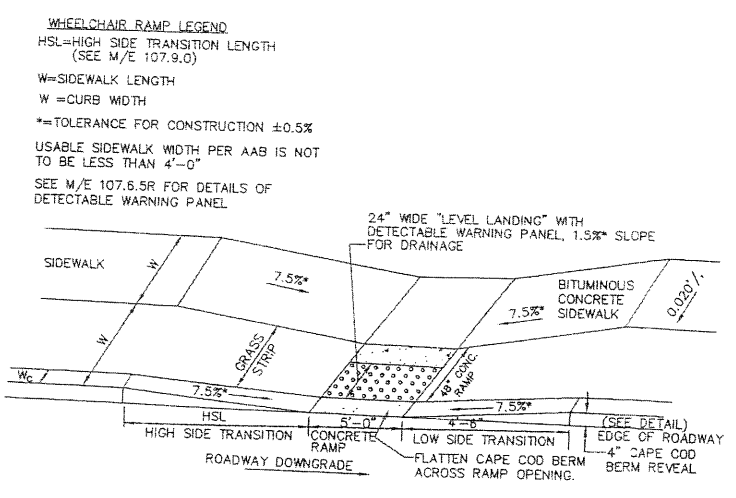
- NOTES:**
1. L PITS SHALL BE LOCATED 10' O.C. MINIMUM.
 2. OBSERVATION WELLS TO BE LOCATED WITHIN THE LEACHING PIT FIELD AND ACCESSIBLE AT FINAL GRADE.
 3. FILTER FABRIC OR CRUSHED STONE SHALL BE PLACED UNDER FIRST ROW OF PITS TO PREVENT SOIL SCOUR.
 4. SEE PLAN FOR LOCATION AND SIZE OF INDIVIDUAL L PITS



PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



WHEELCHAIR RAMP DETAIL
NOT TO SCALE

APPLICANT
THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10-15C
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10A

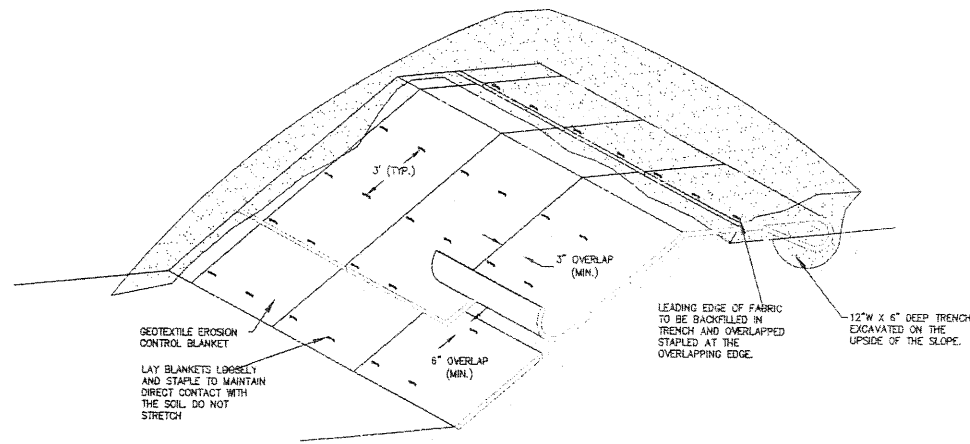
PHASE 6 MODIFICATION PLAN
"THE RESIDENCES AT LEBARON HILLS"
LAKEVILLE MASSACHUSETTS

Outback Engineering Incorporated
165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508)-946-9231
FAX: (508)-947-8873
www.outback-eng.com

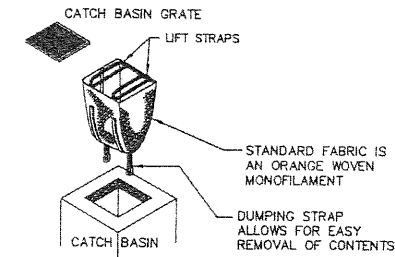
DATE: APRIL 12, 2022
DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
SCALE: 1"=30' SHEET 2 OF 3

0' 30' 60' 90'

