

TOWN OF LAKEVILLE MEETING POSTING & AGENDA

Town Clerk's Time Stamp
received & posted:

LAKEVILLE TOWN CLERK
BOUD 2023 FEB 2 AM 11:49

48-hr notice effective
when time stamped

Notice of every meeting of a local public body must be filed and time-stamped with the Town Clerk's Office at least 48 hours prior to such meeting (excluding Saturdays, Sundays and legal holidays) and posted thereafter in accordance with the provisions of the Open Meeting Law, MGL 30A §18-22 (Ch. 28-2009). Such notice shall contain a listing of topics the Chair reasonably anticipates will be discussed at the meeting.

Name of Board or Committee:	Zoning Board of Appeals
Date & Time of Meeting:	Thursday, February 16, 2023 at 7:00 p.m.
Location of Meeting:	Lakeville Public Library 4 Precinct Street, Lakeville, MA 02347
Clerk/Board Member posting notice:	Cathy Murray

Cancelled/Postponed to: _____ (circle one)

Clerk/Board Member Cancelling/Postponing: _____

A G E N D A

1. **K & J Doggy Palace LLC hearing – 330 Bedford Street** – request for a **Special Permit** under 4.1.2 and 7.4.6 to open a dog care business which will include daycare, grooming, and boarding for small dogs.
2. **North Bedford Crossing LLC hearing– 109 Bedford Street, continued** – request for a **Comprehensive Permit** to construct twelve (12) single family residential dwellings of which three (3) units or twenty-five (25%) will be affordable to households earning up to eighty (80%) of the Area Median Income.
3. **The Residences at LeBaron Hills, LLC, hearing, continued** – request to modify their **Comprehensive Permit** and add three ten-unit buildings and one five-unit building in Phase 5.
4. **Approve Meeting Minutes for January 19, 2023.**
5. **Correspondence**
6. **Next meeting is to be determined.**
7. **Adjourn**

*Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the **Zoning Board of Appeals** arise after the posting of this agenda, they may be addressed at this meeting*

11a

Town of Lakeville
ZONING BOARD OF APPEALS
346 Bedford Street
Lakeville, MA 02347

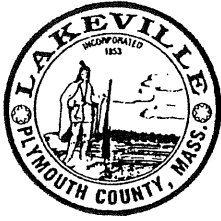


The LAKEVILLE ZONING BOARD OF APPEALS, acting in accordance with MASS GENERAL LAWS CHAPTER 40A, as amended, will conduct a public hearing on Thursday, February 16, 2023, at 7:00 P.M. in the LAKEVILLE PUBLIC LIBRARY, 4 PRECINCT STREET, upon the petition of **Kimberley and John Tavares/K & J Doggy Palace LLC**. A **Special Permit** is requested under **4.1.2** and **7.4.6** to open a dog care business. The business will include daycare, grooming, and boarding for small dogs. The property site is **330 Bedford Street** and is owned by **Gunatit Krupa LLC**.

The application and assorted documents can be viewed in the Planning Department by appointment, or on the Town of Lakeville Zoning Board of Appeals web page.

John Olivieri, Jr., Chairman

February 2, 2023 & February 9, 2023



Town of Lakeville

PLANNING BOARD
346 Bedford Street
Lakeville, MA 02347
508-946-8803

Mark Knox, Chairman
Peter Conroy, Vice Chairman
Nora Cline
Jack Lynch
Michele MacEachem

MEMORANDUM

TO: Board of Appeals

FROM: Planning Board

DATE: February 10, 2023

SUBJECT: Petition Review for K & J Doggy Palace – 330 Bedford Street

At their Thursday, February 9, 2023, meeting, the Planning Board reviewed the above referenced Petition for Hearing from the Board of Appeals. The Board has concerns regarding congestion during the afternoon pick up time. They would also like to see an additional trash barrel and doggie bags available so that any accidents could be cleaned up promptly.

Petition to be filed with Town Clerk

EXHIBIT "A"

IC

TOWN OF LAKEVILLE MASSACHUSETTS

RECEIVED
JAN 23 2022

ZONING BOARD OF APPEALS
PETITION FOR HEARING

BOARD OF APPEALS

Name of Petitioner: Key Doggy Palace LLC - Kimberly + John Tarara

Mailing Address: 10 Woodrow Lane West Bridgewater MA 02379

Name of Property Owner: Nitant (Nick) Raval

Location of Property: 330 Bedford Street Lakeville MA

Property is located in a residential business _____ industrial (zone) _____

Registry of Deeds: Book No. 50275-10071 Page No. _____

Map 057 Block 001 Lot 012

Petitioner is: _____ owner tenant _____ licensee _____ prospective purchaser _____

Nature of Relief Sought:

- Special Permit under Section (s) _____ of the Zoning Bylaws
- _____ Variance from Section (s) _____ of the Zoning Bylaws.
- _____ Appeal from Decision of the Building Inspector/Zoning Enforcement Officer
- _____ Date of Denial

Brief to the Board: (See instructions on reverse side - use additional paper if necessary.)

Looking to receive my Kennel Lic for Boarding. Transferring my business from Lynnham to Lakeville Mass.

I HEREBY REQUEST A HEARING BEFORE THE ZONING BOARD OF APPEALS WITH REFERENCE TO THE ABOVE PETITION OR APPEAL. ALL OF THE INFORMATION ON THIS PETITION, TO THE BEST OF MY KNOWLEDGE, IS COMPLETE AND ACCURATE AND CONFORMS TO THE REQUIREMENTS ON THE BACK OF THIS PETITION FORM.

