

TOWN OF LAKEVILLE MEETING POSTING & AGENDA

Town Clerk's Time Stamp
received & posted:
K. DeGuzia
LAKEVILLE TOWN CLERK
RCUD 2023 JAN 10 PM 12:10
48-hr notice effective
when time stamped

Notice of every meeting of a local public body must be filed and time-stamped with the Town Clerk's Office at least 48 hours prior to such meeting (excluding Saturdays, Sundays and legal holidays) and posted thereafter in accordance with the provisions of the Open Meeting Law, MGL 30A §18-22 (Ch. 28-2009). Such notice shall contain a listing of topics the Chair reasonably anticipates will be discussed at the meeting.

Name of Board or Committee:	Zoning Board of Appeals
Date & Time of Meeting:	Thursday, January 19, 2023 at 7:00 p.m.
Location of Meeting:	Lakeville Public Library 4 Precinct Street, Lakeville, MA 02347
Clerk/Board Member posting notice:	Cathy Murray

Cancelled/Postponed to: _____ (circle one)

Clerk/Board Member Cancelling/Postponing: _____

A G E N D A

1. **North Bedford Crossing LLC – 109 Bedford Street, continued** – request for a **Comprehensive Permit** to construct twelve (12) single family residential dwellings of which three (3) units or twenty-five (25%) will be affordable to households earning up to eighty (80%) of the Area Median Income.
2. **The Residences at LeBaron Hills, LLC, continued** – request to modify their **Comprehensive Permit** and add three ten-unit buildings and one five-unit building in Phase 5.
3. **Approve Meeting Minutes for November 17, 2022 and December 15, 2023.**
4. **Correspondence**
5. **Next meeting . . . Thursday, February 16, 2023 at the Lakeville Public Library.**
6. **Adjourn**

*Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the **Zoning Board of Appeals** arise after the posting of this agenda, they may be addressed at this meeting*

Town of Lakeville
ZONING BOARD OF APPEALS
346 Bedford Street
Lakeville, MA 02347



The LAKEVILLE ZONING BOARD OF APPEALS, acting in accordance with MASS GENERAL LAWS CHAPTER 40B, as amended, will conduct a public hearing on Thursday, October 20, 2022, at 7:00 P.M. in the LAKEVILLE PUBLIC LIBRARY, 4 PRECINCT STREET, upon the petition of **North Bedford Crossing LLC. A Comprehensive Permit** pursuant to **M.G.L., Chapter 40B** is requested to construct twenty (20) three-bedroom homeownership units in ten (10) duplex style buildings. Five (5) units or twenty-five (25%) will be affordable to households earning up to eighty (80%) of the Area Median Income, in accordance with applicable state regulations and guidelines. All of the units will be sold as condominium units. The project will be located at **109 Bedford Street.**

The application and assorted documents can be viewed in the Planning Department by appointment, or on the Town of Lakeville Zoning Board of Appeals web page.

John Olivieri, Jr., Chairman

October 6, 2022 & October 13, 2022

Law Office of
Michael P. O'Shaughnessy
43 East Grove Street, Suite 5
Middleboro, MA 02346
Phone: (508) 947-9170
E-mail: mike@mpoesq.com

RECEIVED
NOV 29 2022
BOARD OF APPEALS

November 29, 2022

Town of Lakeville
Zoning Board of Appeals
Attention: Mr. John Olivieri, Jr., Chairman
346 Bedford Street
Lakeville, MA 02347

Re: Comprehensive Permit Application
North Bedford Crossing ("Project")
109 Bedford Street, Lakeville, MA
Board of Assessors Map 025 Block 003 Lot 021

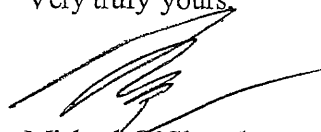
Dear Mr. Olivieri:

This office represents North Bedford Crossing, LLC ("LLC"). As discussed at the October 20, 2022 meeting with the Zoning Board of Appeals, the LLC has revised the project and reduced the number of proposed units from twenty (20) to twelve (12). The revised project will be twelve (12) three-bedroom, single family residences with attached garages. Three (3) of the units (or twenty-five (25%) percent) will be affordable to households earning up to eighty percent (80%) of the Area Median Income, in accordance with applicable regulations and guidelines. Nine (9) units will be sold as market rate units. Zenith Consulting Engineers, LLC has submitted revised site plans and revised drainage calculations. Elevations and floor plans of the proposed houses have also been submitted.

Accompanying this letter, is an updated request for waivers and an updated site tabulation sheet.

Should you have any questions or comments, please do not hesitate to contact me.

Very truly yours,



Michael O'Shaughnessy

**North Bedford Crossing – List of Requested Waivers
November 29, 2022**

TOWN OF LAKEVILLE ZONING BYLAWS 1994 Revision with Amendments Through May 16, 2022)			
BY-LAW	SUBJECT	REQUIREMENT	WAIVER REQUEST
<u>Section 2.0 Definitions</u>			
2.0	Frontage	That portion of a lot which is bounded by the street line or way, the sidelines and the minimum building setback line. The frontage must be suitable for development of an access route or driveway to the building site.	Waive minimum lot width requirement at building setback
<u>Section 5.0 Intensity Regulations</u>			
5.1	Residential Dimensional Requirements	Min Lot Area 70,000 SF Frontage 175 feet Front Yard Setback 40 feet Side Yard in feet - 20 feet Rear Yard setback- 20 feet Max. Percentage of Land Covered by structures, parking and paved areas – 25%	Waive minimum lot size, frontage and side yard setbacks and allow the following: <u>Lot 1</u> Lot Area – 13,079 square feet Frontage – 142.44 +/- Front Yard setback – 39 feet Side Yard setback – 12 feet Rear Yard setback – 19 feet <u>Lot 2</u> Lot Area – 10,653 square feet Frontage – 84.59 +/- Side Yard setback – 12 feet Rear Yard setback – 19 feet Lot Coverage – 30% <u>Lot 3</u> Lot Area – 11,586 square feet Frontage – 102.39 +/- Side Yard setback – 10 feet <u>Lot 4</u> Lot Area – 9,837 square feet Frontage – 63.89 +/- Side Yard setback – 10 feet Lot Coverage – 33%

			<p><u>Lot 5</u> Lot Area – 10, 024 square feet Frontage – 64.83 +/- Side Yard setback – 10 feet Lot Coverage – 27%</p> <p><u>Lot 6</u> Lot Area – 9,864 square feet Frontage – 64.11 +/- Side Yard setback – 10 feet</p> <p><u>Lot 7</u> Lot Area – 10,047 square feet Frontage – 65.01 +/- Side Yard setback – 10 feet</p> <p><u>Lot 8</u> Lot Area – 12,035 square feet Frontage – 156.60 +/- Front Yard setback – 12 feet Side Yard setback – 10 feet</p> <p><u>Lot 9</u> Lot Area – 9,978 square feet Frontage – 128.41 +/- Front Yard setback – 12 feet Lot Coverage – 30%</p> <p><u>Lot 10</u> Lot Area – 9,446 square feet Frontage – 27.81 +/- Side Yard setback – 10 feet Rear Yard setback – 18 feet Lot Coverage – 34%</p> <p><u>Lot 11</u> Lot Area – 11,620 square feet Frontage – 51.00 +/- Lot Coverage - 32%</p>
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			<p><u>Lot 12</u> Lot Area – 22,496 square feet Front Yard setback – 30 feet Side Yard setback – 11 feet</p>
5.1.2	Front Yard Circle	No dwelling, building or structure having permitted use in any district shall be erected on a lot unless the lot has an area within its bounds which encompasses a front yard circle with a minimum diameter of 160 feet and within which the frontage, or frontage at the required set back must pass.	Waive front yard circle requirement for all lots
5.2.2	Footnotes to Intensity Requirements	Any portion of a lot which is less than fifty (50) feet in width or depth when measured from any point on a property sideline to any other point on an opposite sideline shall not be included in the determination of the required minimum area and/or frontage	Waive in its entirety for all lots
SECTION 6.7 SITE PLAN REVIEW			
6.7.3	Site Plan Review	Applicants for a building permit for new construction of or for modification or addition to any residential structure which will disturb more than 43,560 square feet of ground shall submit three (3) copies of a site plan as described herein to the Town Clerk for Planning Board approval. Failure of the Planning Board to act within twenty-one (21) days of receipt of a site plan shall be deemed lack of opposition thereto.	Waive in its entirety. Under G.L. c. 40B, the Zoning Board of Appeals acts as the Planning Board. Additionally, the Zoning Board of Appeals will undertake site plan review as the issuing authority for a comprehensive permit.

TOWN OF LAKEVILLE ZONING BYLAWS RULES AND REGULATIONS OF THE PLANNING BOARD

revised through January 26, 2016

SUBJECT			REQUIREMENT			WAIVER REQUEST		
Section IV Design and Construction Standards								
A.5	General – Grade Stakes	The context of work required is as shown upon approved plans, and is in compliance with the Standard Cross Section Plans. Stakes shall be set which will indicate the exact amount of cut or fill.	Waive grade stake requirements					
A.6	General – Completion of Construction	As each construction operation is completed, it shall be approved by the proper Town authority prior to starting work on the succeeding operation.	Waive – inspection of the work to be coordinated with the planning department.					
B.1.c	Access to Adjacent Properties	Provision satisfactory to the Planning Board shall be made for the proper projection of streets or for access to adjoining property, whether or not subdivided	Waive in its entirety.					
B.1.d	Reserve Strips	Reserve strips prohibiting access to streets or adjoining property shall not be permitted, except where, in the opinion of the Planning Board, such strips shall be in the public interest.	Waive in its entirety.					
B.2.a	Alignment	Street jogs with centerline offsets of less than one hundred and fifty feet (150') shall be avoided	Waive – Allow a street jog of greater than 150 feet					
B.2.b	Alignment	The minimum horizontal centerline radii of streets shall be as follows: Minor Streets - One Hundred and Fifty Feet (150')	Waive – Allow the minimum horizontal centerline radii to be less than 150 feet					
B.3.a	Width	The minimum width of any street right-of-way, including dead-end streets, shall be fifty feet (50').	Waive. Allow Street right of way to be 30 feet					
B.4.c	Grade	Where changes in grade exceed one percent (1%), vertical curves, as required by the Board will be provided; and where a grade is five percent (5%) or greater within one hundred and fifty feet (150') of the intersection of street right-of-way lines, there shall be provided in a residential subdivision a leveling area of at least seventy-five feet (75') with a maximum grade of three percent (3%), and in all other subdivisions, a leveling area of at least two hundred feet (200'), with a maximum grade of two percent (2%); and at all other intersections there shall be a leveling area of at least fifty feet (50').	Waive leveling area requirement at intersection of roadway and Bedford Street					
B.5.a	Dead-End-Streets	For the purposes of this section, any proposed street which intersects solely with a dead-end street shall be deemed to be an extension of the dead-end street. Dead-end streets and their extensions, if any, shall not be longer than seven hundred and fifty feet (750').	Waive 750-foot dead end roadway length limitation and allow roadway to be 912.30 feet in length					

B.5.b	Dead-End-Streets	Dead-end streets shall be provided at the closed end with a turn-around having an outside roadway diameter of at least one hundred twenty (120') feet and a property line diameter of at least one hundred forty (140') feet unless otherwise specified by the Planning Board. If the dead-end street is not intended to connect with another street at some future point in time, the Planning Board may, at its option, require a minimum outside roadway diameter of one hundred sixty (160') feet. A property line diameter of one hundred eighty (180') feet and the placement of a circular landscape island with minimum radius of forty (40') feet at the center of the turn-around	Waive requirement of a cul de sac at the end of a dead end way and allow hammer head style turnaround around between lot 8 and lot 9.
B.7.a	Curbs and Berms	Bituminous concrete berms and curbs of six inches (6") in height shall be provided along each side of the roadway where there are sidewalks. All other roadways without sidewalks except where granite curbs shall be provided, shall have eighteen inch (18") flat berm, one (1) layer two and one-half inch (2 and ½") Bituminous concrete: at intersections along the roadway the distance of the arcs of the curves plus a straight section at each end of eight feet (8'). Granite curb shall be type SB sloped edging. (Subsection M9.04) along each edge of a roadway where the grade exceeds five percent (5%). on the inner side of all curves with a radius less than two hundred and fifty feet (250'). The elevation of the curb shall be seven inches (7") higher than the gutter line.	Waive Allow cape cod style berms as per the curb detail as shown on the project plans Waive 7" minimum elevation at gutter line
B.7.c	Curbs and Berms	The profile of the berm is subject to Planning Board approval.	Waive in its entirety. Under G.L. c. 40B, the Zoning Board of Appeals acts as the Planning Board.
B.8.a	Sidewalks	Sidewalks shall be constructed within the subdivision.	Waive sidewalk requirement
B.8.b	Sidewalks	The sidewalks shall extend the full length of the street and shall be of the following widths: Along all Streets Five feet (5') On one side Except around a cul-de-sac a sidewalk need be provided on one (1) side only, the exterior side.	Waive in its entirety
B.8.c	Sidewalks	Bituminous concrete sidewalks shall have a minimum thickness of two 1.1/2 courses each after compression.	Waive in its entirety
C.2	Utilities -Installation	Water Facilities-Installation b) Water Supply. Potable water of quality and quantity	

		<p>acceptable to the Board of Health for domestic use, and fire protection water with a minimum open hydrant flow of 500 gallons per minute shall be provided in each subdivision, at minimum residual pressure of 20 pounds per square inch. Water lines shall be at least 6-inch diameter cement-lined cast iron, 150-pound class or equivalent, and shall be furnished with adequate valves and appurtenances to the specifications of the Town. Whenever possible, water pipes shall be extended and connected to form a loop, if need be using easements across lots. Where no municipal water supply is available within a reasonable distance of the subdivision, the Board will not approve a subdivision plan unless adequate groundwater supply is available at the site, in the opinion of the Planning Board acting with the advice of the Board of Health.</p>	<p>Waive – minimum residual pressure requirements</p>
C.3		<p>On-site sewage disposal facilities shall be installed and constructed in conformity with the rules, regulations and requirements of the Board of Health. On-site septic tanks and leaching fields may be located in the front side or rear yard of the building(s) served, with the front yard preferred. Due consideration should be given to surface and sub-surface soil conditions, drainage and topography in the location of such on-site facilities, and in no instance can any portion of the sewage disposal facilities be located closer than twenty feet (20') to a property line.</p>	<p>Waive in its entirety and apply Title V requirements</p>
C.4		<p>Where adjacent property is not subdivided or where all the property of the applicant is not being subdivided at the same time, provision shall be made for the extension of the utility system by continuing the mains the full length of streets and to the exterior limits of the subdivision, at such grade and size which will, in the opinion of the Planning Board, permit their proper extension at a later date.</p>	<p>Waive requirement of extending utilities to exterior limits</p>