OE-1865E

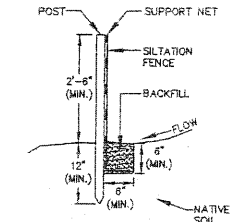


GEOTEXTILE EROSION CONTROL BLANKET
NOT TO SCALE

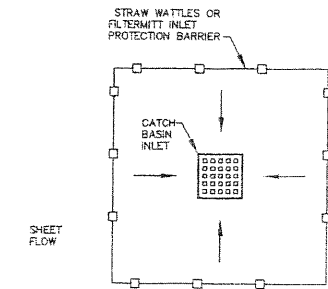


DANDY SACK® SILT SACK
BY MIRAFI
NOT TO SCALE

NOTE: SILT SACKS TO BE INSTALLED AT CATCH BASINS ONLY AFTER ROAD IS CONSTRUCTED TO BASE COURSE PAVEMENT

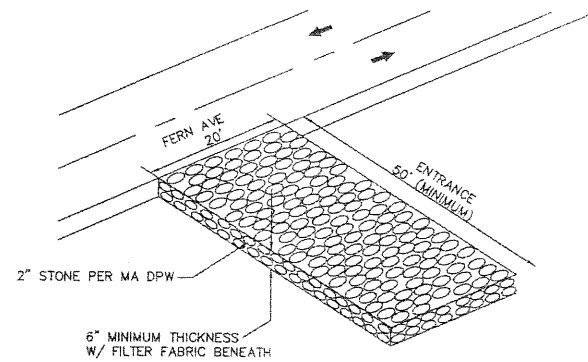


SILTATION FENCE DETAIL
NOT TO SCALE

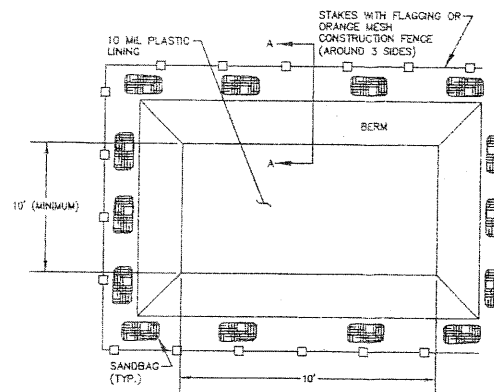
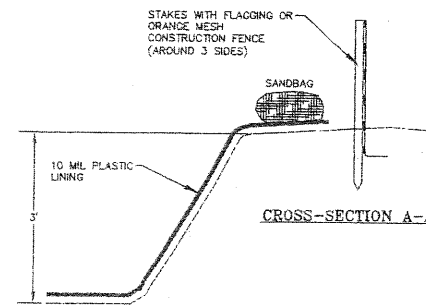


STORM DRAIN INLET PROTECTION
NOT TO SCALE

- NOTES:
- 1) FILTERMITT SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS THE EXPECTED FLOW PATH.
 - 2) FILTERMITT OR OTHER TO BE INSTALLED PER DETAIL SPECIFICATIONS.

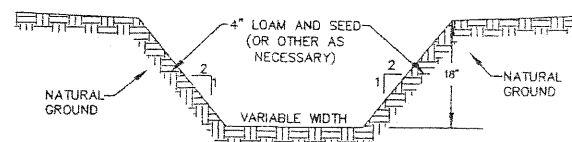


TEMPORARY SITE CONSTRUCTION ENTRANCE PAD
N.T.S.



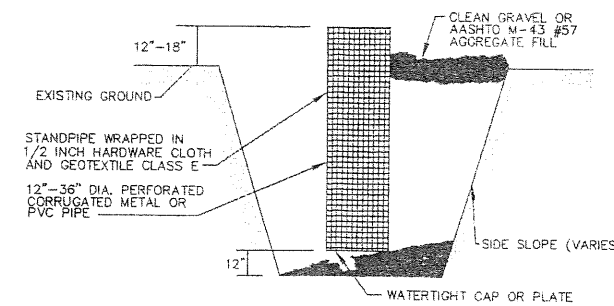
BELOW GRADE CONCRETE WASHOUT PIT
NOT TO SCALE

ALTERNATIVE: UTILIZE 10 MIL LINER ABOVE GRADE W/ RAISED EDGES USING FILLED BERM AND SAND BAGS



TEMPORARY DIVERSION BERM/SWALE DETAIL
NOT TO SCALE

CONTRACTOR SHALL STABILIZE AS NECESSARY USING RIP RAP, CRUSHED STONE, EROSION CONTROL BLANKETS, AND/OR LOAM & SEED



CONSTRUCTION DEWATERING SUMP PIT DETAIL
NOT TO SCALE

NOTE: IN LOCATIONS WHERE DEWATERING IS REQUIRED, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING SUMP PIT IN ACCORDANCE WITH THE DETAIL PROVIDED. TO PREVENT THE MIGRATION OF SILT AND SEDIMENT, THE CONTRACTOR SHALL FIT THE DISCHARGE END OF THE PUMP HOSE WITH A COMPOSITE SOCK AND ALL FLOW SHALL BE DISCHARGED INTO A SEDIMENT CONTROL TRAP PRIOR TO CONVEYANCE INTO THE STORM DRAIN SYSTEM. THE SEDIMENT CONTROL TRAP SHALL BE CONSTRUCTED UTILIZING AN ENCLOSED AREA OF SILT FENCE AND/OR FILTERMITT IN ACCORDANCE WITH THE DETAIL SHOWN. SEDIMENT TRAPS SHALL BE PLACED IN UPLAND AREAS ONLY AWAY FROM WETLANDS.

APPLICANT
THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10-15C
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10A

PHASE 6 MODIFICATION PLAN

"THE RESIDENCES AT LEBARON HILLS"

LAKEVILLE MASSACHUSETTS



165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508)-946-9231
FAX: (508)-947-8873
www.outback-eng.com

DATE: APRIL 12, 2022
DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
SCALE: 1"=30' SHEET 3 OF 3

0' 30' 60' 90'
OE-1865E

4a iv



Schematic Left Side Elevation

Scale: 1/8" = 1' - 0"



Schematic Right Side Elevation

Scale: 1/8" = 1' - 0"



Schematic Rear Elevation

Scale: 1/8" = 1' - 0"



Schematic Front Elevation

Scale: 1/8" = 1' - 0"



Schematic Typical Floor Plan

Scale: 1/8" = 1' - 0"



Schematic First Floor Plan

Scale: 1/8" = 1' - 0"

Legend

- 6 - 1 BR 1 Bath Units
- 6 - 1 BR 1 Bath Plus Den Units
- 20 - 2 BR 2 Bath Units
- 4 - 3 BR 2 Bath Units

36 Total Units
 9 Units per Floor
 13,646 SF/Floor (Including Balconies)

JOANNA HILLS, LLC.