Petitioner: _____

Date: Jan 20, 2023

Signed: Kimberly Tarara
John M. Tarara

Telephone: 781-267-0161

Owner Signature: _____
(If not petitioner)

Owner Telephone: 781-267-0726

Email: Kimmytar73@gmail.com

WILL YOU HAVE A REPRESENTATIVE OTHER THAN YOURSELF?

_____ Yes _____ No

(Name and Title)

K+J Doggy Palace
BUSINESS PLAN:

We are looking to Relocate our Business for Daycare / Grooming / Boarding. We focus on Small Breeds. Boarding only 4 Dogs only. We offer Grooming / Daycare for Small Dog 35 lbs. under 10 a Day. is max for our facility.

We offer Boarding overnights Max is (4 Dogs only) max weight 80 lbs.

Hours Operation are 7-7pm
Monday - Fridays

Sat 8-2pm. Daycare / Grooming
Sunday - Closed -

Retail - is Dog Sprays / Candles

BUSINESS PLAN:

We have Drop off from 7-9am for Daycare. Mon. Friday 7-7pm.

Grooming is by appointments we Do Mon. Wed. Thurs Friday Sat. 10-5pm.

Boarding is By Request only 4 max max Dog eat lunch / Supper - Playtime all-day

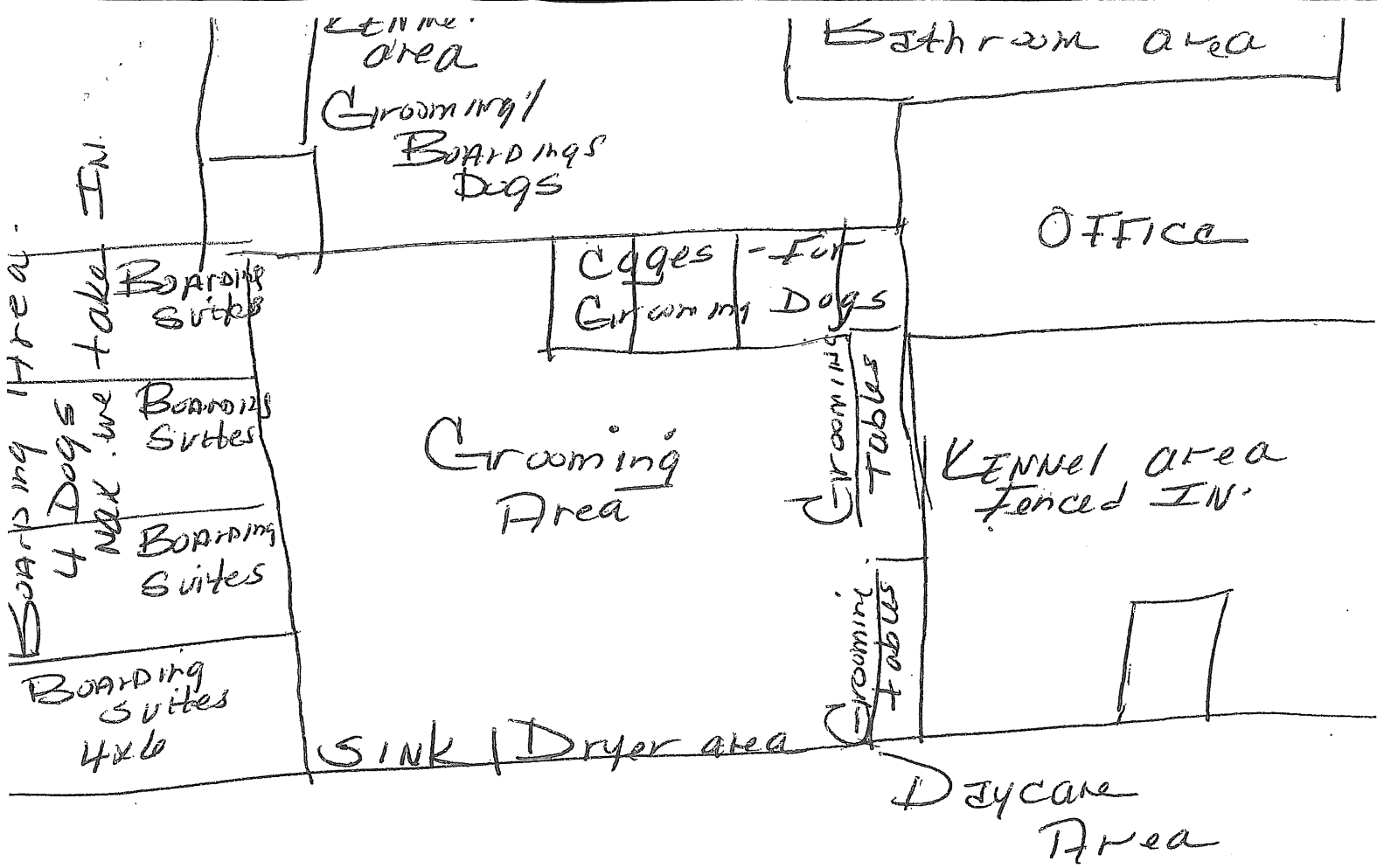
All Dogs have to update with all shots
to be able to come to the facility.
Our Safety is our first Priority to
our Staff Families -