D.2		<p>Procedure. (May be modified by the Planning Board to suit the problems and needs of a particular subdivision.)</p> <p>d) In general, the design of pipes shall be such as to provide for a flow of water at speeds between two (2) and twelve (12) feet per second; the minimum grade shall be not less than 0.4 percent for pipes twelve inches (12") and less in diameter, and 0.25 percent as absolute minimum; the minimum pipe diameter shall be twelve inches (12"), except that ten-inch (10") pipe may be used to connect a single catch basin across the street; catch basins shall have a two-and-one-half-feet (2.5') sump below invert; and all drop manholes or inlets with a drop of six feet (6') or more shall be provided with a splash pad. Catch basins or inlets shall be spaced along both sides of a street at approximately 400 feet intervals, and located at allow points and corner roundings at street junctions.</p>	Allow sumps to be four(4) feet below invert
D.3		Final Approval. Where runoff detention features are required, a proposed development shall in no case receive final approval until the site has been inspected by the Planning Board or the Board's agent, to ensure that detention facilities have been installed as proposed in the Definitive Plan.	Waive in its entirety. Under G.L. c. 40B, the Zoning Board of Appeals acts as the Planning Board.
D.4		<p>Lot Drainage. Lots shall be prepared and graded in such a manner that development of one shall not cause detrimental drainage on another; if provision is necessary to carry drainage to or across a lot, an easement or drainage right-of-way of a minimum width of twenty feet (20') and proper side slope shall be provided. Storm drainage shall be designed in accord with the specifications of the Board. Where required by the Planning Board or the Board of Health, the applicant shall furnish evidence that adequate provision has been made for the proper drainage of surface and underground waters from any lot or lots. Storm water shall not discharge overland across lot lines. Drainage conveyances and easements shall be provided to convey storm water to the nearest permanent stream or municipal drainage system.</p>	Waive – Allow easement of less than 20 feet

D.5		<p>Construction. Drainage facilities shall be provided as indicated on the plan and in conformity with the requirements of Sections 200, 220, and 230 of the Standard Specifications.</p> <p>The standard depth of catch basins shall be two and one-half feet (2 and ½') below the invert of the outlet. Manholes shall be constructed to the required depth at each junction point and as shown on the plan. Pipe culvert and pipe drains shall be in conformity with the requirements of Section 230 for installation of pipes.</p> <p>All drain pipes except sub-drains shall be reinforced concrete pipe and shall be installed according to the size as shown on the plans. No backfilling of pipes shall be done until the installation has been inspected by the Planning Board's Agent. All drainage trenches shall be filled with clean gravel borrow in accordance with Section 150.</p>	<p>Waive -Allow four foot sump below invert</p> <p>Waive – allow pipe to be High-density polyethylene (HDPE)</p>
E	Open Space	<p>Before approval of a plan the Planning Board may also, in proper cases, require the plan to show a park or parks, suitably located for playground or recreation purposes or for providing light and air. The park or parks shall not be unreasonable in area in relation to the land being subdivided and to the prospective uses of land. The Planning Board may by appropriate endorsement on the plan, require that no building be erected upon such park or parks without its approval for a period of three (3) years. Pedestrian ways, hike ways, or bridle paths of not less than fifteen feet (15') in width may be requested where deemed desirable to provide circulation or access to schools, playgrounds, parks, shops, transportation, open spaces and/or community facilities. Each area reserved for such purpose shall be of suitable area, dimensions, topography and natural character for the purposes of a park and/or playground. The area or areas shall be so located as to serve adequately all parts of the subdivision as approved by the Planning Board. The Planning Board may require that the area or areas reserved shall be located and laid out so as to be used in conjunction with similar areas of adjoining subdivisions or of probable subdivisions. Unless otherwise specifically approved by the Planning Board, the total amount of area to be reserved for park and/or playground purposes shall be no less than five percent (5%) of the gross area of the subdivision with a minimum of one acre</p>	<p>Waive in its entirety</p>

		when ten or more lots. Any land so reserved shall be graded to dispose properly of surface water and shall be left in condition for the purpose intended, as required by the Planning Board.	
F.1	Easements	Where utilities cross lots or are centered on rear or side lot lines, easements shall be provided of a width of at least twenty feet (20').	Waive twenty (20) foot easement requirement and allow as shown on plans
F.4	Easements	General, access, drainage, or utility easements shall not be included in the lot area.	Waive in its entirety
H.2	Street Signs and Names	Street names shall be approved by the Planning Board to prevent duplication and to provide names in keeping with the character of the Town.	Waive – Street named to be approved by 911 coordinator
H.3	Street Signs and Names	From the time of rough grading until such time as each street is accepted by the Town as a public way, the sign posts at the intersection of such street with any other street shall have affixed thereto a sign designating such street as a private way.	Waive
I.1	Street Lights	Street lights shall be installed to conform to the type and style in general use in the Town of Lakeville unless otherwise specified by the Planning Board.	Waive street lights and allow driveway lanterns at each driveway
I.2	Street Lights	Street lights shall not be nearer than twenty-five feet (25') from the intersection of two (2) streets, measured from the intersection of the tangents of the intersecting street curb lines; and shall be placed in back of sidewalks wherever possible.	Waive in its entirety
I.3	Street Lights	Street lights shall be installed in accord with the procedure required by the Board of Selectmen and the applicable utility company.	Waive in its entirety
J.	Utility Poles	Utility poles, hydrants, and street shade trees shall not be nearer than twenty-five feet (25') from the intersection of two (2) streets, measured from the intersection of the tangents of the intersecting street curb lines; and shall be placed in back of sidewalks wherever possible.	Waive in its entirety
K.1	Trees	Where reasonable deciduous street trees shall be planted on each side of each street in a subdivision, except where the Definitive Plan showed trees to be retained which are healthy and adequate. Such trees shall be located outside of the right-of-way as shown in the Profile and Standard Cross Sections Schedules A and B, approximately at forty foot (40') intervals, and shall be at least twelve feet (12') in height, two inches (2") in caliper measured four feet (4') about the approved grade, and shall be planted each in at least one-half (1/2) cubic yard of topsoil unless otherwise required by the Tree Warden.	Waive in its entirety. Allow plantings as shown on plans

K.2	Trees	The developer shall plant other trees as needed to provide at least one (1) area of shade to each lot.	Waive in its entirety. Allow plantings as shown on plans
K.3	Trees	All deciduous street trees shall be clear of any branches from the approved grade level to a point seven feet (7') above ground level	Waive
K.5	Trees	No evergreen trees such as pine, fir, spruce or hemlock are to be planted on an easterly or southerly side of a road, street or way.	Waive in its entirety. Allow plantings as shown on plans
L	Protection of Natural Features	Due regard shall be shown for all natural features, such as large trees, wooded areas, water courses, scenic points, historic spots, and similar community assets, which, if preserved, will add attractiveness and value to the subdivision. Outside of street right-of-ways, no trees over a twenty-four inch (24") caliper measured at four feet (4') above the existing grade shall be removed or have the grade level surrounding the trunk altered by more than six inches (6") without approval of the Planning Board.	Waive in its entirety
M	Maintenance of Improvements	For the purpose of protecting the safety, convenience and welfare of the Town's inhabitants; for the provision of adequate access to all of the lots in a subdivision by ways that will be safe and convenient for travel; for reducing the danger to life and limb in the operation of motor vehicles; for securing safety in the case of fire, flood, panic and other emergencies; under the authority of Chapter 41, Section 81-M as amended, the applicant or his successor shall provide for the proper maintenance and repair of improvements under this Section of the Rules and Regulations during the construction and for the period of twenty-four (24) months after the completion of the construction of said improvements or until the Town votes to accept such improvements, whichever comes first. Such maintenance shall include snow removal beginning from the time of occupancy of an individual owner or tenant other than the developer.	Waive in its entirety.
N.1	Erosion and Sedimentation	These requirements may be waived. However, in a subdivision with excessive slope or a subdivision which abuts or includes a stream(s), wetlands or pond(s), or where major earth work is anticipated, an erosion and sedimentation analysis shall be presumed necessary unless a waiver is received. Approval of a subdivision plan may be denied until the existing average annual erosion and the expected average annual erosion during and after construction is determined. The developer may be required to submit an erosion and sediment control plan, if based on the	Waive erosion and sedimentation analysis as an erosion and control plans has been submitted

		analysis of erosion potential the Board determines that sedimentation will have an impact on nearby wetlands, streams, ponds, and other water bodies.	
N.2	Erosion and Sedimentation	<p>Procedure. (May be modified by the Planning Board to suit problems and needs of a particular subdivision.)</p> <p>a) Using the methods described in Guidelines for Soil and Water Conservation in Urbanizing Areas of Massachusetts, Appendix J, published by the Soil Conservation Service, the developer shall use the Universal Soil Loss Equation to estimate the present annual soil loss from the site, as well as the estimated annual soil loss from the site while under construction and after construction is completed.</p> <p>b) The developer shall submit as part of the Definitive Plan a soil erosion and sedimentation control plan, if the Board determines that erosion due to development activity will be excessive or significant to wetlands, streams, ponds, or other water bodies. This plan shall consist of a drawing certified by a registered civil engineer, identifying appropriate control measures and their location. Also, the drawing shall show all natural drainage ways and water bodies in and adjacent to the proposed subdivision. The drawing shall be at a scale of one inch (1") equals forty feet (40'), and show the existing and proposed topography at five-foot (5') contour intervals.</p> <p>c) If erosion and sedimentation control measures are required, they shall be adequate to retain all erosion within the subdivision and away from nearby water systems, both during and after construction. A timetable outlining anticipated construction activity and associated erosion and sedimentation control measures shall be submitted to the Board. All work shall be subject to periodic inspection by the Board or Board's agents.</p>	Waive in its entirety as an erosion and control plans has been submitted
SECTION V - ADMINISTRATION			
D.	Inspection Notices	The subdivider shall notify the Highway Surveyor and the Engineer designated by the Board at least 48 hours prior to the time at which each one of the required inspections should take place. The subdivider shall provide safe and convenient access to all parts of work for inspection by the Highway Surveyor and by the Board's engineer, members or agents. No work shall be approved that has been covered before the required inspection.	Waive in its entirety. Inspection of the project to be coordinated through the planning director or planning department

		<p>To assure compliance, the following procedure must be followed:</p> <ol style="list-style-type: none">1. The developer must notify the Highway Surveyor and the engineer designated by the Board in writing of the start of construction.2. The developer must notify the Highway Surveyor and the engineer designated by the Board when underground utilities and drainage are installed in order that inspection may be carried out before any backfilling is done.3. The subgrade must be approved by the Highway Surveyor and the engineer designated by the Board before the application of the gravel base course.4. The gravel base course must be approved by the Highway Surveyor and the engineer designated by the Board before the application of bituminous concrete (street or sidewalk).5. The developer must notify the Highway Surveyor and the engineer designated by the Board at the start of each application of bituminous concrete on the street and sidewalk and of placement of curbing.6. The developer must keep the Highway Surveyor and the engineer designated by the Board informed when materials and other items of work are ready for inspection such as the installation of bounds, loam and seeding, and general cleanup.7. Occupancy permits will not be issued until street signs have been erected.	
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**Town of Lakeville Zoning Board of Appeals
 Comprehensive Permit Application
 North Bedford Crossing Site Tabulation
 12 Single Family Residences**

I. Site Information

	<u>Square Feet (+/-)</u>	<u>% of Lot</u>
Total Area	241,539	100
Upland	230,236	95
Wetland	11,303	5

II. Lot Coverage Summary

	<u>Square Feet (+/-)</u>	<u>% of Lot Coverage</u>
Buildings	17,434	7
Pavement/Sidewalk	37,891	16
Usable Open Space	174,911	72
Unusable Open Space	11,303	5
Total	241,539	100.00

III. Parking

Interior (Garage)	18
Exterior	<u>33</u>
Total	51

IV. Density

Gross (units /acre)	12/5.7 = 2.11 units/acre
Net (units /buildable acre)	12/5.5 = 2.18 units/acre

V. Units

	<u>Units</u>	<u>BR</u>
Market 3BR units	9	27
Affordable 3 BR Units	<u>3</u>	<u>9</u>
	12 units	36 Bedrooms

VII. Proposed Buildings

# Units	Living Area (sf)	Bedrooms	Baths
5	1,394	3	2.5
5	1,552	3	2
2	1,977	3	2.5



Lakeville Fire Department

346 Bedford Street
Lakeville, Massachusetts 02347

TEL 508-947-4121 FAX 508-946-3436

MICHAEL O'BRIEN
FIRE CHIEF
mobrien@lakevillema.org

PAMELA GARANT
DEPUTY CHIEF
pgarant@lakevillema.org

To: Zoning Board of Appeals

From: Michael P. O'Brien, Fire Chief 

Date: December 9, 2022

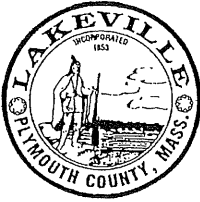
RE: 109 Bedford Street-Revised Plan

This document has been written as comment on the proposed changes to the comprehensive plan for 109 Bedford Street. The Lakeville Fire Department has reviewed the proposed plan and has discussed the plan with the submitting engineer.

The Lakeville Fire Department requests that the following conditions be attached to any permit that may be issued for this location.

1. Hydrant location will be moved to a location 700 feet into the road (just prior to turn around), south side, to provide improved coverage.
2. The collective ownership of the property shall maintain the private fire hydrant, per the fire code, and provide proof of maintenance to the fire department annually.
3. The fire department turnaround shall be restricted from parking or obstruction. Signage (where practical) and striping on pavement will be used as a deterrent to the blocking of the turnaround.

Thank you for the opportunity to comment on this proposal, the Fire Department is available for any additional information or comment.



TOWN OF LAKEVILLE
Town Administrator's Office
346 Bedford Street
Lakeville, MA 02347
(508) 946-8803

December 6, 2022

TO: John Olivieri, Jr., Chairman
Zoning Board of Appeals

FROM: Ari J. Sky, Town Administrator *AS*

SUBJECT: 109 Bedford Street - Comprehensive Permit Application

At its December 5, 2022, meeting, the Select Board reviewed the revised comprehensive permit application for the property located at 109 Bedford Street. After a discussion on the revised application, the Select Board asked staff to provide the following comments:

- The project has been revised from 20 multi-family units to 12 single family units, which is a significant change. The Board would like to confirm that approval of the change has been received from MassHousing prior to the Zoning Board of Appeals considering the revised application.
- It was noted that three (3) of the proposed lots still do not meet the setback requirements. Select Board Member LaCamera felt that as they are now individual lots, they should conform to the setback requirements.
- The applicant is requesting 46 waivers from the bylaws. The Board expressed concerns regarding the number of requested waivers.

Thank you for your consideration. We would appreciate any clarification from the ZBA regarding these comments.

Cc: Town Planner



Massachusetts Housing Finance Agency
One Beacon Street Boston, MA 02108

Tel: 617-854-1000
Fax: 617-854-1091

Relay 711
www.masshousing.com

January 4, 2023

Michael O'Shaughnessy, Esq.
43 East Grove Street, Suite 5
Middleboro, MA 02346

Re: Notice of Project Change
North Bedford Crossing, Lakeville, MA
MH ID No. 1136

Dear Attorney O'Shaughnessy:

We have received your Notification of Project Change describing proposed modifications to the above-captioned Chapter 40B development. The Project received a Determination of Project Eligibility (Site Approval) from MassHousing on April 15, 2022, for the construction of 20 homeownership units on approximately 5.5 acres of land located on 109 Bedford Street, known as North Bedford Crossing (the "Project").

You requested a determination as to whether a proposed modification including a change in building type from 10 duplex style buildings to 12 single family residences, would be considered Substantial Changes in accordance with 760 CMR 56.04 (5).

MassHousing has reviewed the revised plans and has determined that the proposed changes are in fact, a substantial change in accordance with 760 CMR 56.04 (5) and 760 CMR 56.07(4)(c). MassHousing has also reviewed the revised Site Plans with attention to the project eligibility requirements set forth in 760 CMR 56.04(1). Since compliance with those requirements will not be affected by the proposed changes, MassHousing can confirm that a new Project Eligibility Letter is not required in this instance.