JOANNA HILLS - 10 Units, Building 200 AVON, Massachusetts

4a V

BKA ARCHITECTS

Boston - Brockton
142 Crescent Street
Brockton, MA 02302
508.583.5603
bkaarchitects.com

CONSULTANT



FRONT ELEVATION



REAR ELEVATION

OWNER:

JOANNA HILLS, LLC.
South Easton, MA
508-230-2300 Voice
508- 230-2301 Fax
Contact:
Muhammad M. Itani

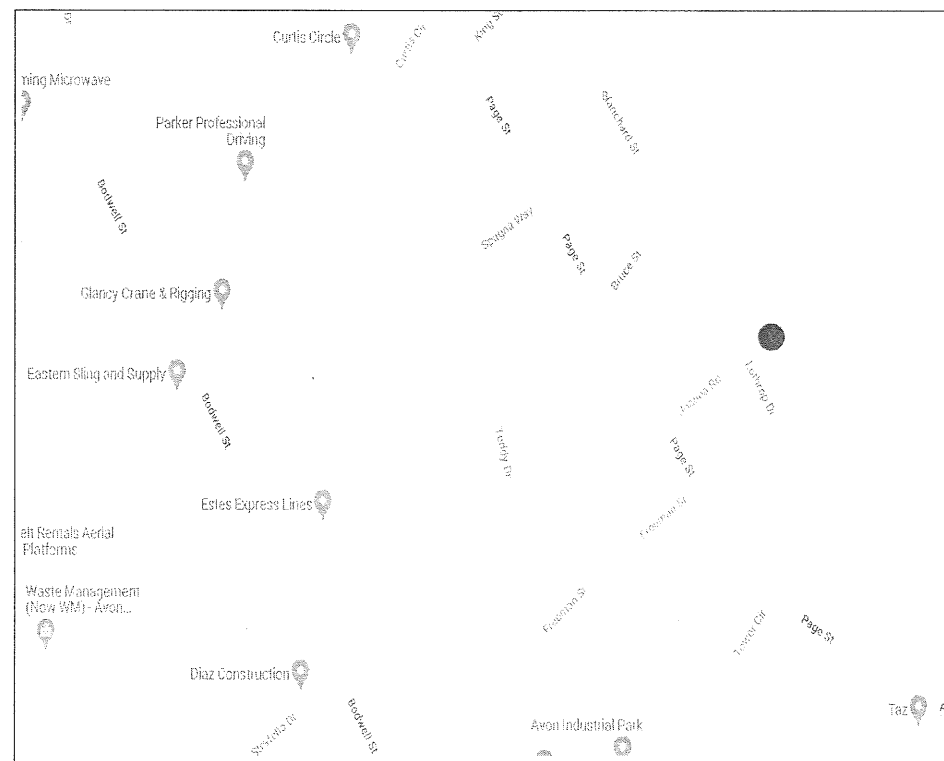
PROJECT DIRECTORY:

Architects: BKA Architects, Inc.
142 Crescent Street
Brockton, MA 02302
508.583.5603 (311) Voice
508.584.2914 Fax
Contact:
Sara Connolly
Associate

ABBREVIATIONS:

ACP - ACOUSTICAL CEILING PANEL	M.E.P. - MECHANICAL, ELECTRICAL, PLUMBING
ABV - ABOVE	MAX - MAXIMUM
BOD - BOARD	MIN - MINIMUM
CH - CHAPTER	M.S.B.C. - MASS. STATE BLDG. CODE
CLG - CEILING	N.I.C. - NOT IN CONTRACT
CONC. - CONCRETE	O.A.E. - OR APPROVED EQUAL
CONT. - CONTINUOUS	O.C. - ON CENTER
CPT. - CARPET	O.F.I. - OWNER FURNISHED AND INSTALLED
DIB - DESIGN BUILD	O.H. - OPPOSITE HAND
DWGS. - DRAWINGS	R.C.P. - REFLECTED CEILING PLAN
EXIST - EXISTING	SIM - SIMILAR
F.R. - FIRE-RATED	SUB-C. - SUB-CONTRACTOR
F.P. - FIRE PROTECTION	T.M.E. - TO MATCH EXISTING
G.C. - GENERAL CONTRACTOR	T.T.D. - TOILET TISSUE DISPENSER
G.W.B. - GYPSUM WALL BOARD	TP - TYPICAL
HC - HANDICAPPED	U.N.O. - UNLESS NOTED OTHERWISE
INSUL - INSULATION	W/J - WITH
I.S.O. - INFORMATION SYSTEMS OFFICER	

LOCUS PLAN:



LIST OF DRAWINGS:

- Architectural:
G1.1 - Title Sheet & General Notes
G1.2 - Code Review Summary
G1.3 - Code Review Summary
A1.1 - First Floor Plan, Wall Types and Notes
A1.2 - Second Floor Plan
A2.1 - Roof Plan and Details
A3.1 - Exterior Elevations
A4.1 - Building Section
A5.1 - Wall Sections
A5.2 - Wall Section
A6.1 - Unit C - Floor Plans
A6.2 - Unit C - Floor Plans
A6.3 - Unit C - Floor Plans (Affordable)
A6.4 - Unit C - Reflected Ceiling Plan
A6.5 - Unit C - Reflected Ceiling Plan
A7.1 - Stair Plans & Section
A8.1 - Details
A8.2 - Schedules, Wall Section and Plan Details
S1.1 - Foundation Plan

GENERAL DESIGN-BUILD (D/B) NOTES:

- The G.C. shall field-verify all dimensions & conditions prior to the work and shall notify the architect regarding any discrepancies.
- The G.C., and D/B Subcontractors shall be responsible for the following:
 - Provide complete design/build (D/B) structural, plumbing, hvac, fire protection, elec. design, drawings with calculations & loads which conform to all state and local codes to be stamped and certified by a registered p.e. as required by the local building & fire depts. This includes, but is not limited to, any energy conservation data as per chapter 13 of the Massachusetts State Building Code, 9th edition (MSBC).
 - All stamped and certified design/build drawings completed by G.C.'S Sub-C. Must be submitted to Joanna Hills, LLC and BKA Architects for review prior to any construction start. The G.C. must receive written permission from Joanna Hills, LLC before beginning any work.
 - Seal all thru-wall penetrations with 3M Barrier Caulk and sealant on USG Safing.
- D/B Sub-contractors shall conform to state and local code requirements as they relate to their disciplines:
 - D/B Structural Engineer shall be responsible for, but not limited to, conforming to the Massachusetts State Building Code (MSBC) for all structural requirements.
 - D/B Plumbing Sub-contractor shall be responsible for, but not limited to, conforming to the regulations found in the Board of State Examiners of Plumbing and Gas Fitters found in 248 CMR for all plumbing work.
 - D/B Mechanical Sub-contractor shall be responsible for, but not limited to, conforming to the 2015 International Mechanical Code (2015 IMC) for all mechanical work.
 - D/B Electrical Sub-contractor shall be responsible for, but not limited to, conforming to the provisions of 527 CMR: Chapter 12: Massachusetts Electrical Code (Amendments) for all electrical work.
- The G.C. shall be responsible for daily removal and legal disposal of all debris.
- The G.C. and D/B Sub-Contractors shall be responsible for all fees, backcharges and permits as required by the local departments, except as noted otherwise in Owner/G.C. contract.
- Drawings are not to be scaled. All work, lines and levels shall be laid out by dimensions. Any deviations shall be brought to the attention of the Architect immediately. All deviations shall be corrected by the G/C before he/she begins his/her portion of the work.
- Install a continuous sealant bead on backer-rod at all junctures of dissimilar materials -e.g. metal to cmu, steel to aluminum- and all new material joints as required by the manufacturer's specifications and recommendations, industry standards and good practice.
- The G.C. shall submit all shop drawings, samples, catalog cuts, etc. to the Architect for selection, review or approval prior to fabrication or installation of the work. The G.C. shall stamp and sign the information to be submitted for the Architect's review acknowledging that they have reviewed the submitted information for conformance with the architectural drawings and D/B engineering drawings.
- Manufacturers are responsible for providing documentation to the Architect as part of their submittal which indicates compliance with relevant code sections including, but not limited to, the information indicated on T1.2 and T1.3. It will be the responsibility of the G.C. to ensure that the information are included prior to forwarding the submission to the Architect for review.
- Each D/B Sub-Contractor shall be responsible for providing any and all fire stopping and/or fire blocking required by penetrations of their work through partitions, floors, cigs, roofs, etc.

Structural Notes:

- D/B Structural Sub-Contractor shall conform to all state and local codes for all work, as indicated above.

Plumbing Notes:

- D/B Plumbing Sub-Contractor shall conform to all state codes, local codes, Massachusetts State Fuel Gas & Plumbing Code (CMR 248) for all work, as indicated above.
- D/B Plumbing Sub-Contractor shall conform to 2015 IECC as Amended.

Fire Protection Notes:

- D/B Sprinkler Sub-Contractor shall conform to NFPA 13, MSBC Ch. 9 and the local fire department requirements and shall coordinate the design, layout & installation with the Owner's I.S.O., as indicated above. Also, submit narrative at time of permitting.
- D/B Sprinkler Sub-Contractor shall be responsible for design, layout, installation and calculations and coordination with the local fire department prior to installation and submission of stamped and signed drawings as well as water flow & pressure testing to the local fire department as part of the permit set.
- D/B F.P. Sub-Contractor shall conform to 2015 IECC as amended, as indicated above.

HVAC Notes:

- The D/B HVAC Sub-Contractor shall be responsible for the HVAC Design, layout and installation to suit the work. He/She shall coordinate size, volume, duct runs, fire dampers, terminations, and hvac unit locations w/ the G.C. coordinate any special HVAC devices or equipment requirements with the Owner's representative prior to work.
- The D/B HVAC Sub-Contractor shall conform to the MSBC Chapter 13 and Appendix J, as indicated above, and provide the local building dept. with all required materials, narratives, etc.
- D/B HVAC Sub-Contractor shall conform to 2015 IECC as amended.

Electrical Notes:

- The D/B Electrical Sub-Contractor shall be responsible for the electrical design and layout and installation to suit the work. He shall coordinate power wiring and cabling, lighting, devices, equipment, runs, terminations, circuits and panel location w/ the G.C. and the local utility co. coordinate any special electrical devices or equipment requirements with the Owner's Representative prior to work.
- The D/B Electrical Sub-Contractor shall conform to 2015 IECC as amended, as indicated above.

Miscellaneous:

- D/B G.C. to coordinate the Architectural Dwgs. w/ the D/B Structural, Mechanical, Plumbing, Fire Protection & Electrical dwgs. for verification of all project requirements.

Civil/Site Notes:

- The G.C. shall be responsible for coordinating all site work with stamped and signed drawings by the Owner's Registered Civil Engineer as required by all applicable local and state departments.
- Refer to engineered site plan for continuation of all concrete walkways, site improvements, HC curb cuts, parking layout and striping, including handicap spaces and HC signage, surface & subsurface utilities, landscaping, grading and lighting.
- Conform to MSBC, AAB and ADAAG for handicapped accessibility.