All Dogs needs to be leashed when
coming & leaving K+S. Doggy Palace

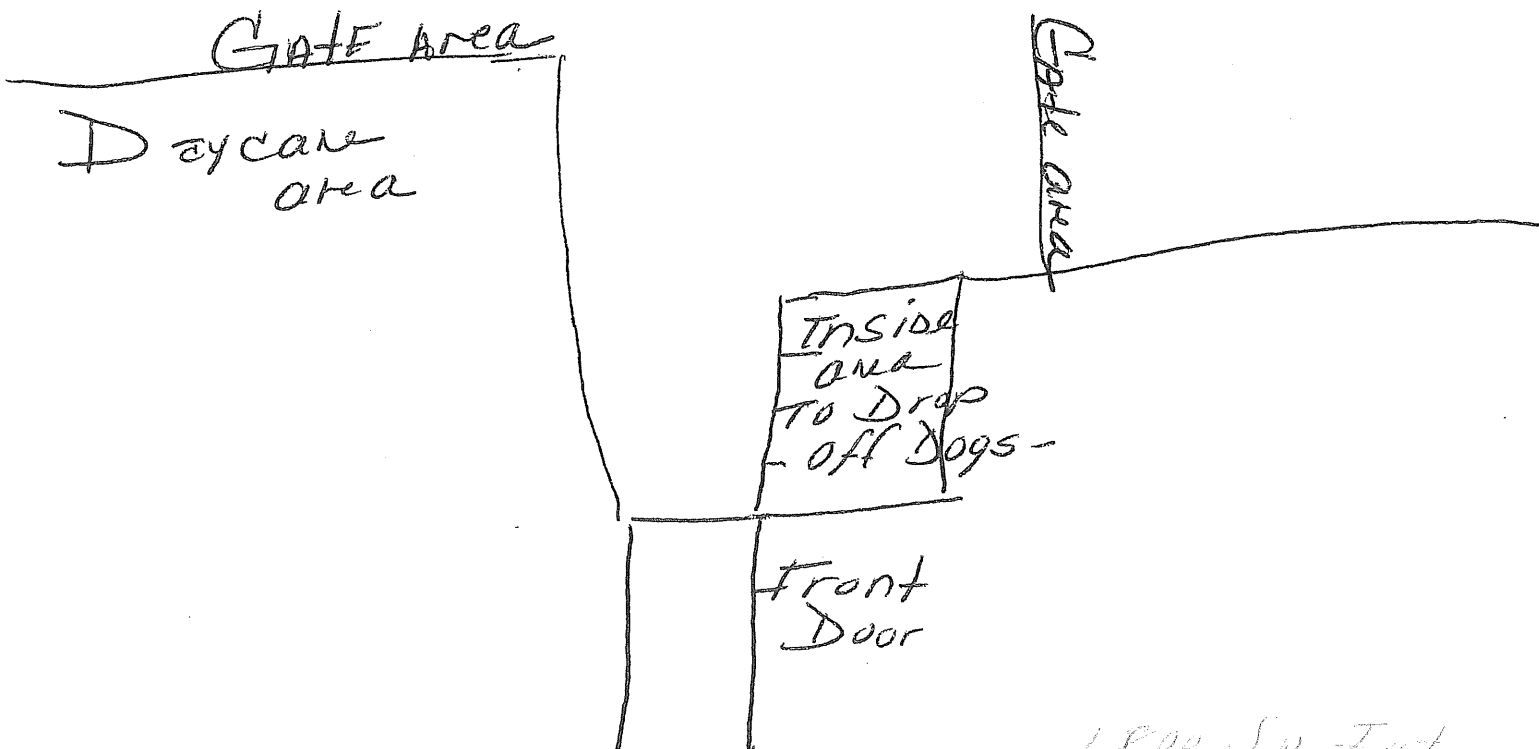
We provide ~~Safety~~ all our families
with Safety for furry Pets. at all-time

PLEASE Review and let us Reocate
to Lakeville 330 Bedford St.
Lakeville, Ma.

Thank you
John & Kimberley
Taranes



OPEN Play area



Town of Lakeville
ZONING BOARD OF APPEALS
346 Bedford Street
Lakeville, MA 02347



The LAKEVILLE ZONING BOARD OF APPEALS, acting in accordance with MASS GENERAL LAWS CHAPTER 40B, as amended, will conduct a public hearing on Thursday, December 15, 2022, at 7:00 P.M. in the LAKEVILLE PUBLIC LIBRARY, 4 PRECINCT STREET, upon the petition of **North Bedford Crossing LLC** for a **Comprehensive Permit** pursuant to **M.G.L., Chapter 40B** to construct twelve (12) single family residential dwellings of which nine (9) will be sold as market rate units and three (3) will be sold as affordable units to households earning up to eighty (80%) of the Area Median Income, in accordance with applicable state regulations and guidelines. The project will be located at **109 Bedford Street** and shown on Lakeville Assessor's Map 025, Block 003, Lot 021.

The application and assorted documents can be viewed in the Planning Department by appointment, or on the Town of Lakeville Zoning Board of Appeals web page.

John Olivieri, Jr., Chairman

December 1, 2022 & December 8, 2022

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Law Office of
Michael P. O'Shaughnessy
43 East Grove Street, Suite 5
Middleboro, MA 02346
Phone: (508) 947-9170
E-mail: mike@mpoesq.com

RECEIVED
NOV 29 2022
BOARD OF APPEALS

November 29, 2022

Town of Lakeville
Zoning Board of Appeals
Attention: Mr. John Olivieri, Jr., Chairman
346 Bedford Street
Lakeville, MA 02347

Re: Comprehensive Permit Application
North Bedford Crossing ("Project")
109 Bedford Street, Lakeville, MA
Board of Assessors Map 025 Block 003 Lot 021

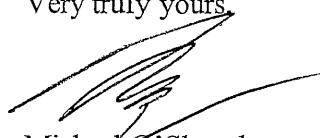
Dear Mr. Olivieri:

This office represents North Bedford Crossing, LLC ("LLC"). As discussed at the October 20, 2022 meeting with the Zoning Board of Appeals, the LLC has revised the project and reduced the number of proposed units from twenty (20) to twelve (12). The revised project will be twelve (12) three-bedroom, single family residences with attached garages. Three (3) of the units (or twenty-five (25%) percent) will be affordable to households earning up to eighty percent (80%) of the Area Median Income, in accordance with applicable regulations and guidelines. Nine (9) units will be sold as market rate units. Zenith Consulting Engineers, LLC has submitted revised site plans and revised drainage calculations. Elevations and floor plans of the proposed houses have also been submitted.