It is MassHousing's interpretation of the Comprehensive Permit Regulations that Subsidizing Agencies should normally not update Project Eligibility Letters as a project develops but should, rather, consider whether the initial proposal is eligible for a subsidy program at the project eligibility stage and then consider whether the final proposal is eligible directly before construction at the Final Approval stage. Any other approach could interfere with Chapter 40B's goal of expedited permitting. It is for this reason that a Project Eligibility Letter issued pursuant to the Comprehensive Permit Regulations shall, pursuant to 760 CMR 56.04(6), be conclusive evidence that the project and the applicant have satisfied the project eligibility requirements.

Charles D. Baker, Governor
Karyn E. Polito, Lt. Governor

Jeanne Pinado, Chair
Carolina Avellaneda, Vice Chair

Chrystal Kornegay, Executive Director

MassHousing will review the approved Comprehensive Permit Plans once the Project returns for Final Approval, and at that point will determine whether the approved plans still meet the requirements of the 40B regulations and guidelines.

If I can answer any further questions regarding this Project, please do not hesitate to contact me.

Very truly yours,

Jessica L Malcolm

Jessica L. Malcolm
Manager
Planning and Programs

cc:

The Honorable Michael J. Rodrigues
The Honorable Norman J. Orrall
Evagelia Fabian, Vice Chair, Select Board
John Olivieri, Jr., Chair, Zoning Board of Appeals
Ari J. Sky, Town Administrator

SITE NOTES:

1. THE SITE IS LISTED ON THE TOWN OF LAKEVILLE ASSESSORS PROPERTY RECORD CARDS AS PARCEL ID 025-003-021.
2. PROPERTY LINE AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A FIELD SURVEY BY ZENITH LAND SURVEYORS, LLC.
3. PLYMOUTH COUNTY REGISTRY OF DEEDS:
DEED REFERENCE: BOOK 55084 PAGE 286
4. THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF PLYMOUTH COUNTY, MASSACHUSETTS, MAP NUMBER 2502300314J, MAP REVISED JULY 17, 2012.
5. THE SITE IS NOT LOCATED IN A PRIORITY HABITAT AND ESTIMATED HABITAT AS SHOWN ON THE MASSACHUSETTS NATURAL HERITAGE ATLAS 15TH EDITION EFFECTIVE DATE AUGUST, 2021.
6. WETLANDS SHOWN WERE DELINEATED BY BOB GRAY OF SABATIA, INC. IN JUNE 2021.
7. THE PROJECT IS NOT LOCATED WITHIN AN AREA OF CRITICAL ENVIRONMENTAL CONCERN (ACEC).
8. THE SITE IS NOT LOCATED IN A ZONE II TO A PUBLIC WATER SUPPLY WELL.
9. THE SITE IS NOT IN A ZONE A TO A SURFACE WATER SUPPLY AREA.
10. THE SITE IS NOT LOCATED IN AN OUTSTANDING RESOURCE WATER AREA (ORW).

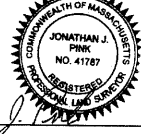
BENCHMARK NOTE:

1. THE CONTRACTOR SHALL CHECK BETWEEN THE BENCHMARKS PROVIDED AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES FOUND PRIOR TO THE START OF CONSTRUCTION.
BM #1: MAG NAIL IN PAVEMENT, EL.=75.67 (NAVD=88)
BM #2: MAG NAIL IN PAVEMENT, EL.=76.93 (NAVD=88)

SURVEY COMPANY OF RECORD:



ZLS
ZENITH LAND SURVEYORS, LLC
1162 ROCKDALE AVENUE
NEW BEDFORD, MA 02740
(508) 995-0100



Jonathan J. Pink 11-22-22

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE ZONING BOARD OF APPEALS WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE _____

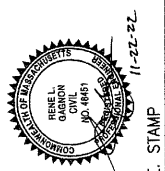
FOR REGISTRY USE ONLY

LAKEVILLE ZONING BOARD OF APPEALS

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS

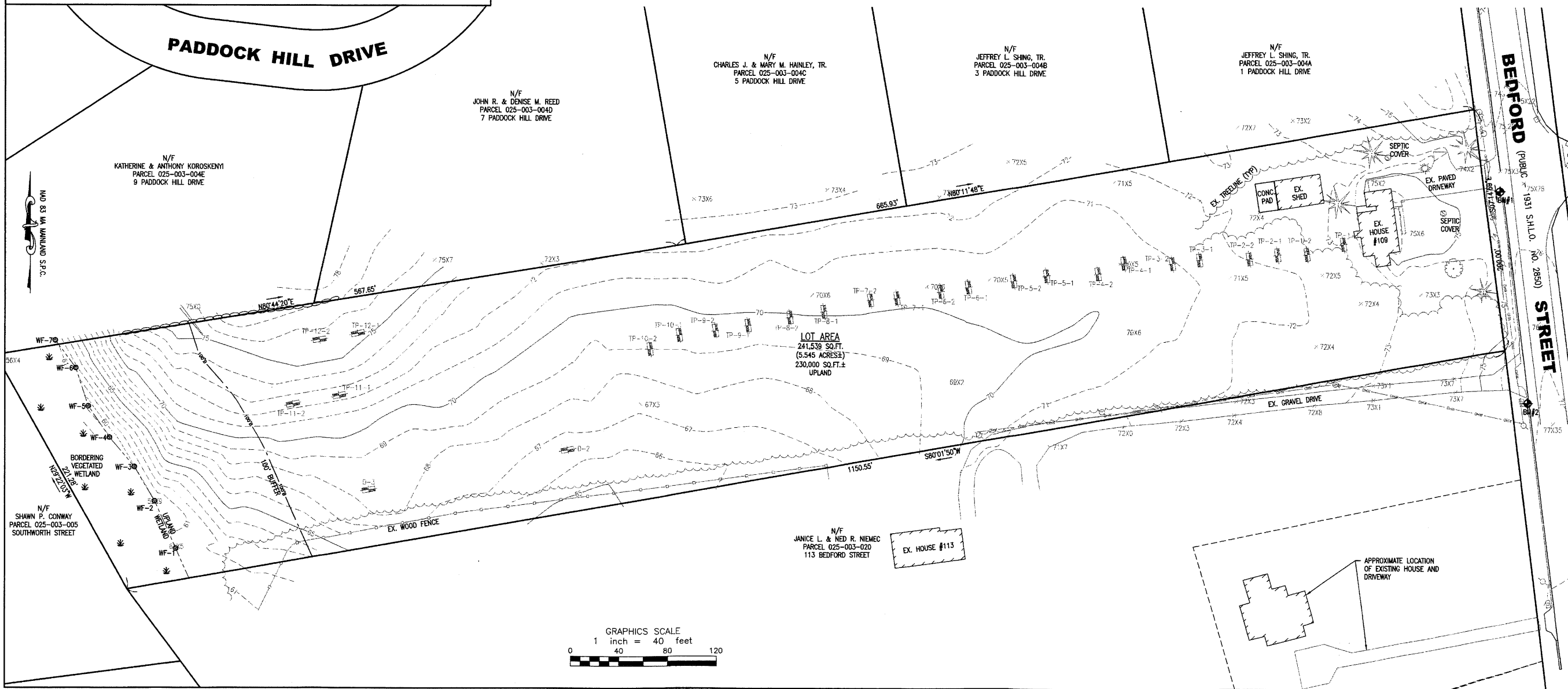
APPROVED: _____

ENDORSED: _____



11-22-22
P.E. STAMP

ZCE
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208



DATE	REV.	DESCRIPTION	BY	APP.
11/22/2022				

DATE:	11/22/2022	PROJECT NUMBER:	0143-13-01	SCALE:	1"=40'	SHEET ID:	X
DRAWN BY:	RLG	DESIGNED BY:	RLG	CHECKED BY:	RMF	APPROVED BY:	JLB

SHEET NAME:	EXISTING CONDITIONS PLAN
PROJECT SITE:	109 BEDFORD STREET LAKEVILLE, MASSACHUSETTS
CLIENT INFO:	NORTH BEDFORD CROSSING LLC. 1 LAKEVILLE BUSINESS PARK DRIVE LAKEVILLE, MASSACHUSETTS



TOCUS MAP
N.T.S.

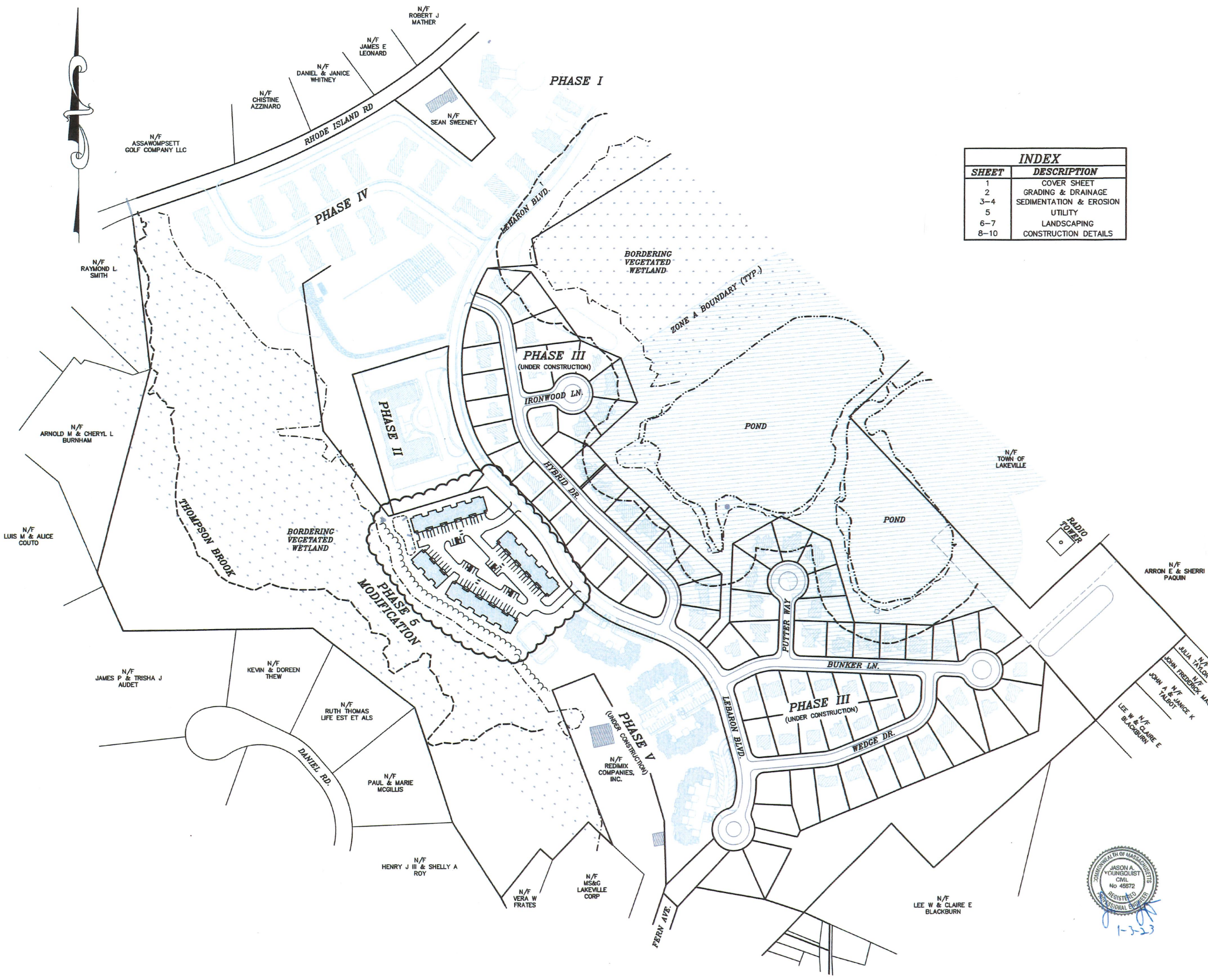
GENERAL NOTES

- THIS PLAN IS A MODIFICATION OF THE COMPREHENSIVE PERMIT ISSUED BY THE LAKEVILLE ZONING BOARD DATED JUNE 18TH, 2004.
- THE TOPOGRAPHICAL DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM SURVEYS PERFORMED BY OUTBACK ENGINEERING INC.
- FLOOD PLAIN INFORMATION WAS OBTAINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 2502300426J, EFFECTIVE ON 07/17/2012. THE SITE IS ENTIRELY IN ZONE X.
- WETLAND APPROVAL
 - EASTERN WETLAND LINE APPROVED BY THE LAKEVILLE CONSERVATION COMMISSION IN AN ORDER OF RESOURCE AREA DELINEATION ISSUED ON 8-24-16.
 - WESTERN WETLAND LINE AND THOMPSON BROOK LOCATION APPROVED BY THE LAKEVILLE CONSERVATION COMMISSION IN A MEETING CLOSED ON 8-24-21.
- CONTRACTORS SHALL NOTIFY DIGSAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO THE ONSET OF CONSTRUCTION TO HAVE ALL EXISTING UTILITIES ALONG LEBARON BOULEVARD CLEARLY LOCATED AND MARKED.
- THE PROPERTY IS NOT LOCATED WITHIN AN ESTIMATED HABITAT OF RARE WILDLIFE AND CERTIFIED VERNAL POOLS AS SHOWN ON THE LATEST MASSACHUSETTS NATURAL HERITAGE MAPS AVAILABLE ONLINE.
- ALL WATER CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE CITY OF TAUNTON. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PERMITS AND APPROVALS ARE OBTAINED BEFORE STARTING CONSTRUCTION.
- THE PROPERTY IS PROPOSED TO BE SERVICED BY UNDERGROUND ELECTRIC, TELEPHONE, CABLE, SEWER LINES, AND MUNICIPAL WATER.
- THE SEPTIC SYSTEM SHOWN AS WELL AS THE PROPOSED WASTEWATER TREATMENT PLANT ARE DESIGNED BY OTHERS.
- ALL DISTURBED AREAS TO BE LOAM AND SEEDED.
- ALL ELEVATIONS REFER TO NGVD 29 DATUM.
- GAS, TELEPHONE, AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH MECHANICAL, ELECTRIC, AND PLUMBING CONSULTANTS. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND DESIGN OF NEW UTILITIES WITH APPROPRIATE UTILITY DEPARTMENT.
- INSTALL WATER LINES WITH A MINIMUM OF FIVE FEET OF COVER AND A MAXIMUM OF SEVEN FEET.
- MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LINES. WHEREVER THERE IS LESS THAN 18" OF VERTICAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE AND A PROPOSED OR EXISTING WATER LINE, BOTH UTILITIES SHALL BE SLEEVED OR ENCASED IN CONCRETE. WHEREVER THERE IS LESS THAN 10 FEET OF HORIZONTAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE AND A PROPOSED OR EXISTING WATER LINE, BOTH UTILITIES SHALL BE PLACED IN SEPARATE TRENCHES AND BOTH UTILITIES SHALL BE SLEEVED OR ENCASED IN CONCRETE.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
80	80	MAJOR CONTOUR
82	82	MINOR CONTOUR
82X0	82X0	SPOT ELEVATION
		BORDERING VEGETATED WETLANDS
		100' BUFFER FROM WETLANDS
		CHAIN-LINK FENCE
		EASEMENT
		BUILDING SETBACK LINE
		WATER MAIN
		WATER SERVICE
		WATER SERVICE SHUTOFF
		WATER GATE
		FIRE HYDRANT
		UNDERGROUND ELEC, TELE, & CABLE
		OVERHEAD WIRES
		UTILITY POLE
		DRAINAGE
		CATCH BASIN
		DRAIN MANHOLE
		DRILL HOLE
		IRON PIPE
		BOUND
		TEST PIT
		TREELINE
		WETLAND FLAG
		FLOW LINE

"THE ESTATES AT LEBARON HILLS"
PHASE V MODIFICATION
A RESIDENTIAL SUBDIVISION IN
LAKEVILLE, MASS.