SEAL



ISSUED

2/28/22 ISSUED FOR PERMIT

REVISIONS

OWNER/CLIENT

JOANNA HILLS LLC

PROJECT

Joanna Hills

BUILDING 200

AVON, MA 02322

DRAWING TITLE

TITLE SHEET AND GENERAL NOTES

DRAWING INFORMATION

Job Number: 221155

Checked By: DSS

Drawn By: SLC

DRAWING NUMBER

G

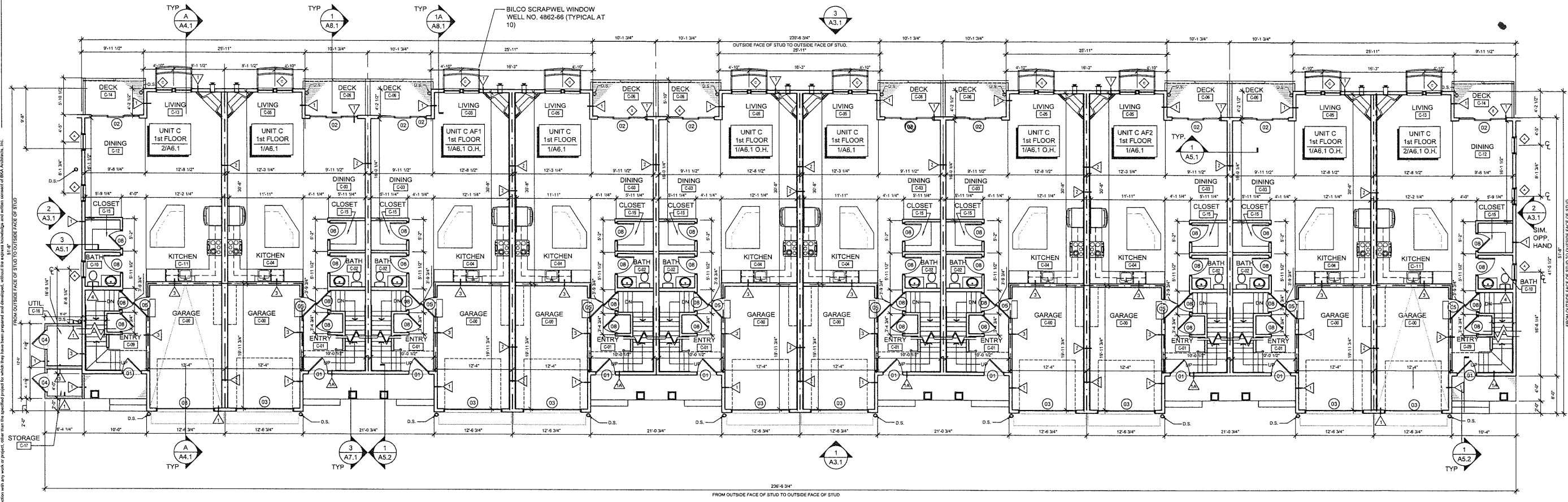
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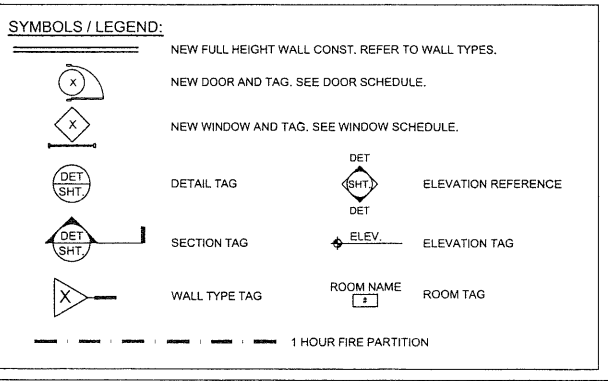
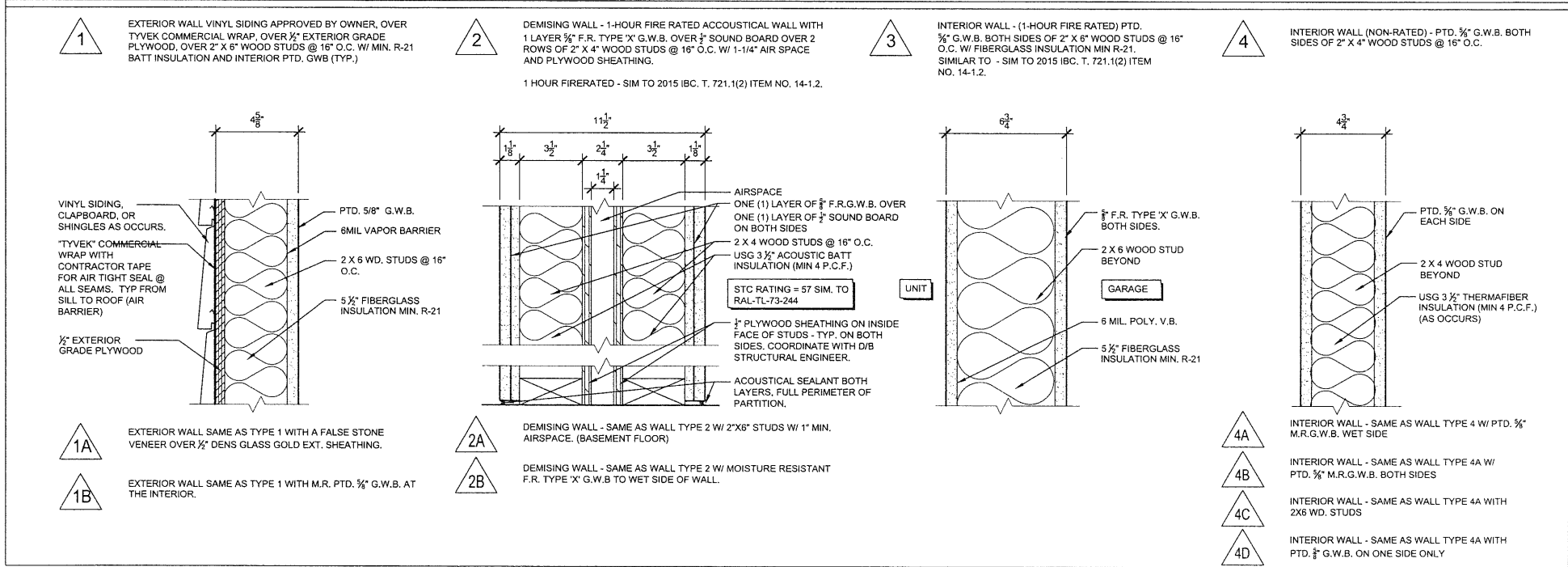
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1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

WALL TYPES



FLOOR PLAN GENERAL NOTES:

- 1.) TOP OF FIRST FINISH FLOOR ELEVATION TO BE 319'-0", COORDINATED WITH ACTUAL SITE DATUM ON ENGINEERED CIVIL & SITE DRAWINGS.
- 2.) ALL INTERIOR DIMENSIONS ARE FROM FACE OF G.W.B. TO FACE OF G.W.B. UNLESS NOTED OTHERWISE. EXTERIOR DIMENSIONS ARE FROM FACE OF CONCRETE TO FACE OF CONCRETE. REFER TO GENERAL NOTE #6 ON AT.1.1 & TO ENLARGED PLANS FOR FURTHER DIMENSIONING INFORMATION.
- 3.) REFER TO D/B STRUCTURAL DRAWINGS FOR ALL NOTES, INFORMATION AND DETAILS REGARDING FOOTINGS, FOUNDATIONS, SLABS, ANCHORING, SUPERSTRUCTURE, FRAMING, CONNECTIONS, ETC.
- 4.) COORDINATE ROOM LAYOUTS AND DIMENSIONS WITH OWNER'S MILLWORK DRAWINGS.
- 5.) WORK THESE ARCHITECTURAL DRAWINGS WITH D/B ENGINEERED STRUCTURAL, FIRE PROTECTION, PLUMBING, HVAC, AND ELECTRICAL/FIRE ALARM DRAWINGS FOR THE VERIFICATION OF ALL PROJECT REQUIREMENTS.
- 6.) REFER TO ENGINEERED CIVIL DWGS. FOR EXTERIOR WALKS, CONTINUATION OF PLAN, ETC.
- 7.) REFER TO UNIT PLAN GENERAL NOTES ON INDIVIDUAL UNIT PLANS. (REFER TO A6 DRAWINGS SERIES.)
- 8.) REFER TO GENERAL NOTES ON COVER SHEET (T1.1).
- 9.) REFER TO ROOF PLAN FOR ROOF WORK REQUIRED AT TERMINATION AT THE TOP OF RATED INTERIOR WALL.

BKA ARCHITECTS
Boston + Brockton
142 Crescent Street
Brockton, MA 02302
508.583.5603
bkaarchitects.com

CONSULTANT

SEAL



ISSUED
2/28/22 ISSUED FOR PERMIT

REVISIONS

OWNER/CLIENT
SAGE REALTY TRUST

PROJECT
Joanna Hills

BUILDING 200
AVON, MA 02322

DRAWING TITLE
FIRST FLOOR PLAN

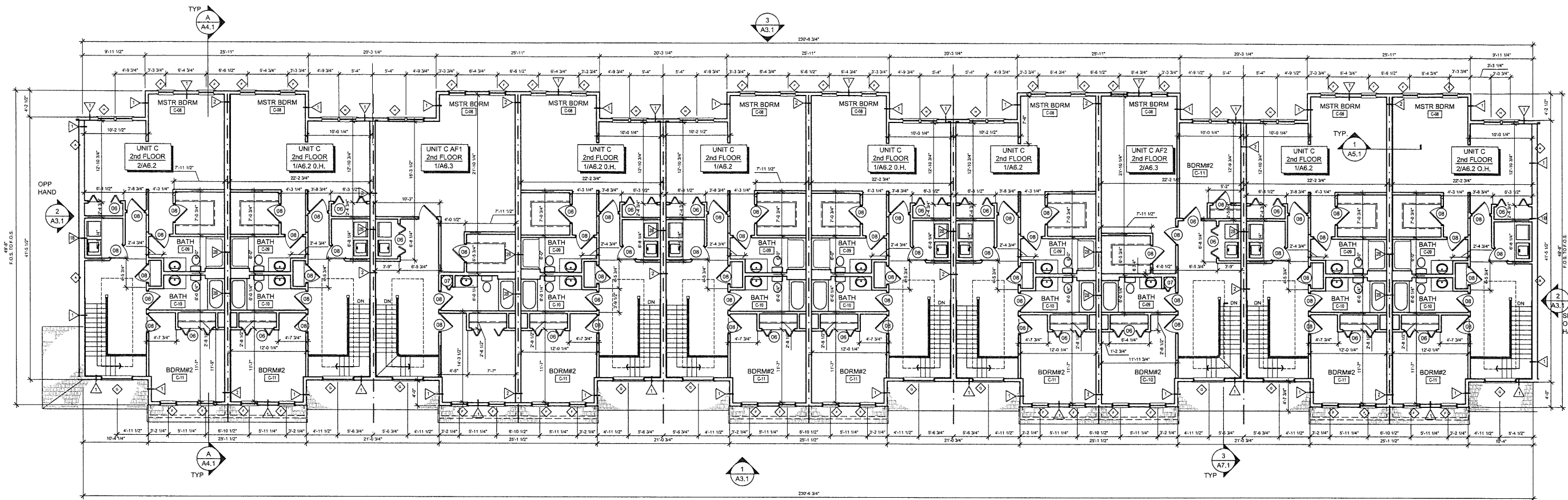
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Drawn By: SLR
DRAWING NUMBER

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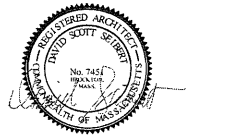
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2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