Accompanying this letter, is an updated request for waivers and an updated site tabulation sheet.

Should you have any questions or comments, please do not hesitate to contact me.

Very truly yours,



Michael O'Shaughnessy

**North Bedford Crossing – List of Requested Waivers
November 29, 2022**

TOWN OF LAKEVILLE ZONING BYLAWS 1994 Revision with Amendments Through May 16, 2022)			
BY-LAW	SUBJECT	REQUIREMENT	WAIVER REQUEST
<u>Section 2.0 Definitions</u>			
2.0	Frontage	That portion of a lot which is bounded by the street line or way, the sidelines and the minimum building setback line. The frontage must be suitable for development of an access route or driveway to the building site.	Waive minimum lot width requirement at building setback
<u>Section 5.0 Intensity Regulations</u>			
5.1	Residential Dimensional Requirements	Min Lot Area 70,000 SF Frontage 175 feet Front Yard Setback 40 feet Side Yard in feet - 20 feet Rear Yard setback- 20 feet Max. Percentage of Land Covered by structures, parking and paved areas – 25%	Waive minimum lot size, frontage and side yard setbacks and allow the following: <u>Lot 1</u> Lot Area – 13,079 square feet Frontage – 142.44 +/- Front Yard setback – 39 feet Side Yard setback – 12 feet Rear Yard setback – 19 feet <u>Lot 2</u> Lot Area – 10,653 square feet Frontage – 84.59 +/- Side Yard setback – 12 feet Rear Yard setback – 19 feet Lot Coverage – 30% <u>Lot 3</u> Lot Area – 11,586 square feet Frontage – 102.39 +/- Side Yard setback – 10 feet <u>Lot 4</u> Lot Area – 9,837 square feet Frontage – 63.89 +/- Side Yard setback – 10 feet Lot Coverage – 33%

			<p><u>Lot 5</u> Lot Area – 10, 024 square feet Frontage – 64.83 +/- Side Yard setback – 10 feet Lot Coverage – 27%</p> <p><u>Lot 6</u> Lot Area – 9,864 square feet Frontage – 64.11 +/- Side Yard setback – 10 feet</p> <p><u>Lot 7</u> Lot Area – 10,047 square feet Frontage – 65.01 +/- Side Yard setback – 10 feet</p> <p><u>Lot 8</u> Lot Area – 12,035 square feet Frontage – 156.60 +/- Front Yard setback – 12 feet Side Yard setback – 10 feet</p> <p><u>Lot 9</u> Lot Area – 9,978 square feet Frontage – 128.41 +/- Front Yard setback – 12 feet Lot Coverage – 30%</p> <p><u>Lot 10</u> Lot Area – 9,446 square feet Frontage – 27.81 +/- Side Yard setback – 10 feet Rear Yard setback – 18 feet Lot Coverage – 34%</p> <p><u>Lot 11</u> Lot Area – 11,620 square feet Frontage – 51.00 +/- Lot Coverage - 32%</p>
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			<p><u>Lot 12</u> Lot Area – 22,496 square feet Front Yard setback – 30 feet Side Yard setback – 11 feet</p>
5.1.2	Front Yard Circle	No dwelling, building or structure having permitted use in any district shall be erected on a lot unless the lot has an area within its bounds which encompasses a front yard circle with a minimum diameter of 160 feet and within which the frontage, or frontage at the required set back must pass.	Waive front yard circle requirement for all lots
5.2.2	Footnotes to Intensity Requirements	Any portion of a lot which is less than fifty (50) feet in width or depth when measured from any point on a property sideline to any other point on an opposite sideline shall not be included in the determination of the required minimum area and/or frontage	Waive in its entirety for all lots
SECTION 6.7 SITE PLAN REVIEW			
6.7.3	Site Plan Review	Applicants for a building permit for new construction of or for modification or addition to any residential structure which will disturb more than 43,560 square feet of ground shall submit three (3) copies of a site plan as described herein to the Town Clerk for Planning Board approval. Failure of the Planning Board to act within twenty-one (21) days of receipt of a site plan shall be deemed lack of opposition thereto.	Waive in its entirety. Under G.L. c. 40B, the Zoning Board of Appeals acts as the Planning Board. Additionally, the Zoning Board of Appeals will undertake site plan review as the issuing authority for a comprehensive permit.

TOWN OF LAKEVILLE ZONING BYLAWS RULES AND REGULATIONS OF THE PLANNING BOARD
 revised through January 26, 2016