INDEX	
SHEET	DESCRIPTION
1	COVER SHEET
2	GRADING & DRAINAGE
3-4	SEDIMENTATION & EROSION
5	UTILITY
6-7	LANDSCAPING
8-10	CONSTRUCTION DETAILS

FOR REGISTRY USE ONLY
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

1-3-25
DATE PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.
DATE: _____
LAKEVILLE ZONING BOARD OF APPEALS

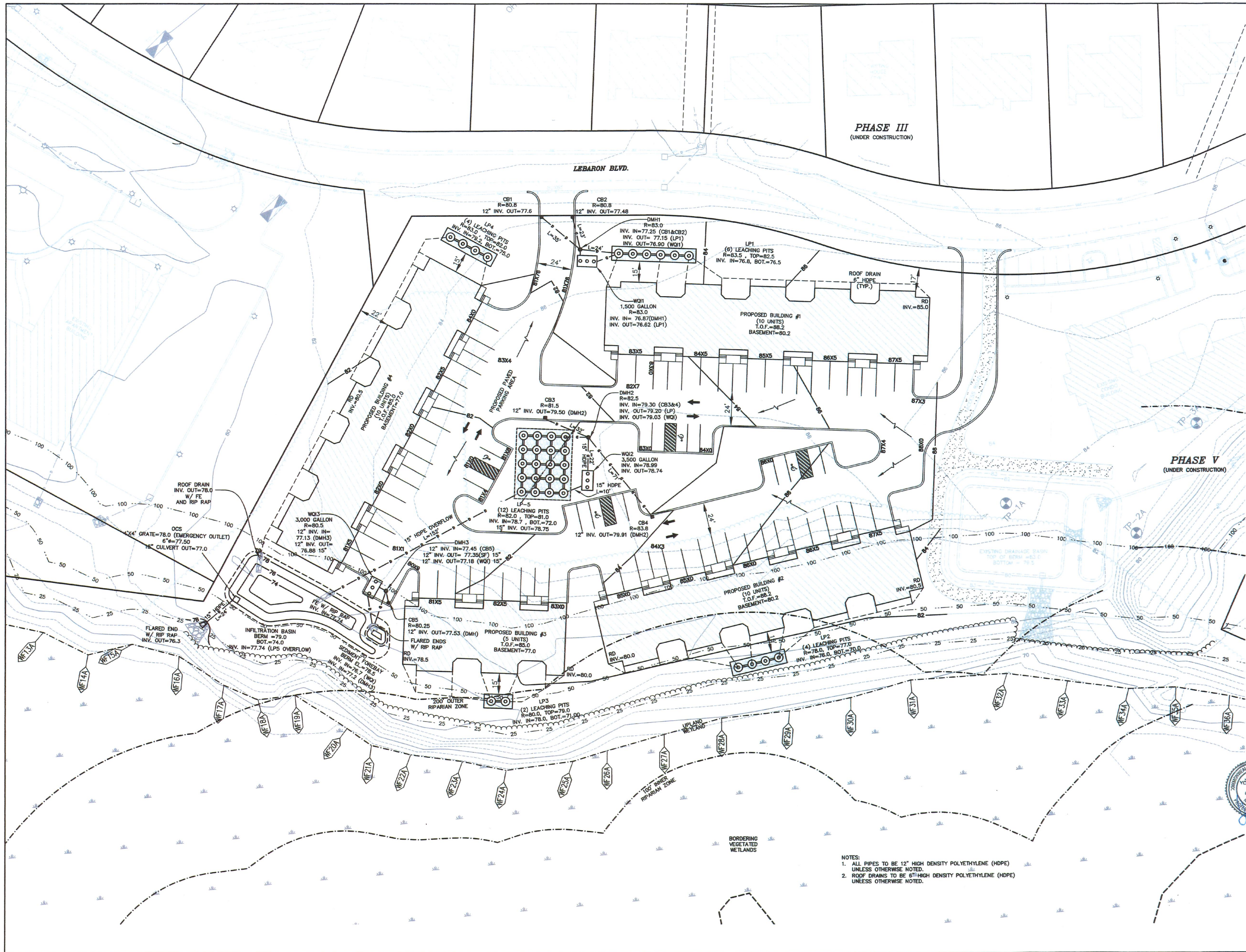
I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND THAT NO APPEAL HAS BEEN FILED AT THIS OFFICE.
TOWN CLERK-TOWN OF LAKEVILLE

OWNER & APPLICANT
THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
ASSESSORS MAP: 18 BLOCK: 3 LOTS: 1 & 2

REVISIONS		
NO.	DATE	DESCRIPTION

COVER SHEET
"THE ESTATES AT LEBARON HILLS"
PHASE V MODIFICATION
A
RESIDENTIAL SUBDIVISION
IN
LAKEVILLE
MASSACHUSETTS

Outback Engineering
Incorporated
165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508)-946-9231
DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
DATE: 12-12-22 PROJECT No. 1865E
1865E MASTER.dwg SHEET 1 OF 10
0' 150' 300' 450'
SCALE: 1"=150'



PHASE III
(UNDER CONSTRUCTION)

PHASE V
(UNDER CONSTRUCTION)

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



1-8-23
DATE PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____

LAKEVILLE ZONING BOARD OF APPEALS

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TOWN CLERK—TOWN OF LAKEVILLE

OWNER & APPLICANT

THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
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REVISIONS

NO.	DATE	DESCRIPTION

GRADING & DRAINAGE
"THE ESTATES AT LEBARON HILLS"
PHASE V MODIFICATION
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IN LAKEVILLE
MASSACHUSETTS

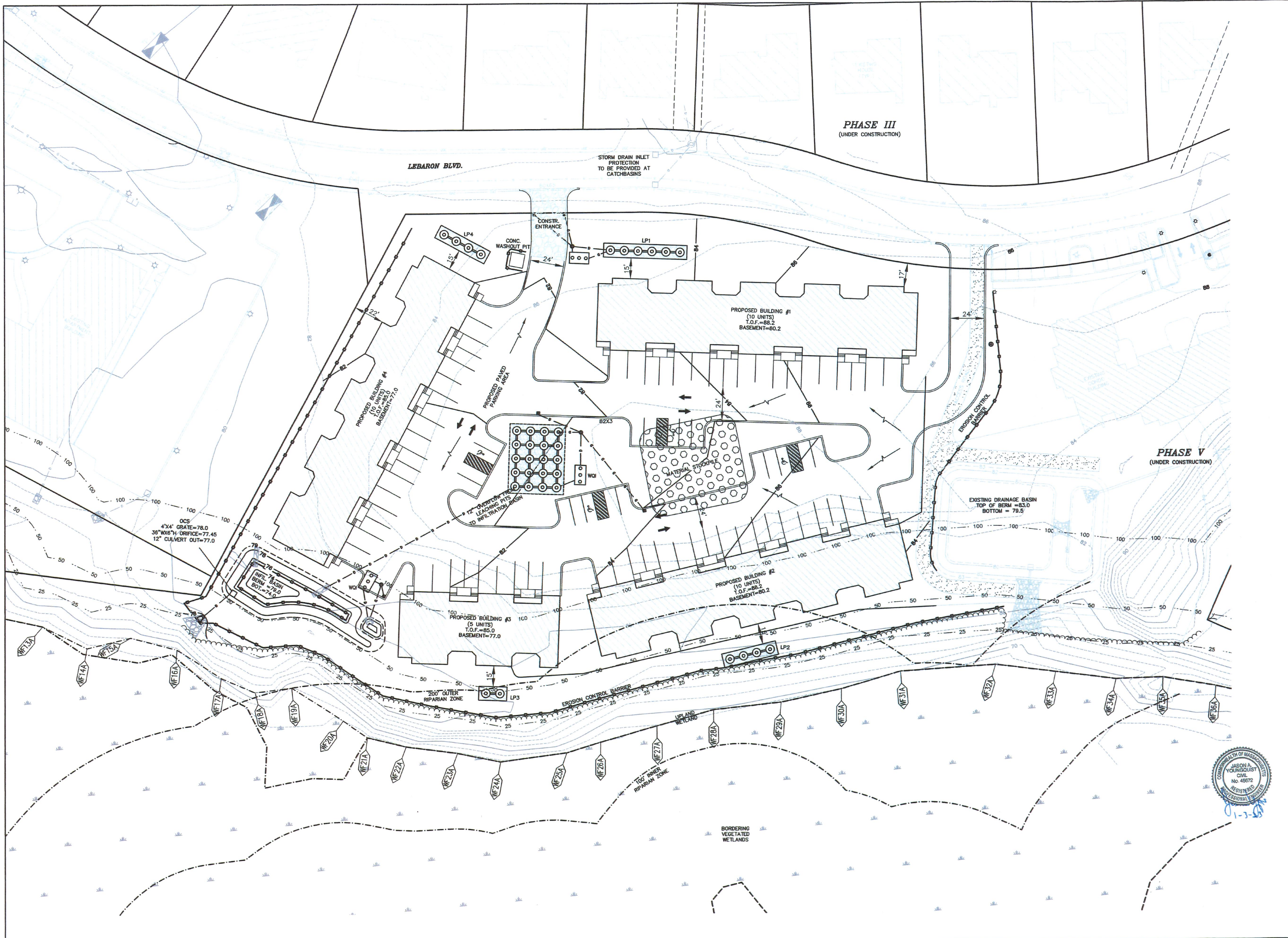


165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508) 946-9231

DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
DATE: 12-12-22 PROJECT No. 1865E
1865E MASTER.dwg SHEET 2 OF 10

SCALE: 1" = 30'

- NOTES:
1. ALL PIPES TO BE 12" HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE NOTED.
2. ROOF DRAINS TO BE 6" HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE NOTED.



PHASE III
(UNDER CONSTRUCTION)

PHASE V
(UNDER CONSTRUCTION)

FOR REGISTRY USE ONLY
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



1-3-73
DATE PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____

LAKEVILLE ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND THAT NO APPEAL HAS BEEN FILED AT THIS OFFICE.

TOWN CLERK—TOWN OF LAKEVILLE

OWNER & APPLICANT
THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
ASSESSORS MAP: 18 BLOCK: 3 LOTS: 1 & 2

REVISIONS

NO.	DATE	DESCRIPTION

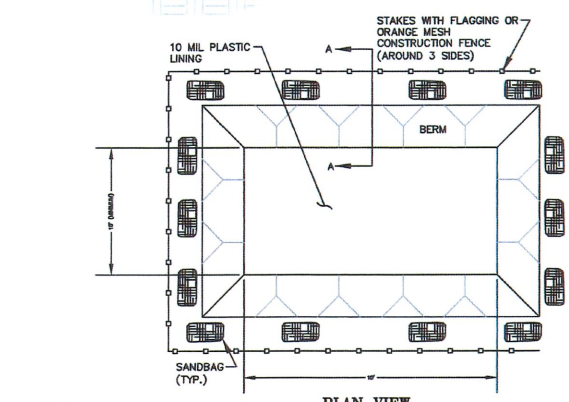
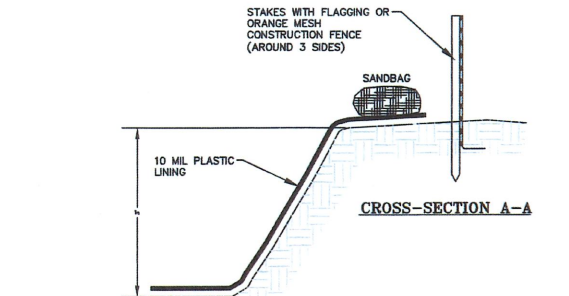
SEDIMENTATION & EROSION CONTROL
"THE ESTATES AT LEBARON HILLS"
PHASE V MODIFICATION
A
RESIDENTIAL SUBDIVISION
IN
LAKEVILLE
MASSACHUSETTS



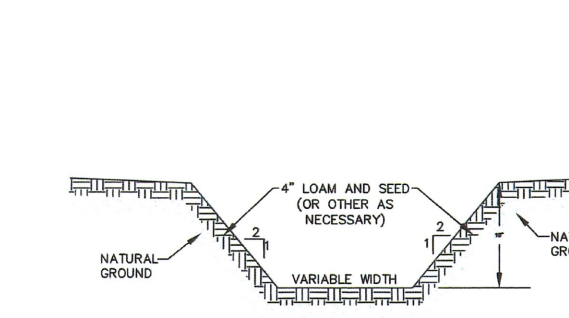
165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508) 946-9231
DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
DATE: 12-12-22 PROJECT No. 1865E
1865E MASTER.dwg SHEET 3 OF 10
0' 30' 60' 90'
SCALE: 1" = 30'

Operation and Maintenance Schedule

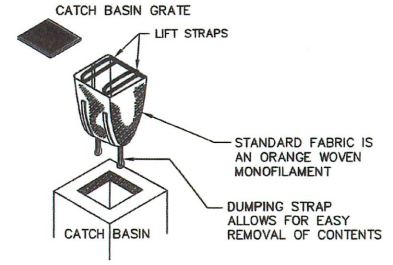
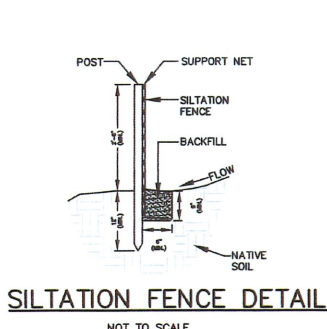
- A) Construction Operation and Maintenance Schedule
 The Operation and Maintenance (O&M) Schedule during the construction period is the responsibility of the Developer/Contractor. The outline below shall be followed as closely as possible to ensure the proper construction and function of the drainage facility.
1. Minimum clearing should occur during the construction process. The limit of clearing is shown on the Definitive Plan and should be adhered to as closely as possible, with the only tree removal in areas necessary for site design and safety. It shall be the contractor's responsibility to determine level of safety regarding standing trees. In conjunction with roadway construction, the infiltration basins shall be constructed and side slopes stabilized as soon as possible (i.e. loam and seed, hydroseed, etc.). Once upslope areas are stabilized and it is determined that no sediment is entering the basins, they shall be cleaned free of fine sediment.
 2. Haybales and/or silt fence shall be placed at the bottom of the interior slope of the infiltration basins until they are stabilized. Upon stabilization of upslope areas, the haybales and/or silt fence and accumulated sediment shall be removed to prevent sediment from clogging the basins.
 3. Silt sacks to be placed in catch basins. Fabric shall be inspected weekly and replaced when clogged. Filter Fabric to remain until disturbed areas are stabilized to the satisfaction of the design engineer.
 4. Catch basins and water quality tanks shall be inspected weekly during construction. If there is sediment buildup observed in any structure, the structure shall be cleaned immediately.
 5. The infiltration basins shall be inspected weekly and after large storms. If there is evidence of erosion, the eroded area shall be re-stabilized and measures shall be taken to prevent a similar occurrence. Any sediment build-up shall be removed. Trash racks with outlets shall be cleaned of debris.
 6. During individual lot construction, measures should be taken to reduce the amount of sediment entering the roadway. This may include placing silt fence or simply constructing a temporary berm along the lot line.
 7. This schedule must be adhered to by the contractor/owner until the roadway is completed.
- B) Post-development Operation and Maintenance Schedule
 Once construction is completed, the following shall be carried out by the contractor/owner, the Homeowners Association once the roadway is constructed, or once the Home Association assumes responsibility for maintenance. The outline below shall be carried out as closely as possible to ensure proper operation of the drainage facility.
1. Sweep streets two times annually. Sweeping shall be done during the beginning to middle of the spring season after all snow has melted and road sand or de-icer can be easily swept. As with any sweeping, collected debris shall be disposed of in accordance with local, state, and federal guidelines and regulations.
 2. Inspect catch basins and water quality tanks once monthly and clean at least once annually. All sediment and hydrocarbons should be properly handled and disposed of in accordance with local, state, and federal guidelines and regulations.
 3. Inspect infiltration basins once monthly after construction and after every major storm. Once it is determined that the infiltration basins are properly stabilized, the basins shall be inspected at least twice annually. At least one of the routine inspections shall be in the spring to inspect for cracking or erosion of side slopes, accumulation of sediment, and litter. Perform sediment and/or litter removal, earth repair, and reseeding immediately. If necessary, sediment removal should not take place until the floors of the basins are thoroughly dry. The grass in the basins shall be mowed and grass clippings, organic matter, and accumulated litter and debris removed at least twice during the growing season.
 4. The stormwater system to be inspected by a professional engineer yearly for the first five years of operation.