CONSULTANT

SEAL



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2/28/22 ISSUED FOR PERMIT

REVISIONS

OWNER/CLIENT
SAGE REALTY TRUST

PROJECT
Joanna Hills

BUILDING 200
AVON, MA 02322

DRAWING TITLE
SECOND FLOOR PLAN

DRAWING INFORMATION
Job Number: 221155
Checked By: DSS
Drawn By: SLC

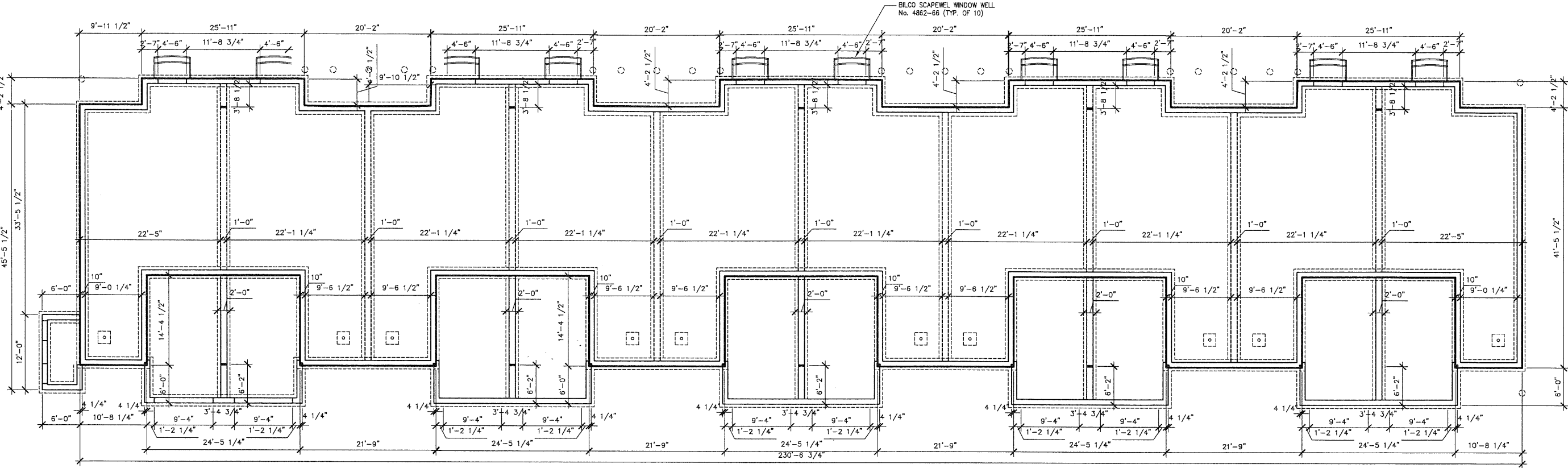
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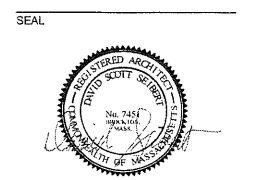
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1 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

ARCHITECT
BKA
ARCHITECTS
Boston + Brockton
142 Crescent Street
Brockton, MA 02302
508.583.5603
bkaarchitects.com

CONSULTANT



ISSUED
1/28/22 ISSUED FOR PERMIT

REVISIONS

OWNER/CLIENT
JOANNA HILLS LLC

PROJECT
JOANNA HILLS

BUILDING 200
AVON, MA

DRAWING TITLE
FOUNDATION PLAN

DRAWING INFORMATION
Job Number: 218315
Checked By: DSS
Drawn By: WAM

DRAWING NUMBER

S
1.1

46i



Town of Lakeville
Lakeville Town Office Building
346 Bedford Street
Lakeville, Massachusetts 02347

OFFICE OF
ZONING BOARD OF APPEALS
Secretary: Cathy Murray

TO: Board of Health
Building Department
Conservation Commission
Planning Board ✓
Town Planner

FROM: Board of Appeals

DATE: August 22, 2023

RE: Attached Petition for Hearing
Scott – 9 Rush Pond Road

Attached please find a copy of one (1) Petition for Hearing, which has been submitted to the Board of Appeals. The hearing for this petition will be held on September 15, 2022.

Please review and forward any concerns your Board may have regarding this petition to the Board of Appeals, if possible, no later than Monday, September 12, 2022.

Thank you.

4bii

Petition to be filed with Town Clerk

TOWN OF LAKEVILLE MASSACHUSETTS

ZONING BOARD OF APPEALS PETITION FOR HEARING

EXHIBIT "A" RECEIVE AUG 17 2022 BOARD OF APPEALS

Name of Petitioner: RICHARD D. SCOTT

Mailing Address: 9 RUSH POND ROAD LAKEVILLE MA 02347

Name of Property Owner: RICHARD D. SCOTT

Location of Property: 9 RUSH POND ROAD LAKEVILLE MA 02347

Property is located in a X residential business industrial (zone)

Registry of Deeds: Book No. 4469 Page No. 216

Map Block Lot PLAN 300N 17, page 675 PARCELID 060-007-023

Petitioner is: owner tenant licensee prospective purchaser

Nature of Relief Sought: X Special Permit under Section (s) 6.3.2 7.4.6 of the Zoning Bylaws

* Variance from Section (s) 5.1 of the Zoning Bylaws.

Appeal from Decision of the Building Inspector/Zoning Enforcement Officer

Date of Denial

Brief to the Board: (See instructions on reverse side - use additional paper if necessary.)

TO INSTALL A 12x18 FOOT SHED ON A pre-existing NON-conforming LOT APPROX 10 FEET INTO THE FRONT SET BACK.

I HEREBY REQUEST A HEARING BEFORE THE ZONING BOARD OF APPEALS WITH REFERENCE TO THE ABOVE PETITION OR APPEAL. ALL OF THE INFORMATION ON THIS PETITION, TO THE BEST OF MY KNOWLEDGE, IS COMPLETE AND ACCURATE AND CONFORMS TO THE REQUIREMENTS ON THE BACK OF THIS PETITION FORM.