SUBJECT	REQUIREMENT	WAIVER REQUEST
Section IV Design and Construction Standards		
A.5	General – Grade Stakes The context of work required is as shown upon approved plans, and is in compliance with the Standard Cross Section Plans. Stakes shall be set which will indicate the exact amount of cut or fill.	Waive grade stake requirements
A.6	General – Completion of Construction As each construction operation is completed, it shall be approved by the proper Town authority prior to starting work on the succeeding operation.	Waive – inspection of the work to be coordinated with the planning department.
B.1.c	Access to Adjacent Properties Provision satisfactory to the Planning Board shall be made for the proper projection of streets or for access to adjoining property, whether or not subdivided	Waive in its entirety.
B.1.d	Reserve Strips Reserve strips prohibiting access to streets or adjoining property shall not be permitted, except where, in the opinion of the Planning Board, such strips shall be in the public interest.	Waive in its entirety.
B.2.a	Alignment Street jogs with centerline offsets of less than one hundred and fifty feet (150') shall be avoided	Waive – Allow a street jog of greater than 150 feet
B.2.b	Alignment The minimum horizontal centerline radii of streets shall be as follows: Minor Streets - One Hundred and Fifty Feet (150')	Waive – Allow the minimum horizontal centerline radii to be less than 150 feet
B.3.a	Width The minimum width of any street right-of-way, including dead-end streets, shall be fifty feet (50').	Waive. Allow Street right of way to be 30 feet
B.4.c	Grade Where changes in grade exceed one percent (1%), vertical curves, as required by the Board will be provided; and where a grade is five percent (5%) or greater within one hundred and fifty feet (150') of the intersection of street right-of-way lines, there shall be provided in a residential subdivision a leveling area of at least seventy-five feet (75') with a maximum grade of three percent (3%), and in all other subdivisions, a leveling area of at least two hundred feet (200'), with a maximum grade of two percent (2%); and at all other intersections there shall be a leveling area of at least fifty feet (50').	Waive leveling area requirement at intersection of roadway and Bedford Street
B.5.a	Dead-End-Streets For the purposes of this section, any proposed street which intersects solely with a dead-end street shall be deemed to be an extension of the dead-end street. Dead-end streets and their extensions, if any, shall not be longer than seven hundred and fifty feet (750').	Waive 750-foot dead end roadway length limitation and allow roadway to be 912.30 feet in length

B.5.b	Dead-End-Streets	Dead-end streets shall be provided at the closed end with a turn-around having an outside roadway diameter of at least one hundred twenty (120') feet and a property line diameter of at least one hundred forty (140') feet unless otherwise specified by the Planning Board. If the dead-end street is not intended to connect with another street at some future point in time, the Planning Board may, at its option, require a minimum outside roadway diameter of one hundred sixty (160') feet. A property line diameter of one hundred eighty (180') feet and the placement of a circular landscape island with minimum radius of forty (40') feet at the center of the turn-around	Waive requirement of a cul de sac at the end of a dead end way and allow hammer head style turnaround around between lot 8 and lot 9.
B.7.a	Curbs and Berms	Bituminous concrete berms and curbs of six inches (6") in height shall be provided along each side of the roadway where there are sidewalks. All other roadways without sidewalks except where granite curbs shall be provided, shall have eighteen inch (18") flat berm, one (1) layer two and one-half inch (2 and ½") Bituminous concrete: at intersections along the roadway the distance of the arcs of the curves plus a straight section at each end of eight feet (8'). Granite curb shall be type SB sloped edging. (Subsection M9.04) along each edge of a roadway where the grade exceeds five percent (5%). on the inner side of all curves with a radius less than two hundred and fifty feet (250'). The elevation of the curb shall be seven inches (7") higher than the gutter line.	Waive Allow cape cod style berms as per the curb detail as shown on the project plans Waive 7" minimum elevation at gutter line
B.7.c	Curbs and Berms	The profile of the berm is subject to Planning Board approval.	Waive in its entirety. Under G.L. c. 40B, the Zoning Board of Appeals acts as the Planning Board.
B.8.a	Sidewalks	Sidewalks shall be constructed within the subdivision.	Waive sidewalk requirement
B.8.b	Sidewalks	The sidewalks shall extend the full length of the street and shall be of the following widths: Along all Streets Five feet (5') On one side Except around a cul-de-sac a sidewalk need be provided on one (1) side only, the exterior side.	Waive in its entirety
B.8.c	Sidewalks	Bituminous concrete sidewalks shall have a minimum thickness of two 1.1/2 courses each after compression.	Waive in its entirety
C.2	Utilities -Installation	Water Facilities-Installation b) Water Supply. Potable water of quality and quantity	

		<p>acceptable to the Board of Health for domestic use, and fire protection water with a minimum open hydrant flow of 500 gallons per minute shall be provided in each subdivision, at minimum residual pressure of 20 pounds per square inch. Water lines shall be at least 6-inch diameter cement-lined cast iron, 150-pound class or equivalent, and shall be furnished with adequate valves and appurtenances to the specifications of the Town. Whenever possible, water pipes shall be extended and connected to form a loop, if need be using easements across lots. Where no municipal water supply is available within a reasonable distance of the subdivision, the Board will not approve a subdivision plan unless adequate groundwater supply is available at the site, in the opinion of the Planning Board acting with the advice of the Board of Health.</p>	<p>Waive – minimum residual pressure requirements</p>
C.3		<p>On-site sewage disposal facilities shall be installed and constructed in conformity with the rules, regulations and requirements of the Board of Health. On-site septic tanks and leaching fields may be located in the front side or rear yard of the building(s) served, with the front yard preferred. Due consideration should be given to surface and sub-surface soil conditions, drainage and topography in the location of such on-site facilities, and in no instance can any portion of the sewage disposal facilities be located closer than twenty feet (20') to a property line.</p>	<p>Waive in its entirety and apply Title V requirements</p>
C.4		<p>Where adjacent property is not subdivided or where all the property of the applicant is not being subdivided at the same time, provision shall be made for the extension of the utility system by continuing the mains the full length of streets and to the exterior limits of the subdivision, at such grade and size which will, in the opinion of the Planning Board, permit their proper extension at a later date.</p>	<p>Waive requirement of extending utilities to exterior limits</p>