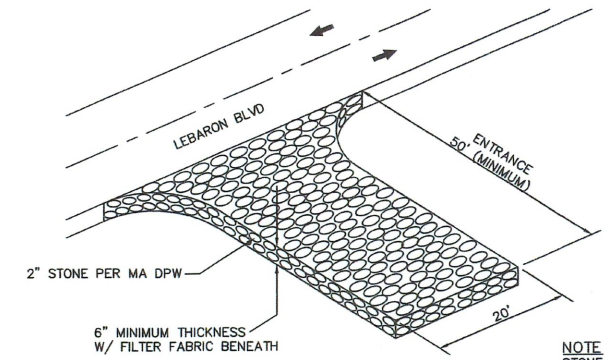
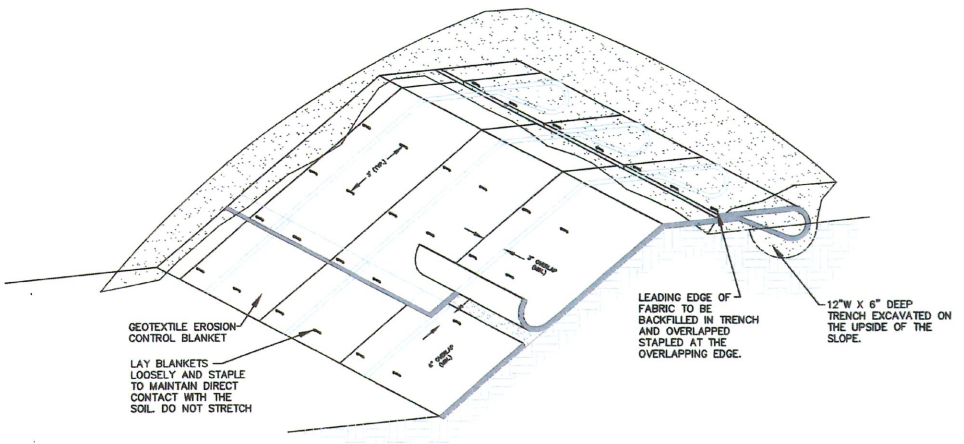
ALTERNATIVE:
 UTILIZE 10 MIL LINER ABOVE GRADE W/ RAISED EDGES USING FILLED BERM AND SAND BAGS



CONTRACTOR SHALL STABILIZE AS NECESSARY USING RIP RAP, CRUSHED STONE, EROSION CONTROL BLANKETS, AND/OR LOAM & SEED

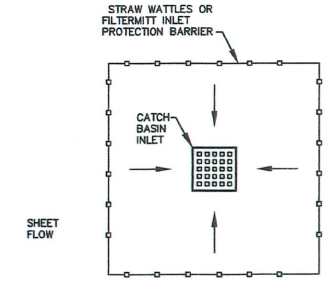


NOTE: SILT SACKS TO BE INSTALLED AT CATCH BASINS ONLY AFTER ROAD IS CONSTRUCTED TO BASE COURSE PAVEMENT

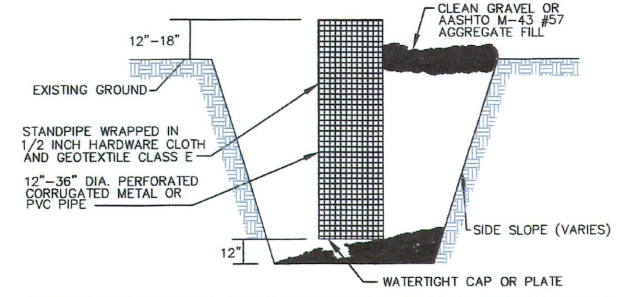


NOTE: STONE TO BE INSPECTED WEEKLY DURING CONSTRUCTION AND REPLACED WHEN CLOGGED WITH SILT

TEMPORARY SITE CONSTRUCTION ENTRANCE PAD
 N.T.S.

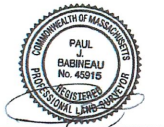


- NOTES:
- 1) FILTERMITT SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS THE EXPECTED FLOW PATH.
 - 2) FILTERMITT OR OTHER TO BE INSTALLED PER DETAIL SPECIFICATIONS.
 - 3) TO BE INSTALLED AT ALL CATCHBASINS UNTIL SITE IS FULLY STABILIZED.



NOTE: IN LOCATIONS WHERE DEWATERING IS REQUIRED, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING SUMP PIT IN ACCORDANCE WITH THE DETAIL PROVIDED. TO PREVENT THE MIGRATION OF SILT AND SEDIMENT, THE CONTRACTOR SHALL FIT THE DISCHARGE END OF THE PUMP HOSE WITH A COMPOSITE SOCK AND ALL FLOW SHALL BE DISCHARGED INTO A SEDIMENT CONTROL TRAP PRIOR TO CONVEYANCE INTO THE STORM DRAIN SYSTEM. THE SEDIMENT CONTROL TRAP SHALL BE CONSTRUCTED UTILIZING AN ENCLOSED AREA OF SILT FENCE AND/OR FILTERMITT IN ACCORDANCE WITH THE DETAIL SHOWN. SEDIMENT TRAPS SHALL BE PLACED IN UPLAND AREAS ONLY AWAY FROM WETLANDS.

FOR REGISTRY USE ONLY
 I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



1-3-23
 DATE: PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____

 LAKEVILLE ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND THAT NO APPEAL HAS BEEN FILED AT THIS OFFICE.

TOWN CLERK—TOWN OF LAKEVILLE

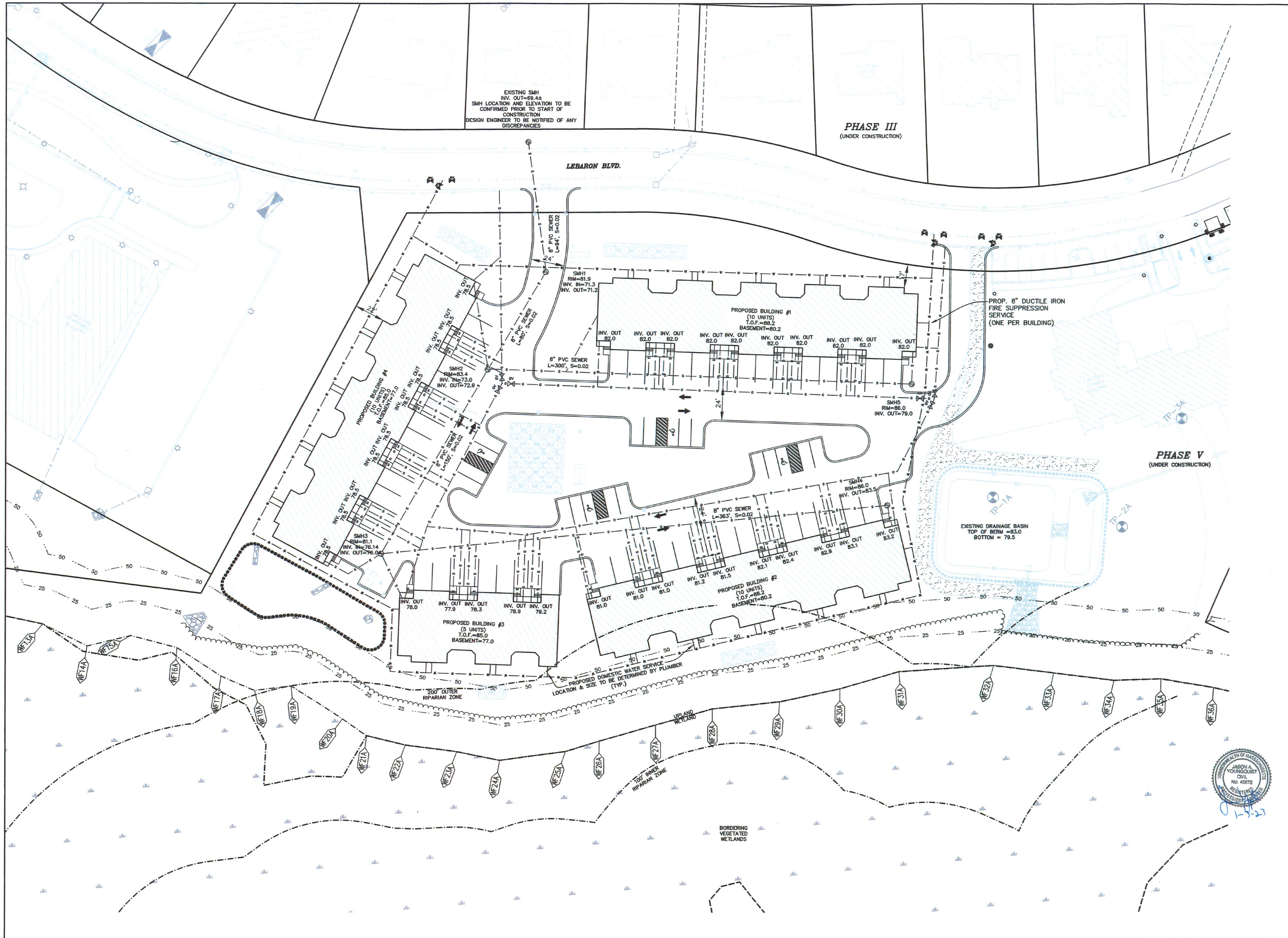
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 ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
 ASSESSORS MAP: 18 BLOCK: 3 LOTS: 1 & 2

REVISIONS		
NO.	DATE	DESCRIPTION

SEDIMENTATION & EROSION CONTROL DETAILS
 "THE ESTATES AT LEBARON HILLS"
 PHASE V MODIFICATION
 A
 RESIDENTIAL SUBDIVISION
 IN
 LAKEVILLE
 MASSACHUSETTS



165 EAST GROVE STREET
 MIDDLEBOROUGH, MA 02346
 TEL: (508)-946-9231
 DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
 DATE: 12-12-22 PROJECT No. 1865E
 1865E MASTER.dwg SHEET 4 OF 10



EXISTING SMH
INV. OUT=69.4±
SMH LOCATION AND ELEVATION TO BE
CONFIRMED PRIOR TO START OF
CONSTRUCTION
DESIGN ENGINEER TO BE NOTIFIED OF ANY
DISCREPANCIES

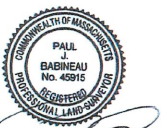
PHASE III
(UNDER CONSTRUCTION)

LEBARON BLVD.

PHASE V
(UNDER CONSTRUCTION)

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN HAS
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WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS.



1-3-22
DATE PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L.
C. 40B BY THE LAKEVILLE ZONING BOARD
OF APPEALS.

DATE:

LAKEVILLE ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE
ELAPSED SINCE PLANNING BOARD
APPROVAL, AND THAT NO APPEAL
HAS BEEN FILED AT THIS OFFICE.

TOWN CLERK-TOWN OF LAKEVILLE

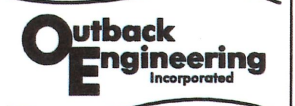
**OWNER &
APPLICANT**

THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
ASSESSORS MAP: 18 BLOCK: 3 LOTS: 1 & 2

REVISIONS

NO.	DATE	DESCRIPTION

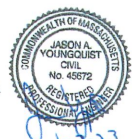
UTILITY PLAN
"THE ESTATES AT
LEBARON HILLS"
PHASE V MODIFICATION
A
RESIDENTIAL SUBDIVISION
IN
LAKEVILLE
MASSACHUSETTS



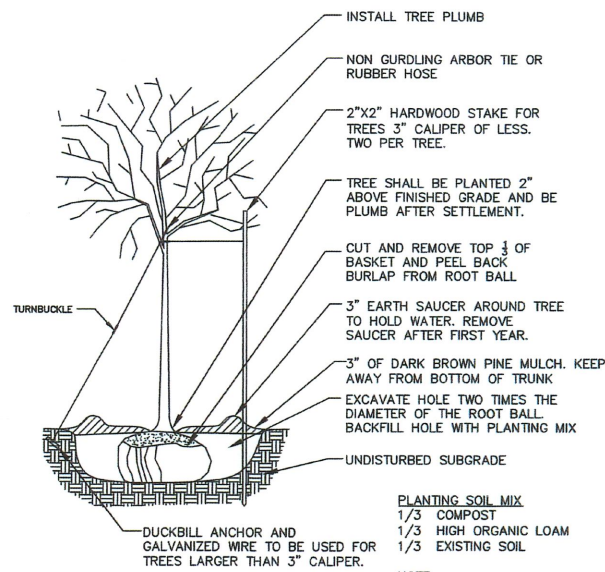
165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508)-946-9231

DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
DATE: 12-12-22 PROJECT No. 1865E
1865E MASTER.dwg SHEET 5 OF 10

0' 30' 60' 90'
SCALE: 1"=30'



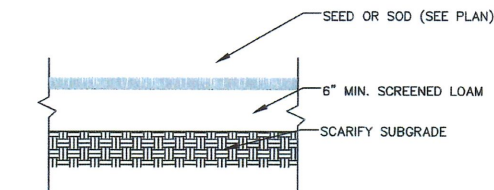
1-3-22



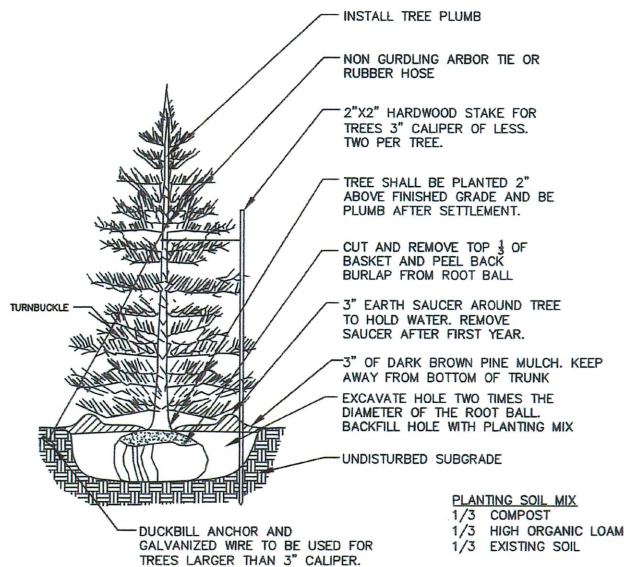
TREE PLANTING DETAIL
NOT TO SCALE

PLANTING SOIL MIX
1/3 COMPOST
1/3 HIGH ORGANIC LOAM
1/3 EXISTING SOIL

NOTE:
ALL TREES SHOULD BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING



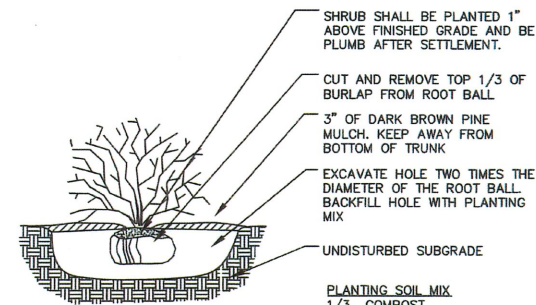
SEED/SOD
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