Petitioner: RICHARD D SCOTT Date: 8-17-22

Signed: Richard D Scott x Telephone: 508-947-6192

Owner Signature: Owner Telephone: 774-766-0762

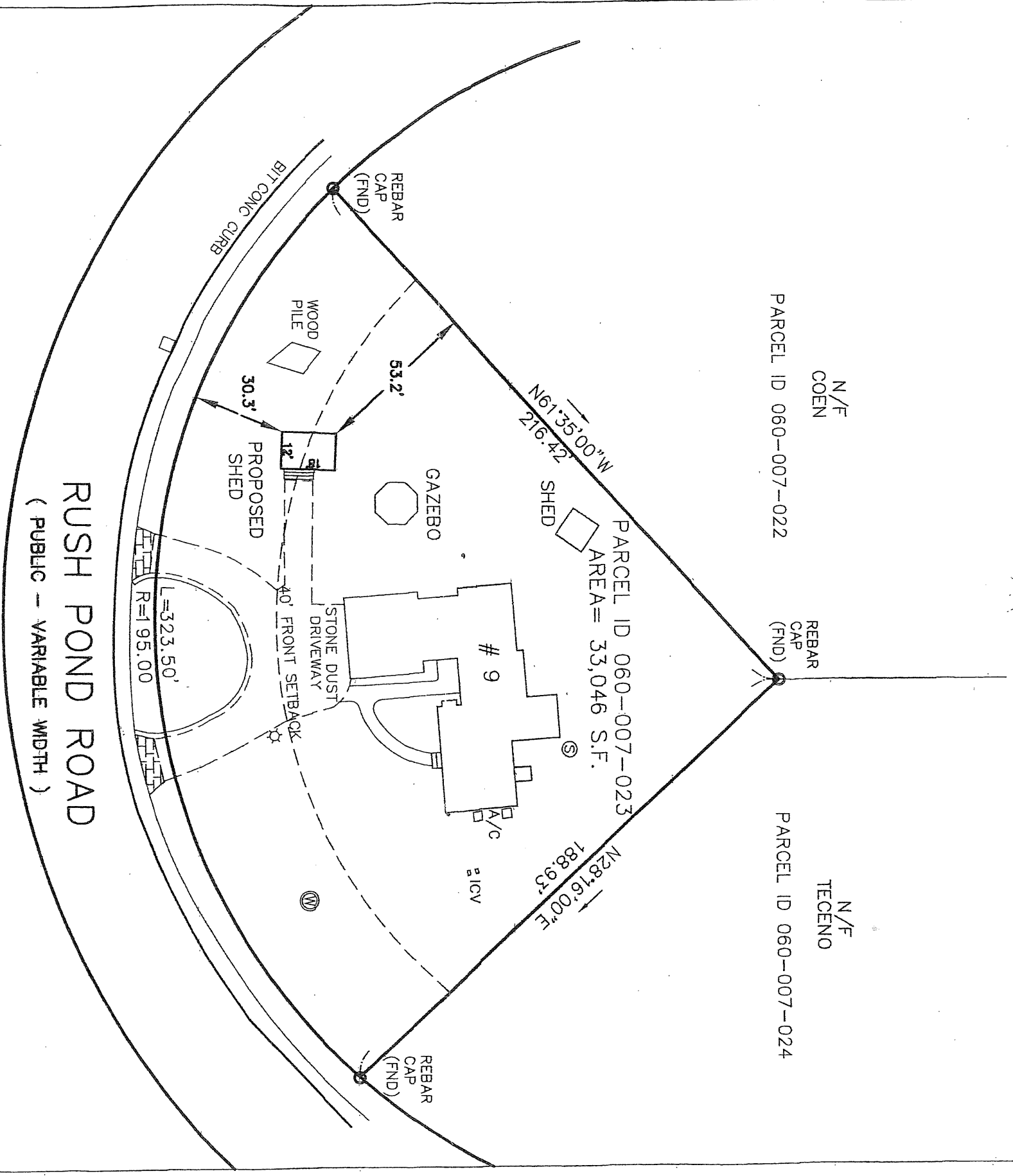
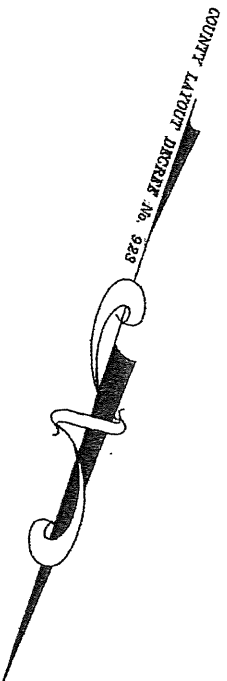
(If not petitioner) (REFERENCE THE REVERSE SIDE OF THIS APPLICATION FOR FURTHER INSTRUCTIONS IN FILING YOUR PETITION.)

WILL YOU HAVE A REPRESENTATIVE OTHER THAN YOURSELF?

Yes X No (Name and Title)

SLED PERMIT PLAN
RICHARD & JANET SCOTT
9 RUSH POND RD.
LAKEVILLE, MA.

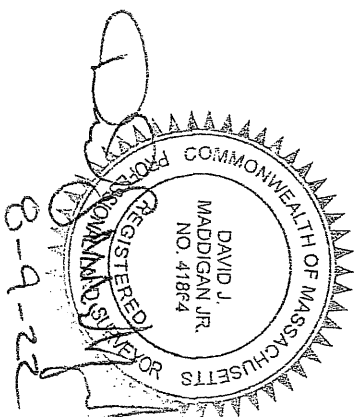
SCALE: 1"=40'
AUGUST 5, 2022



ZONING: RESIDENTIAL

FRONT: 40'
REAR: 20'
SIDE: 20"

DEED REFERENCE:
BOOK 4469 PAGE 216
PLAN REFERENCE:
PLAN BOOK 17 PG 675



THE PURPOSE OF THIS PLAN IS TO SHOW
THE PROPOSED SHED AND TO SEEK
FRONT YARD SETBACK ZONING RELIEF.

AN ACTUAL ON THE GROUND SURVEY & BUILDING
LOCATIONS WAS PERFORMED BY MADDIGAN LAND
SURVEYING ON AUGUST 2, 2022.

PREPARED BY:
MADDIGAN LAND SURVEYING, LLC
DAVID J. MADDIGAN JR. P.L.S.
88 EAST GROVE STREET
MIDDLEBOROUGH, MA.
774-213-5196