D.2		<p>Procedure. (May be modified by the Planning Board to suit the problems and needs of a particular subdivision.)</p> <p>d) In general, the design of pipes shall be such as to provide for a flow of water at speeds between two (2) and twelve (12) feet per second; the minimum grade shall be not less than 0.4 percent for pipes twelve inches (12") and less in diameter, and 0.25 percent as absolute minimum; the minimum pipe diameter shall be twelve inches (12"), except that ten-inch (10") pipe may be used to connect a single catch basin across the street; catch basins shall have a two-and-one-half-feet (2.5') sump below invert; and all drop manholes or inlets with a drop of six feet (6') or more shall be provided with a splash pad. Catch basins or inlets shall be spaced along both sides of a street at approximately 400 feet intervals, and located at allow points and corner roundings at street junctions.</p>	Allow sumps to be four(4) feet below invert
D.3		<p>Final Approval. Where runoff detention features are required, a proposed development shall in no case receive final approval until the site has been inspected by the Planning Board or the Board's agent, to ensure that detention facilities have been installed as proposed in the Definitive Plan.</p>	Waive in its entirety. Under G.L. c. 40B, the Zoning Board of Appeals acts as the Planning Board.
D.4		<p>Lot Drainage. Lots shall be prepared and graded in such a manner that development of one shall not cause detrimental drainage on another; if provision is necessary to carry drainage to or across a lot, an easement or drainage right-of-way of a minimum width of twenty feet (20') and proper side slope shall be provided. Storm drainage shall be designed in accord with the specifications of the Board. Where required by the Planning Board or the Board of Health, the applicant shall furnish evidence that adequate provision has been made for the proper drainage of surface and underground waters from any lot or lots. Storm water shall not discharge overland across lot lines. Drainage conveyances and easements shall be provided to convey storm water to the nearest permanent stream or municipal drainage system.</p>	Waive – Allow easement of less than 20 feet

D.5		<p>Construction. Drainage facilities shall be provided as indicated on the plan and in conformity with the requirements of Sections 200, 220, and 230 of the Standard Specifications.</p> <p>The standard depth of catch basins shall be two and one-half feet (2 and ½') below the invert of the outlet. Manholes shall be constructed to the required depth at each junction point and as shown on the plan. Pipe culvert and pipe drains shall be in conformity with the requirements of Section 230 for installation of pipes.</p> <p>All drain pipes except sub-drains shall be reinforced concrete pipe and shall be installed according to the size as shown on the plans. No backfilling of pipes shall be done until the installation has been inspected by the Planning Board's Agent. All drainage trenches shall be filled with clean gravel borrow in accordance with Section 150.</p>	<p>Waive -Allow four foot sump below invert</p> <p>Waive – allow pipe to be High-density polyethylene (HDPE)</p>
E	Open Space	<p>Before approval of a plan the Planning Board may also, in proper cases, require the plan to show a park or parks, suitably located for playground or recreation purposes or for providing light and air. The park or parks shall not be unreasonable in area in relation to the land being subdivided and to the prospective uses of land. The Planning Board may by appropriate endorsement on the plan, require that no building be erected upon such park or parks without its approval for a period of three (3) years. Pedestrian ways, hike ways, or bridle paths of not less than fifteen feet (15') in width may be requested where deemed desirable to provide circulation or access to schools, playgrounds, parks, shops, transportation, open spaces and/or community facilities. Each area reserved for such purpose shall be of suitable area, dimensions, topography and natural character for the purposes of a park and/or playground. The area or areas shall be so located as to serve adequately all parts of the subdivision as approved by the Planning Board. The Planning Board may require that the area or areas reserved shall be located and laid out so as to be used in conjunction with similar areas of adjoining subdivisions or of probable subdivisions. Unless otherwise specifically approved by the Planning Board, the total amount of area to be reserved for park and/or playground purposes shall be no less than five percent (5%) of the gross area of the subdivision with a minimum of one acre</p>	<p>Waive in its entirety</p>

		when ten or more lots. Any land so reserved shall be graded to dispose properly of surface water and shall be left in condition for the purpose intended, as required by the Planning Board.	
F.1	Easements	Where utilities cross lots or are centered on rear or side lot lines, easements shall be provided of a width of at least twenty feet (20').	Waive twenty (20) foot easement requirement and allow as shown on plans
F.4	Easements	General, access, drainage, or utility easements shall not be included in the lot area.	Waive in its entirety
H.2	Street Signs and Names	Street names shall be approved by the Planning Board to prevent duplication and to provide names in keeping with the character of the Town.	Waive – Street named to be approved by 911 coordinator
H.3	Street Signs and Names	From the time of rough grading until such time as each street is accepted by the Town as a public way, the sign posts at the intersection of such street with any other street shall have affixed thereto a sign designating such street as a private way.	Waive
I.1	Street Lights	Street lights shall be installed to conform to the type and style in general use in the Town of Lakeville unless otherwise specified by the Planning Board.	Waive street lights and allow driveway lanterns at each driveway
I.2	Street Lights	Street lights shall not be nearer than twenty-five feet (25') from the intersection of two (2) streets, measured from the intersection of the tangents of the intersecting street curb lines; and shall be placed in back of sidewalks wherever possible.	Waive in its entirety
I.3	Street Lights	Street lights shall be installed in accord with the procedure required by the Board of Selectmen and the applicable utility company.	Waive in its entirety
J.	Utility Poles	Utility poles, hydrants, and street shade trees shall not be nearer than twenty-five feet (25') from the intersection of two (2) streets, measured from the intersection of the tangents of the intersecting street curb lines; and shall be placed in back of sidewalks wherever possible.	Waive in its entirety
K.1	Trees	Where reasonable deciduous street trees shall be planted on each side of each street in a subdivision, except where the Definitive Plan showed trees to be retained which are healthy and adequate. Such trees shall be located outside of the right-of-way as shown in the Profile and Standard Cross Sections Schedules A and B, approximately at forty foot (40') intervals, and shall be at least twelve feet (12') in height, two inches (2") in caliper measured four feet (4') about the approved grade, and shall be planted each in at least one-half (½) cubic yard of topsoil unless otherwise required by the Tree Warden.	Waive in its entirety. Allow plantings as shown on plans