PLANTING SOIL MIX
1/3 COMPOST
1/3 HIGH ORGANIC LOAM
1/3 EXISTING SOIL

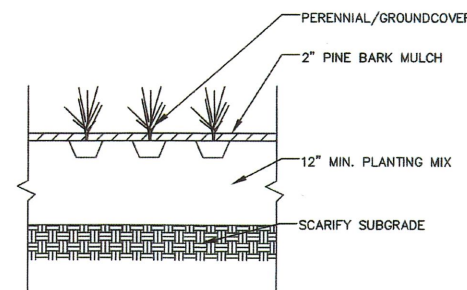
NOTE:
ALL TREES SHOULD BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING



SHRUB PLANTING DETAIL
NOT TO SCALE

PLANTING SOIL MIX
1/3 COMPOST
1/3 HIGH ORGANIC LOAM
1/3 EXISTING SOIL

NOTE:
CONTINUOUS SHRUB BEDS SHOULD HAVE A MINIMUM OF 12\"/>



PERENNIALS/GROUNDCOVERS
NOT TO SCALE

PLANT SCHEDULE

TREES				
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AR	ACER RUBRUM	RED MAPLE	2-2.5\"/>	

SHRUBS				
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
CA	CLETHRA ALNIFOLIA HUMMINGBIRD	SUMMERSWEET	5 GAL.	CONT.

PERENNIALS AND GRASSES				
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
EK	ECHINACEA PURPUREA	CONEFLOWER	1 GAL.	CONT.

LANDSCAPE NOTES

- A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF SIZES, TYPES AND NAMES HAVE BEEN INCLUDED IN THIS PLAN SET. IN THE EVENT OF DISCREPANCIES BETWEEN THE PLANTS ON THE PLANT LIST VERSUS THE PLAN THE PLAN SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE ANY DISCREPANCIES.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL NUTRIENT TEST PRIOR TO INSTALLATION TO DETERMINE WHAT SOIL AMENDMENTS ARE NEEDED TO PROVIDE OPTIMUM GROWING CONDITIONS FOR SEEDING AND PLANTING. CONTRACTOR SHALL USE THE UNIVERSITY OF MASSACHUSETTS SOIL TESTING LAB OR AN APPROVED EQUAL.
- NO PLANT SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OR THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL AND LANDSCAPE IMPROVEMENTS FOR A PERIOD OF ONE YEAR AFTER FINAL APPROVAL.
- MAINTENANCE OF PLANT MATERIAL SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL FINAL APPROVAL. PLANTS ARE TO BE KEPT IN HEALTHY, GROWING CONDITION BY WATERING, PRUNING, SPRAYING, WEEDING AND ANY OTHER NECESSARY MAINTENANCE OPERATIONS.
- PLANT BEDS ARE TO BE MULCHED WITH DOUBLE SHREDDED PINE BARK. TREES AND SHRUBS ARE TO RECEIVE AN EVEN 3\"/>



FOR REGISTRY USE ONLY
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



1-9-23
DATE PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____

LAKEVILLE ZONING BOARD OF APPEALS

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TOWN CLERK - TOWN OF LAKEVILLE

OWNER & APPLICANT
THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
ASSESSORS MAP: 18 BLOCK: 3 LOTS: 1 & 2

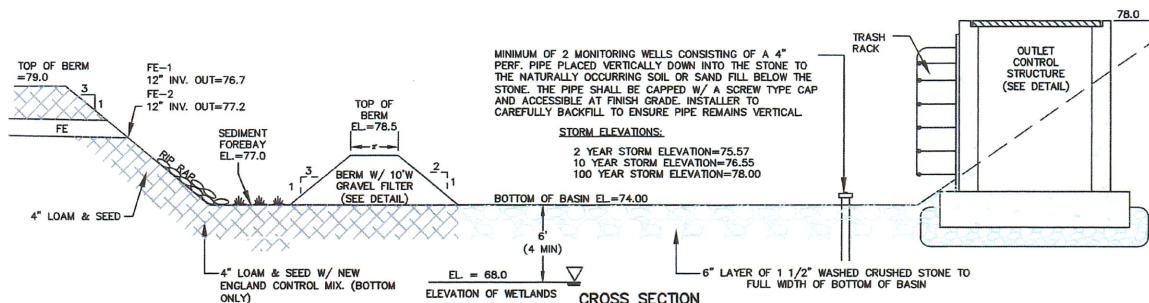
REVISIONS		
NO.	DATE	DESCRIPTION

LANDSCAPING DETAILS
"THE ESTATES AT LEBARON HILLS"
PHASE V MODIFICATION
A
RESIDENTIAL SUBDIVISION
IN
LAKEVILLE MASSACHUSETTS



165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508)-946-9231

DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
DATE: 12-12-22 PROJECT No. 1865E
1865E MASTER.dwg SHEET 7 OF 10



INFILTRATION BASIN WITH OUTLET CONTROL STRUCTURE
NOT TO SCALE

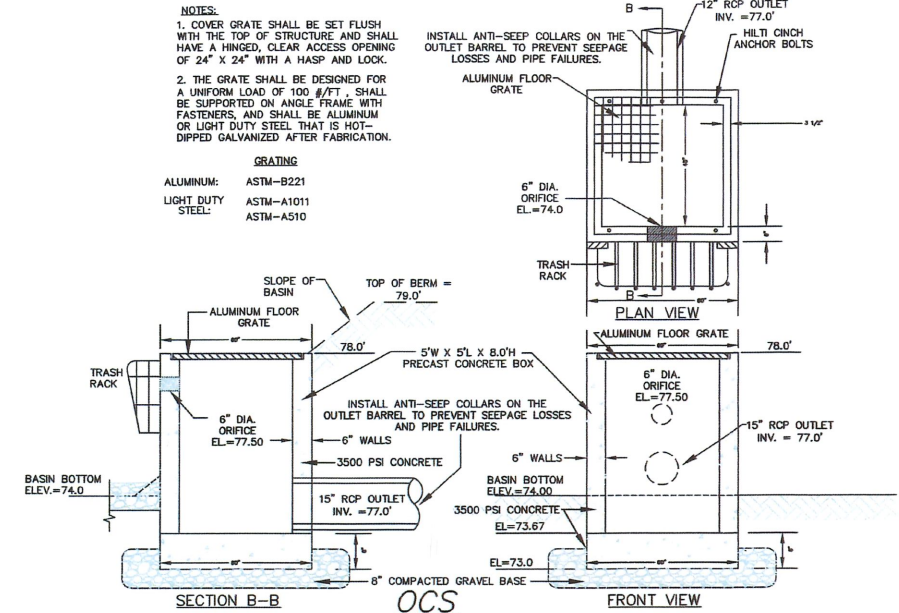
EXISTING TOP, SUBSOIL, AND ANY UNSUITABLE SOILS BENEATH INFILTRATION BASIN (EXCLUDING SEDIMENT FOREBAY) TO BE REMOVED TO A DEPTH OF NATURALLY OCCURRING PERVIOUS SOIL AND REPLACED WITH CLEAN WASHED SAND TO THE DEPTH REQUIRED. DESIGN ENGINEER TO INSPECT OPEN HOLE PRIOR TO PLACEMENT OF SAND.

INFILTRATION BASIN NOTES:
THE CONTRACTOR IS CAUTIONED THAT THE INFILTRATION BASIN IS DESIGNED TO INFILTRATE/RECHARGE STORMWATER PRIMARILY THROUGH THE BOTTOM OF THE BASIN. CONSTRUCTION TECHNIQUES THAT WOULD POTENTIALLY DIMINISH THE FILTRATION CAPACITY OF THE UNDERLYING SOILS ARE TO BE AVOIDED. COMPACTION AND SILTATION OF THE BASIN DURING CONSTRUCTION IS PROHIBITED.

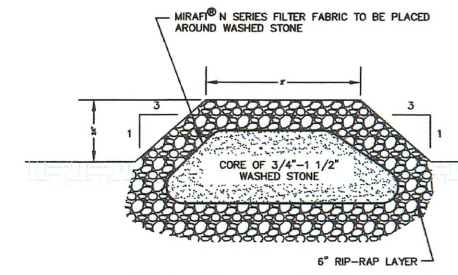
- A.) DO NOT UTILIZE ANY PORTION OF THE BASIN FLOOR AS A HAUL ROAD FOR MATERIAL AND HEAVY EQUIPMENT.
- B.) DO NOT COMPACT SOILS IN THE BASIN FLOOR.
- C.) DO NOT PLACE GRAVEL OR OTHER MATERIALS TO STABILIZE THE BASIN FLOOR FOR CONSTRUCTION VEHICULAR TRAVEL ACCESS.
- D.) STRICT COMPLIANCE WITH THE EROSION CONTROL PLAN AND THE STORMWATER OPERATIONS AND MAINTENANCE PLAN IS NECESSARY.
- E.) BASIN CONSTRUCTION SHALL OCCUR AT THE EARLY STAGES OF THE PROJECT CONSTRUCTION SO THAT THEY ARE FULLY VEGETATED AND STABILIZED PRIOR TO RECEIVING STORMWATER.
- F.) DESIGN ENGINEER TO INSPECT BOTTOM OF BASIN PRIOR TO PLACEMENT OF STONE BOTTOM.
- G.) RIP-RAP IN THE BOTTOM OF THE BASIN TO BE PLACED, NOT DUMPED, DO NOT COMPACT.
- H.) DO NOT USE THE INFILTRATION BASIN AS A TEMPORARY SEDIMENT BASIN OR DE-WATERING BASIN.

NOTES:
1. COVER GRATE SHALL BE SET FLUSH WITH THE TOP OF STRUCTURE AND SHALL HAVE A HINGED, CLEAR ACCESS OPENING OF 24\"/>

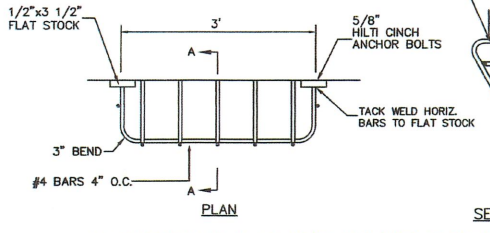
GRATING:
ALUMINUM: ASTM-B221
LIGHT DUTY STEEL: ASTM-A1011
ASTM-A510



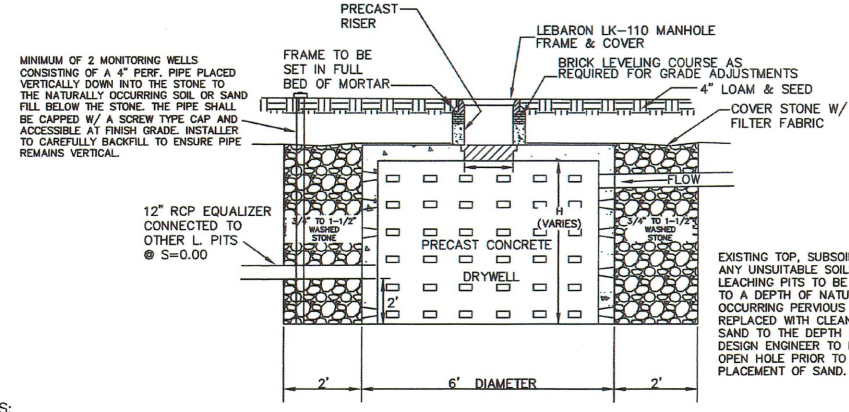
OCS
SECTION B-B FRONT VIEW



GRAVEL FILTER DETAIL
NOT TO SCALE

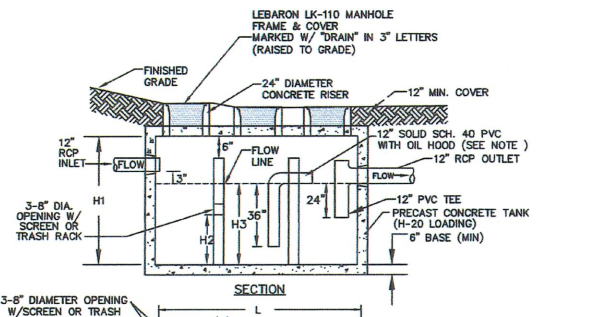


TRASH RACK
NOT TO SCALE

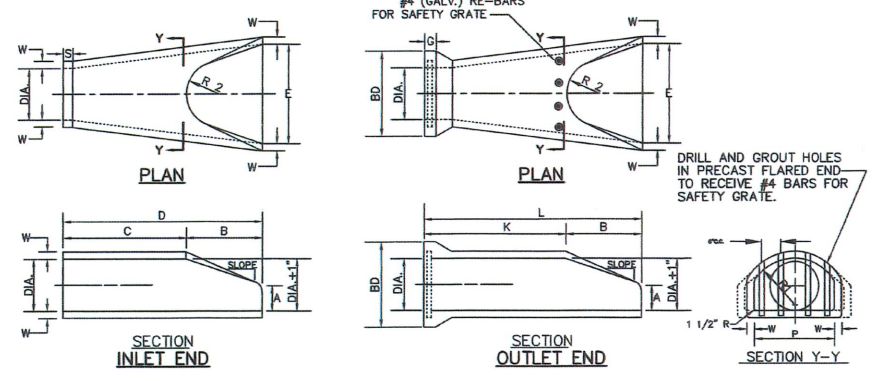


LEACHING PIT DETAIL
NOT TO SCALE

- NOTES:**
- L PITS SHALL BE LOCATED 10' O.C. MINIMUM.
 - OBSERVATION WELLS TO BE LOCATED WITHIN THE LEACHING PIT FIELD AND ACCESSIBLE AT FINAL GRADE.
 - FILTER FABRIC OR CRUSHED STONE SHALL BE PLACED UNDER FIRST ROW OF PITS AT INLET TO PREVENT SOIL SCOUR.
 - SEE PLAN FOR LOCATION AND SIZE OF INDIVIDUAL L PITS.



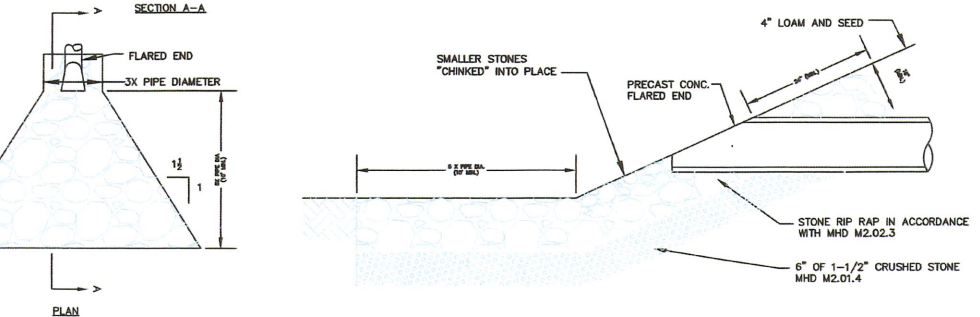
WATER QUALITY INLET (H-20 LOADING)
NOT TO SCALE



DIA.	W	A	B	C	D	E	BD	K	L	P	DIA. + 1"	R1	R2	S	G	SLOPE
12"	2"	4"	2'-0"	4'-0 7/8"	6'-1 3/8"	2'-0"	20"	4'-6 1/8"	6'-6 1/8"	19 15/16"	13"	10 1/8"	9"	4"	2 1/2"	3:1
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	28"	4'-3 7/8"	6'-6 7/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1
24"	3"	9 1/2"	3'-7 1/2"	2'-6"	6'-1"	4'-0"	36"	3'-0 1/2"	6'-8"	33 3/16"	25"	16 13/16"	14"	4"	3"	3:1

REINFORCED CONCRETE PIPE FLARED ENDS FOR BELL AND SPIGOT PIPE
NOT TO SCALE

H1	70"	74"	80"	90"
H2	36"	36"	36"	36"
H3	50"	62"	62"	72"
L	156"	156"	156"	156"
W	60"	60"	84"	84"
GAL.	2000	2500	3500	4000



FLARED END W/ RIP-RAP DETAIL
NOT TO SCALE

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1-5-23
DATE PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____
LAKEVILLE ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND THAT NO APPEAL HAS BEEN FILED AT THIS OFFICE.

TOWN CLERK—TOWN OF LAKEVILLE

OWNER & APPLICANT
THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
ASSESSORS MAP: 18 BLOCK: 3 LOTS: 1 & 2

REVISIONS

NO.	DATE	DESCRIPTION

CONSTRUCTION DETAILS "THE ESTATES AT LEBARON HILLS" PHASE V MODIFICATION A RESIDENTIAL SUBDIVISION IN LAKEVILLE MASSACHUSETTS



165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508)-946-9231
DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
DATE: 12-12-22 PROJECT No. 1865E
1865E MASTER.dwg SHEET 8 OF 10

INSPECTION AND ACCEPTANCE

ALL MATERIALS AND CONSTRUCTION ARE TO BE SUBJECT TO THE APPROVAL OF THE TAUNTON WATER DEPARTMENT AND/OR ITS DESIGNATED INSPECTOR. THE CONTRACTOR SHALL NOT COVER ANY WORK PRIOR TO APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ALL DEFICIENCIES TO THE SATISFACTION OF THE WATER DEPARTMENT AND/OR DESIGNATED INSPECTOR. APPROVAL SHALL IN NO WAY AFFECT THE OBLIGATION OF THE CONTRACTOR TO REPAIR OR RENEW DEFICIENCIES. THE WATER DEPARTMENT MUST BE NOTIFIED 2 DAYS PRIOR FOR INSPECTIONS. THE CONTRACTOR SHALL BE INVOICED FOR INSPECTIONS AT THE COMPLETION OF CONSTRUCTION.

TESTING AND DISINFECTION

TESTING: NEW WATER MAINS SHALL BE FILLED AND FLUSHED UNDER THE DIRECT SUPERVISION OF THE WATER DEPARTMENT. ALL AIR SHALL BE EXPELLED FROM THE LINE PRIOR TO TESTING. TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE ENGINEER AND A REPRESENTATIVE OF THE TAUNTON WATER DEPARTMENT. TESTING SHALL BE IN ACCORDANCE WITH AWWA C-600. THE TEST PRESSURE SHALL BE 150 LBS. OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER. ALLOWABLE LEAKAGE SHALL BE BASED UPON SECTION 4.1 OF AWWA C-600. DISINFECTION: AFTER AN ACCEPTABLE PRESSURE TEST, THE NEW WATER MAIN SHALL BE CHLORINATED IN ACCORDANCE WITH AWWA C-651. CHLORINE SHALL BE INTRODUCED THROUGH A TAP AT ONE END OF THE PIPELINE WHILE WATER IS WITHDRAWN FROM THE OPPOSITE END. CHLORINE DOSAGE MUST BE SUFFICIENT TO PRODUCE A MINIMUM OF 50 MG/L IN THE PIPELINE. FOLLOWING A 24 HR CONTACT PERIOD, THE TREATED WATER SHALL BE FLUSHED FROM THE MAINS AND SAMPLES TAKEN FOR COLIFORM AND BACKGROUND BACTERIA. MAINS WILL NOT BE ACCEPTED OR APPROVED FOR SERVICE CONNECTIONS UNTIL SAMPLES SHOW ZERO BACTERIA COUNTS. THE CONTRACTOR SHALL REDISINFECT AND RESAMPLE UNTIL MAINS ARE ACCEPTABLE.

PIPE

WATER MAINS SHALL BE DUCTILE IRON CLASS 52 WATER PIPE. PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI A21.50, A21.51 AND AWWA C-150 & C-151. ALL PIPE SHALL BE PROVIDED WITH PUSH-ON JOINTS.

FITTINGS

FITTINGS SHALL BE CEMENT-LINED DUCTILE IRON WITH BITUMEN COATING INSIDE AND OUT. FITTINGS SHALL CONFORM TO THE REQUIREMENTS OF ANSI A21.53 AND AWWA C-153. FITTINGS SHALL BE MECHANICAL JOINT CONFORMING TO ANSI A21.11 AND AWWA C-111. ALL FITTINGS SHALL BE BACKED BY CONCRETE TRUST BLOCKS AND HAVE MEGALUG RESTRAINTS AT ALL MECHANICAL JOINT ENDS.

VALVES

GATE VALVES SHALL BE IRON BODY, BRONZE MOUNTED, DOUBLE DISC, SIDE WEDGE TYPE, NON-RISING STEM WITH "O-RING" SEALS. VALVES SHALL BE NEW YORK PATTERN, METROPOLITAN TYPE CONFORMING TO THE REQUIREMENTS OF AWWA C-500. RESILIENT-SEALED GATE VALVES CONFORMING TO THE REQUIREMENTS OF AWWA C-509 ARE REQUIRED. ALL VALVES SHALL HAVE 250 PSI MECHANICAL JOINT ENDS AND SHALL OPEN LEFT OR COUNTER CLOCKWISE. VALVES SHALL BE MANUFACTURED BY AVK OR MUELLER OR APPROVED EQUAL. ALL GATE VALVES SHALL BE ACCOMPANIED BY A HEAVY CAST IRON, ADJUSTABLE SLIDE TYPE BOX HAVING A MINIMUM 6-INCH DIAMETER BARREL AND A CAST IRON COVER WITH THE WORD "WATER" CAST IN THE TOP. BOXES SHALL BE DESIGNED AND INSTALLED SUCH THAT NO PRESSURE SHALL BE EXERTED BY THE VALVE BOX ON THE WATER MAIN OR VALVE.

HYDRANTS

HYDRANTS SHALL BE MH DRESSER STYLE 129 MUELLER SUPER CENTURION 200 OR CLOW MEDALLION CONFORMING 5-1/4 INCH BREAK FLANGE CONSTRUCTION W/ONE 4 1/2" PUMPER NOZZLE TO AWWA C-502, HAVE A MINIMUM BARREL AND 2, 2 1/2" HOSE NOZZLES. THEY SHALL OPEN LEFT OR COUNTER CLOCKWISE AND A 5 FOOT DEPTH OF BURY IS RECOMMENDED.

SERVICES

CORPORATION STOPS, CURB STOPS AND FITTINGS SHALL BE BRASS CONFORMING TO AWWA C-800. COPPER SERVICE PIPE SHALL CONFORM TO AWWA C-800 AND ASTM B88. CORPORATION STOP: 1" MUELLER H-15008 WITH COMPRESSION CONNECTION OUTLET. CURB STOP: 1" MUELLER MARK II ORISEAL H-15219 WITH COMPRESSION CONNECTIONS. METER: PER WATER DEPARTMENT STANDARDS. BALL VALVES: 1-INCH, 125 LB., BRONZE BODY AS MANUFACTURED BY FORD. TUBING: 1" 200 PSI RATED COPPER TUBING SIZE PVC PIPE. CURB BOXES: CAST IRON, ADJUSTABLE SLIDE TYPE. MINIMUM DIAMETER 2-1/2 INCHES WITH CAST IRON TWO PIECE TELESCOPING TYPE.

GRANULAR FILL MATERIALS

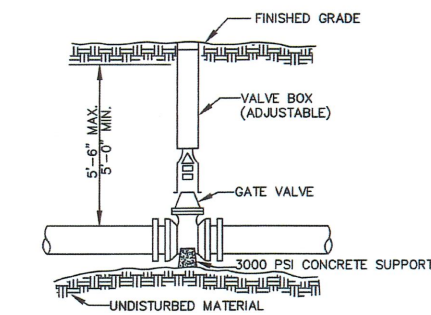
MATERIALS SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", LATEST EDITION, FOR SCREENED AND BANK RUN GRAVEL.

CONCRETE

MATERIALS SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", LATEST EDITION, FOR TYPE II CEMENT AND 3000 PSI CONCRETE.

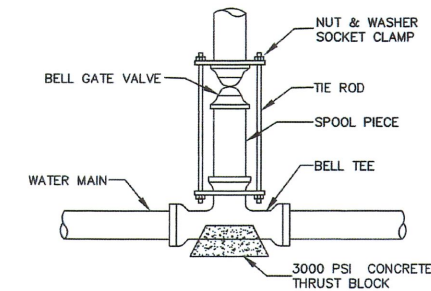
CONSTRUCTION

TRENCHES SHALL BE EXCAVATED TO THE DEPTH AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER AND IN WIDTHS SUFFICIENT FOR LAYING OF THE NEW MAINS AND APPURTENANCES. ALL PIPES SHALL HAVE A MINIMUM OF 5" AND MAXIMUM OF 5'-6" COVER. SERVICE CONNECTIONS TO BE BURIED A MAXIMUM OF 5' DEEP WITHIN A SEPARATE TRENCH FROM OTHER UTILITIES. IF USED, WOOD SHEETING SHALL NOT BE WITHDRAWN IF DRIVEN BELOW THE MIDPOINT OF THE PIPE. SHEETING SHALL BE CUT OFF NO LOWER THAN 1 FOOT ABOVE THE TOP OF THE PIPE. BLASTING IF REQUIRED SHALL BE CONDUCTED IN FULL COMPLIANCE WITH ALL LAWS OF THE STATE AND LOCAL ORDINANCES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND ENSURING PUBLIC SAFETY. ALL VALVES AND HYDRANTS SHALL BE SET PLUMB IN TRUE VERTICAL ALIGNMENT. VALVE BOXES SHALL BE INSTALLED VERTICALLY, CENTERED OVER THE OPERATING NUT AND THE ELEVATION OF THE TOP SHALL BE SET TO FINISHED GRADE.



TYPICAL GATE VALVE

NOT TO SCALE



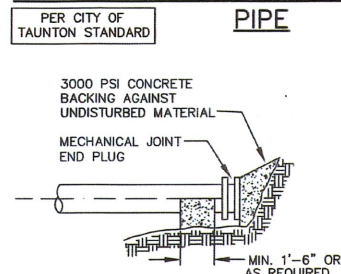
TYPICAL VALVE CONNECTION

NOT TO SCALE

TABLE OF BEARING AREAS IN S.F. FOR WATER MAIN FITTINGS VS. UNDISTURBED MATERIAL				
SIZE OF MAIN	45' BEND	TEES & PLUGS	22 1/2' BEND	DEAD END
8" & LESS	8	10	8	6
10" & 12"	22	16	13	12

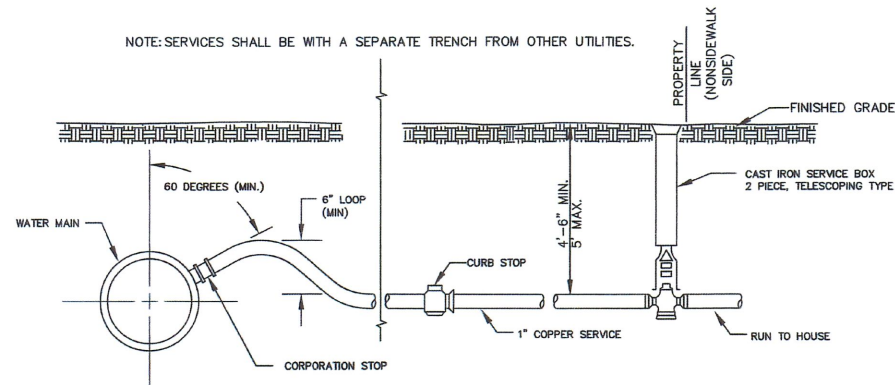
NOTES:
1. BEARING AREAS BASED ON HORIZONTAL PASSIVE SOIL PRESSURE OF 2000 PSF AND A MINIMUM INTERNAL WATER PRESSURE OF 175 PSIG. JOINTS SHALL NOT BE ENCASED IN CONCRETE. BEARING AREAS MAY BE DISREGARDED FOR TRENCHES IN ROCK WHERE THE TOP OF THE ROCK FACE IS AT OR ABOVE THE CROWN OF THE PIPE. HOWEVER, CONCRETE BACKING SHALL BE PLACED BETWEEN PIPE AND ROCK FACE.

THRUST BLOCK BEARING AREAS FOR PIPE



TYPICAL PLUG

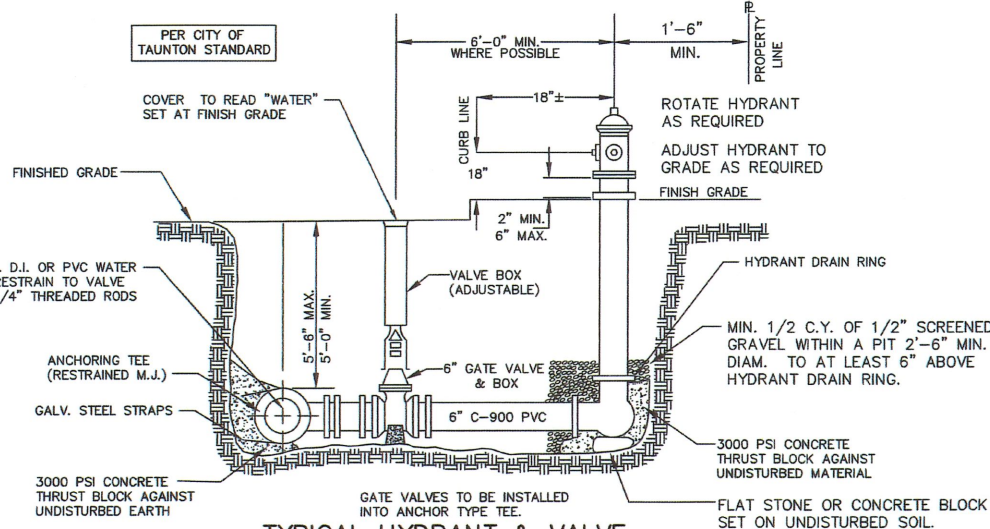
NOT TO SCALE



NOTE: SADDLES ARE REQUIRED FOR TAPS LARGER THAN 1 INCH.