K.2	Trees	The developer shall plant other trees as needed to provide at least one (1) area of shade to each lot.	Waive in its entirety. Allow plantings as shown on plans
K.3	Trees	All deciduous street trees shall be clear of any branches from the approved grade level to a point seven feet (7') above ground level	Waive
K.5	Trees	No evergreen trees such as pine, fir, spruce or hemlock are to be planted on an easterly or southerly side of a road, street or way.	Waive in its entirety. Allow plantings as shown on plans
L	Protection of Natural Features	Due regard shall be shown for all natural features, such as large trees, wooded areas, water courses, scenic points, historic spots, and similar community assets, which, if preserved, will add attractiveness and value to the subdivision. Outside of street right-of-ways, no trees over a twenty-four inch (24") caliper measured at four feet (4') above the existing grade shall be removed or have the grade level surrounding the trunk altered by more than six inches (6") without approval of the Planning Board.	Waive in its entirety
M	Maintenance Improvements of	For the purpose of protecting the safety, convenience and welfare of the Town's inhabitants; for the provision of adequate access to all of the lots in a subdivision by ways that will be safe and convenient for travel; for reducing the danger to life and limb in the operation of motor vehicles; for securing safety in the case of fire, flood, panic and other emergencies; under the authority of Chapter 41, Section 81-M as amended, the applicant or his successor shall provide for the proper maintenance and repair of improvements under this Section of the Rules and Regulations during the construction and for the period of twenty-four (24) months after the completion of the construction of said improvements or until the Town votes to accept such improvements, whichever comes first. Such maintenance shall include snow removal beginning from the time of occupancy of an individual owner or tenant other than the developer.	Waive in its entirety.
N.1	Erosion and Sedimentation	These requirements may be waived. However, in a subdivision with excessive slope or a subdivision which abuts or includes a stream(s), wetlands or pond(s), or where major earth work is anticipated, an erosion and sedimentation analysis shall be presumed necessary unless a waiver is received. Approval of a subdivision plan may be denied until the existing average annual erosion and the expected average annual erosion during and after construction is determined. The developer may be required to submit an erosion and sediment control plan, if based on the	Waive erosion and sedimentation analysis as an erosion and control plans has been submitted

		analysis of erosion potential the Board determines that sedimentation will have an impact on nearby wetlands, streams, ponds, and other water bodies.	
N.2	Erosion and Sedimentation	<p>Procedure. (May be modified by the Planning Board to suit problems and needs of a particular subdivision.)</p> <p>a) Using the methods described in Guidelines for Soil and Water Conservation in Urbanizing Areas of Massachusetts, Appendix J, published by the Soil Conservation Service, the developer shall use the Universal Soil Loss Equation to estimate the present annual soil loss from the site, as well as the estimated annual soil loss from the site while under construction and after construction is completed.</p> <p>b) The developer shall submit as part of the Definitive Plan a soil erosion and sedimentation control plan, if the Board determines that erosion due to development activity will be excessive or significant to wetlands, streams, ponds, or other water bodies. This plan shall consist of a drawing certified by a registered civil engineer, identifying appropriate control measures and their location. Also, the drawing shall show all natural drainage ways and water bodies in and adjacent to the proposed subdivision. The drawing shall be at a scale of one inch (1") equals forty feet (40'), and show the existing and proposed topography at five-foot (5') contour intervals.</p> <p>c) If erosion and sedimentation control measures are required, they shall be adequate to retain all erosion within the subdivision and away from nearby water systems, both during and after construction. A timetable outlining anticipated construction activity and associated erosion and sedimentation control measures shall be submitted to the Board. All work shall be subject to periodic inspection by the Board or Board's agents.</p>	Waive in its entirety as an erosion and control plans has been submitted
SECTION V - ADMINISTRATION			
D.	Inspection Notices	The subdivider shall notify the Highway Surveyor and the Engineer designated by the Board at least 48 hours prior to the time at which each one of the required inspections should take place. The subdivider shall provide safe and convenient access to all parts of work for inspection by the Highway Surveyor and by the Board's engineer, members or agents. No work shall be approved that has been covered before the required inspection.	Waive in its entirety. Inspection of the project to be coordinated through the planning director or planning department

		<p>To assure compliance, the following procedure must be followed:</p> <ol style="list-style-type: none">1. The developer must notify the Highway Surveyor and the engineer designated by the Board in writing of the start of construction.2. The developer must notify the Highway Surveyor and the engineer designated by the Board when underground utilities and drainage are installed in order that inspection may be carried out before any backfilling is done.3. The subgrade must be approved by the Highway Surveyor and the engineer designated by the Board before the application of the gravel base course.4. The gravel base course must be approved by the Highway Surveyor and the engineer designated by the Board before the application of bituminous concrete (street or sidewalk).5. The developer must notify the Highway Surveyor and the engineer designated by the Board at the start of each application of bituminous concrete on the street and sidewalk and of placement of curbing.6. The developer must keep the Highway Surveyor and the engineer designated by the Board informed when materials and other items of work are ready for inspection such as the installation of bounds, loam and seeding, and general cleanup.7. Occupancy permits will not be issued until street signs have been erected.	
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**Town of Lakeville Zoning Board of Appeals
 Comprehensive Permit Application
 North Bedford Crossing Site Tabulation
 12 Single Family Residences**

I. Site Information

	<u>Square Feet (+/-)</u>	<u>% of Lot</u>
Total Area	241,539	100
Upland	230,236	95
Wetland	11,303	5

II. Lot Coverage Summary

	<u>Square Feet (+/-)</u>	<u>% of Lot Coverage</u>
Buildings	17,434	7
Pavement/Sidewalk	37,891	16
Usable Open Space	174,911	72
Unusable Open Space	<u>11,303</u>	<u>5</u>
Total	241,539	100.00