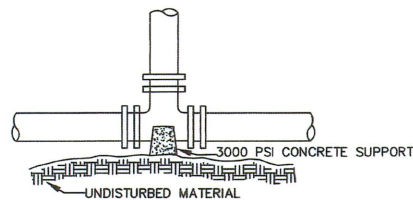
TYPICAL PERMANENT SERVICE CONNECTION

NOT TO SCALE



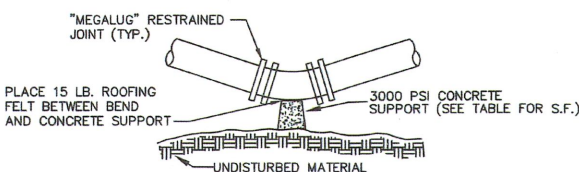
TYPICAL HYDRANT & VALVE

NOT TO SCALE



TYPICAL TEE

NOT TO SCALE

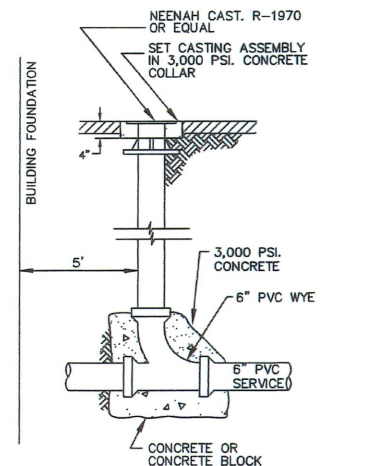


TYPICAL BEND

NOT TO SCALE

SEWER NOTES

1. THE MAXIMUM ALLOWABLE AMOUNT OF INFILTRATION INTO GRAVITY SEWERS INCLUDING MANHOLES AND PRECAST TANKS, OR EXFILTRATION FROM THE SEWERS AS DETERMINED RESPECTIVELY BY TESTS, SHALL BE NO GREATER THAN 75 GALLONS PER INCH OF PIPE DIAMETER, PER MILE OF PIPE, PER 24 HOURS AND THERE SHALL BE NO GUSHING OR SPURTING STREAMS OF WATER INTO OR FROM THE SEWERS OR MANHOLES. AN INDEPENDENT QUALIFIED CONTRACTOR APPROVED BY THE ENGINEER SHALL DO ALL TESTING.
2. LOW-PRESSURE AIR TESTS SHALL BE USED TO TEST ALL GRAVITY SEWER LINES AND SERVICE CONNECTIONS, IN ACCORDANCE WITH ASTM C828 FOR PVC PIPE. FOR MAKING LOW-PRESSURE AIR TESTS, THE CONTRACTOR SHALL USE EQUIPMENT SPECIFICALLY DESIGNED AND MANUFACTURED FOR THE PURPOSE OF TESTING SEWER PIPELINES USING LOW-PRESSURE AIR. THE EQUIPMENT SHALL BE PROVIDED WITH AN AIR REGULATOR VALVE OR AIR SAFETY VALVE SO SET THAT THE INTERNAL AIR PRESSURE IN THE PIPELINE CANNOT EXCEED 8 PSIG. THE LEAKAGE TEST SHALL BE MADE ON EACH MANHOLE-TO-MANHOLE SECTION OF PIPELINE AFTER PLACEMENT OF THE BACKFILL. LOW-PRESSURE AIR SHALL BE INTRODUCED THROUGH A SINGLE CONTROL PANEL INTO THE SEALED LINE UNTIL THE INTERNAL AIR PRESSURE REACHES 4 PSIG GREATER THAN THE MAXIMUM PRESSURE EXERTED BY THE GROUNDWATER THAT MAY BE ABOVE THE INVERT OF THE PIPE AT THE TIME OF THE TEST. HOWEVER, THE INTERNAL AIR PRESSURE IN THE SEALED LINE SHALL NOT BE ALLOWED TO EXCEED 8 PSIG. WHEN THE MAXIMUM PRESSURE EXERTED BY THE GROUNDWATER IS GREATER THAN 8 PSIG, THE CONTRACTOR SHALL CONDUCT ONLY AN INFILTRATION TEST. AT LEAST TWO MINUTES SHALL BE ALLOWED FOR THE AIR PRESSURE TO STABILIZE IN THE SECTION UNDER TEST. AFTER THE STABILIZATION PERIOD, THE LOW-PRESSURE AIR SUPPLY HOSE SHALL BE QUICKLY DISCONNECTED FROM THE CONTROL PANEL. THE TIME REQUIRED IN MINUTES FOR THE PRESSURE IN THE SECTION UNDER TEST TO DECREASE FROM 3.5 TO 2.5 PSIG (GREATER THAN THE MAXIMUM PRESSURE EXERTED BY GROUNDWATER THAT MAY BE ABOVE THE INVERT OF THE PIPE) SHALL NOT BE LESS THAN 5 MINUTES FOR 6-INCH AND 8-INCH PVC PIPE.
3. ALL SEWER LINES BELOW THE WATER TABLE SHALL BE CHECKED FOR INFILTRATION. IF, AT ANY TIME INFILTRATION EXCEEDS 100 GALLONS PER INCH OF NORMAL DIAMETER PER MILE OF SEWER PER DAY, THE CONTRACTOR SHALL LOCATE THE LEAKS AND MAKE REPAIRS AS NECESSARY TO CONTROL AND ELIMINATE THE INFILTRATION.
4. A VACUUM TEST TO BE PERFORMED ON ALL SEWER MANHOLES.



IN LINE CLEANOUT SANITARY SEWER CLEANOUTS

NOT TO SCALE

REQUIRED AT EACH BUILDING SERVICE CONNECTION

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



DATE: 12-22-22
PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____
LAKEVILLE ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND THAT NO APPEAL HAS BEEN FILED AT THIS OFFICE.

TOWN CLERK - TOWN OF LAKEVILLE

OWNER & APPLICANT

THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
ASSESSORS MAP: 18 BLOCK: 3 LOTS: 1 & 2

REVISIONS

NO.	DATE	DESCRIPTION

CONSTRUCTION DETAILS
"THE ESTATES AT LEBARON HILLS"
PHASE V MODIFICATION
A
RESIDENTIAL SUBDIVISION
IN
LAKEVILLE
MASSACHUSETTS



165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508) 346-9231
DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
DATE: 12-12-22 PROJECT No. 1865E
1865E MASTER.dwg SHEET 10 OF 10

**Zoning Board of Appeals
Lakeville, Massachusetts
Minutes of Meeting
November 17, 2022**

On November 17, 2022, the Zoning Board held a meeting at the Lakeville Public Library. The meeting was called to order by Chairman Olivieri at 7:17 p.m. LakeCam was making a video recording. He advised there were only three members present. That prevents them from opening any hearing, as they would need four members. However, he would invite petitioners to have an informal conversation with the Board.

Members present:

John Olivieri, Jr., Chair; Chris Carmichael, Vice-Clerk; Christopher Campeau, Member;

Others present:

Marc Resnick, Town Planner

Sign Design/Conway hearing – 10 Main Street

Mr. James Chase was present. He briefly explained the new sign proposal which would replace the sign that was currently there. Mr. Resnick said the total size of the sign is 52.2 square feet which exceeds the maximum allowed of 32 square feet. The internally illuminated portion of 15.6 square feet does comply with the bylaw. The red background would need to be reduced. After discussion, Mr. Olivieri asked that Mr. Chase confirm with the Town Planner that he had asked for the correct relief before their next meeting.

Chosid hearing – 17 Dunbar Road

Mr. Chosid was present. Mr. Olivieri noted that even if there had been a quorum tonight, the newspaper, in error, had not run the legal notification, so they would not have been able to take any action on this petition. Mr. Chosid briefly explained his proposal to replace an old deck, which would be smaller than what had been there. His neighbors also supported the proposal.

North Bedford Crossing LLC hearing, continued – 109 Bedford Street

Mr. Olivieri advised they had received correspondence from the petitioner requesting they continue their hearing until December 15, 2022. Mr. Carmichael made a motion, seconded by Mr. Campeau, to continue the North Bedford Crossing LLC hearing until December 15, 2022, at 7:00 p.m. The vote was **unanimous for**.

The Residences at LeBaron Hills, LLC

Mr. Olivieri said the only action they would be taking tonight is to vote on the peer review, which was considered an administrative task. He advised Mr. Resnick had sent to them for review, proposals from three engineering firms. Mr. Resnick said all of the three firms Environmental Partners, the firm the Town currently uses, Beals & Thomas, and BSC Group are qualified firms that have done peer review for 40B developments, as well as other types of developments.

After discussion about the various firms, Mr. Carmichael made a motion to use Beals & Thomas for this peer review. It was seconded by Mr. Campeau. The **vote** was **unanimous for**.

Meeting minutes

The meeting minutes for October 20, 2022, will be placed on the next agenda.

Next meeting

The next meeting is scheduled for December 15, 2022, at 7:00 p.m. at the Lakeville Public Library.

Adjourn

Mr. Carmichael made a motion, seconded by Mr. Campeau, to adjourn the meeting. The **vote** was **unanimous for**.

Meeting adjourned at 7:55.

**Zoning Board of Appeals
Lakeville, Massachusetts
Minutes of Meeting
December 15, 2022**

On December 15, 2022, the Zoning Board held a meeting at the Lakeville Public Library. The meeting was called to order by Chairman Olivieri at 7:00 p.m. LakeCam was making a video recording. Chairman Olivieri welcomed Mr. Anthony Zucco to the Board as an Associate Member. However, as they were short on members this evening, Mr. Zucco would be acting as a full member.

Members present:

John Olivieri, Jr., Chair; Chris Carmichael, Vice-Clerk; Christopher Campeau, Member; Christopher Sheedy, Associate; Anthony Zucco, Associate

Others present:

Marc Resnick, Town Planner

Sign Design/Conway hearing – 10 Main Street

Mr. Olivieri opened the Sign Design/Conway hearing and read the legal ad into the record. Mr. Sheedy recused himself from participating in this hearing. Mr. James Chase was present. He briefly explained the new sign proposal, which would replace the sign that was currently there. This is part of Conway's re-branding process. He then distributed copies of the proposal. Mr. Chase said some questions had come up during the discussion last month concerning the square footage of the backing panel exceeding the minimum square footage of 32 square feet. He advised the sign is back lit and the letters meet the maximum square footage allowed under the bylaw. He thought the sign was attractive, and he was seeking further input from the Board. The request for relief from the maximum height from the crown of the road is based on the size of the building and the replacement of the sign originally there.

Mr. Olivieri then read the October 28, 2022, correspondence from the Conservation Commission into the record. There were no conservation issues. The November 14, 2022, memo from the Planning Board recommended the size and illumination of the sign comply with the bylaw. They had no issue with the height of the sign. Ms. Claire Lapointe of 61 Main Street then read her letter to the Board into the record. She was not in favor of the proposal. She thought a sign that was 52.2 square feet was too large, and the Board should vote to either adhere to the bylaw or find a compromise limit that is closer to the bylaw.

Mr. Carmichael noted that there is presently one street sign on a pole. Mr. Chase said that was correct, and there is one sign on the building. Mr. Carmichael asked if that was installed as an allowed right. Mr. Chase said yes, it had been installed in 1999. Mr. Campeau asked what the sign would look like if the size was reduced to 32 square feet. Mr. Chase replied it would be slightly narrower. He noted the letters were back lit but the backing was not. The illumination of

the letters was within the bylaw. He then distributed an amended sign proposal with the size reduced to 32 square feet. Mr. Olivieri said that he could not see an extreme difference with complying with the current bylaw. Mr. Carmichael said they have had quite a few sign petitions, and the Board has mostly stuck with the bylaw. Mr. Zucco agreed with that. Mr. Resnick noted that a Special Permit would still be required for the height of the sign and the internally illuminated sign.

Mr. Carmichael made a motion, seconded by Mr. Campeau, to approve the internally illuminated sign request and the height of above road at 20 feet but not allow the sign to exceed 32 square feet. The **vote** was **unanimous for**.

The hearing closed at 7:18.

Documents distributed for the hearing:

- Petition packet
- Legal ad
- Conservation Commission correspondence of October 28, 2022
- Planning Board correspondence of November 14, 2022

Chosid hearing – 17 Dunbar Road

Mr. Olivieri opened the Chosid hearing and read the legal ad into the record. Mr. Chosid was present. He advised he was requesting to replace a deck that is falling apart and unsafe. The deck had also been placed over the septic tank. The new deck will be 222.8 square feet whereas the old deck was 240 square feet. The intrusion into the setback would also be decreased. He noted that both neighbors support the proposal.

Mr. Olivieri then read the November 7, 2022, correspondence from the Board of Health into the record. They had no objection to the petition as long as the proposed deck did not come within five feet of the septic system. The letter also noted that a Title V inspection had not been done at the time of the sale of the home. The Board of Health would like to know why this had not been done, or that they be provided a completed Title V inspection. The November 14, 2022, memo from the Planning Board had no comment regarding the petition. Mr. Olivieri also read the October 8, 2022, letter from Daniel Shaughnessy and the October 14, 2022, letter from Jeanne Kinsella and Roland Goncalves. Both abutters supported the project. In regards to the Board of Health comments, Mr. Olivieri suggested Mr. Chosid go speak to them directly. There were no additional comments or questions from Board members or the public.

Mr. Olivieri said he would entertain a motion to approve the Special Permit as applied for. Mr. Zucco made that motion. It was seconded by Mr. Campeau. The **vote** was **unanimous for**.

Ms. Murray explained the timing of the filings, the appeal period, etc.

The hearing closed at 7:25.

Documents distributed for the hearing:

- Petition packet
- Legal ad
- Board of Health correspondence of November 7, 2022
- Conservation Commission correspondence of November 16, 2022
- Planning Board correspondence of November 14, 2022

North Bedford Crossing LLC hearing – 109 Bedford Street

Mr. Olivieri read the December 14, 2022, letter from Atty. Michael O’Shaughnessy into the record. It was a request to continue the North Bedford Crossing LLC hearing as Mr. Youngquist was not present and would not be able to attend a meeting until January. Mr. Carmichael made a motion, seconded by Mr. Campeau, to continue the North Bedford Crossing LLC hearing until January 19, 2023, at 7:00 p.m. The **vote** was **unanimous for**.

Mr. Resnick said they had received proposals from Beals & Thomas and BSC Group in regards to this project. It is similar to the previous proposals with hourly rates based on the type of personnel working on the project and the estimated cost based on the plan. After discussion, Mr. Carmichael made a motion to use Beals & Thomas for this peer review. It was seconded by Mr. Campeau. The **vote** was **unanimous for**.

Meeting minutes

Mr. Campeau made a motion, seconded by Mr. Sheedy, to approve the meeting minutes from the October 20, 2022, meeting.

Mr. Campeau, Mr. Sheedy-**Aye**; Mr. Carmichael, Mr. Zucco, Mr. Olivieri – **Abstain**

Mr. Campeau made a motion, seconded by Mr. Sheedy, to approve the meeting minutes from the November 3, 2022, meeting.

Mr. Carmichael, Mr. Campeau, Mr. Sheedy, Mr. Olivieri -**Aye**; Mr. Zucco – **Abstain**

Review draft meeting dates for 2023

The meeting dates for 2023 had been distributed. The Zoning Board meets the third Thursday of each month.

Next meeting

The next meeting is scheduled for January 19, 2023, at 7:00 p.m. at the Lakeville Public Library.

Adjourn

Mr. Carmichael made a motion, seconded by Mr. Sheedy, to adjourn the meeting. The **vote** was **unanimous for**.

Meeting adjourned at 7:32.