III. Parking

Interior (Garage)	18
Exterior	<u>33</u>
Total	51

IV. Density

Gross (units /acre)	$12/5.7 = 2.11$ units/acre
Net (units /buildable acre)	$12/5.5 = 2.18$ units/acre

V. Units

	<u>Units</u>	<u>BR</u>
Market 3BR units	9	27
Affordable 3 BR Units	<u>3</u>	<u>9</u>
	12 units	36 Bedrooms

VII. Proposed Buildings

# Units	Living Area (sf)	Bedrooms	Baths
5	1,394	3	2.5
5	1,552	3	2
2	1,977	3	2.5



Lakeville Fire Department

346 Bedford Street
Lakeville, Massachusetts 02347

TEL 508-947-4121 FAX 508-946-3436

MICHAEL O'BRIEN
FIRE CHIEF
mobrien@lakevillema.org

PAMELA GARANT
DEPUTY CHIEF
pgarant@lakevillema.org

To: Zoning Board of Appeals

From: Michael P. O'Brien, Fire Chief 

Date: December 9, 2022

RE: 109 Bedford Street-Revised Plan

This document has been written as comment on the proposed changes to the comprehensive plan for 109 Bedford Street. The Lakeville Fire Department has reviewed the proposed plan and has discussed the plan with the submitting engineer.

The Lakeville Fire Department requests that the following conditions be attached to any permit that may be issued for this location.

1. Hydrant location will be moved to a location 700 feet into the road (just prior to turn around), south side, to provide improved coverage.
2. The collective ownership of the property shall maintain the private fire hydrant, per the fire code, and provide proof of maintenance to the fire department annually.
3. The fire department turnaround shall be restricted from parking or obstruction. Signage (where practical) and striping on pavement will be used as a deterrent to the blocking of the turnaround.

Thank you for the opportunity to comment on this proposal, the Fire Department is available for any additional information or comment.

2d



TOWN OF LAKEVILLE

Town Administrator's Office

346 Bedford Street
Lakeville, MA 02347
(508) 946-8803

December 6, 2022

TO: John Olivieri, Jr., Chairman
Zoning Board of Appeals

FROM: Ari J. Sky, Town Administrator *AS*

SUBJECT: 109 Bedford Street - Comprehensive Permit Application

At its December 5, 2022, meeting, the Select Board reviewed the revised comprehensive permit application for the property located at 109 Bedford Street. After a discussion on the revised application, the Select Board asked staff to provide the following comments:

- The project has been revised from 20 multi-family units to 12 single family units, which is a significant change. The Board would like to confirm that approval of the change has been received from MassHousing prior to the Zoning Board of Appeals considering the revised application.
- It was noted that three (3) of the proposed lots still do not meet the setback requirements. Select Board Member LaCamera felt that as they are now individual lots, they should conform to the setback requirements.
- The applicant is requesting 46 waivers from the bylaws. The Board expressed concerns regarding the number of requested waivers.

Thank you for your consideration. We would appreciate any clarification from the ZBA regarding these comments.

Cc: Town Planner

2e



Massachusetts Housing Finance Agency
One Beacon Street Boston, MA 02108

Tel: 617-854-1000 | Relay 711
Fax: 617-854-1091 | www.masshousing.com

January 4, 2023

Michael O’Shaughnessy, Esq.
43 East Grove Street, Suite 5
Middleboro, MA 02346

Re: Notice of Project Change
North Bedford Crossing, Lakeville, MA
MH ID No. 1136

Dear Attorney O’Shaughnessy:

We have received your Notification of Project Change describing proposed modifications to the above-captioned Chapter 40B development. The Project received a Determination of Project Eligibility (Site Approval) from MassHousing on April 15, 2022, for the construction of 20 homeownership units on approximately 5.5 acres of land located on 109 Bedford Street, known as North Bedford Crossing (the “Project”).

You requested a determination as to whether a proposed modification including a change in building type from 10 duplex style buildings to 12 single family residences, would be considered Substantial Changes in accordance with 760 CMR 56.04 (5).

MassHousing has reviewed the revised plans and has determined that the proposed changes are in fact, a substantial change in accordance with 760 CMR 56.04 (5) and 760 CMR 56.07(4)(c). MassHousing has also reviewed the revised Site Plans with attention to the project eligibility requirements set forth in 760 CMR 56.04(1). Since compliance with those requirements will not be affected by the proposed changes, MassHousing can confirm that a new Project Eligibility Letter is not required in this instance.

It is MassHousing’s interpretation of the Comprehensive Permit Regulations that Subsidizing Agencies should normally not update Project Eligibility Letters as a project develops but should, rather, consider whether the initial proposal is eligible for a subsidy program at the project eligibility stage and then consider whether the final proposal is eligible directly before construction at the Final Approval stage. Any other approach could interfere with Chapter 40B’s goal of expedited permitting. It is for this reason that a Project Eligibility Letter issued pursuant to the Comprehensive Permit Regulations shall, pursuant to 760 CMR 56.04(6), be conclusive evidence that the project and the applicant have satisfied the project eligibility requirements.

Charles D. Baker, Governor
Karyn E. Polito, Lt. Governor

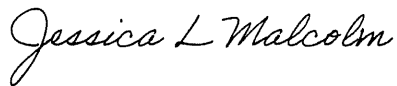
Jeanne Pinado, Chair
Carolina Avellaneda, Vice Chair

Chrystal Kornegay, Executive Director

MassHousing will review the approved Comprehensive Permit Plans once the Project returns for Final Approval, and at that point will determine whether the approved plans still meet the requirements of the 40B regulations and guidelines.

If I can answer any further questions regarding this Project, please do not hesitate to contact me.

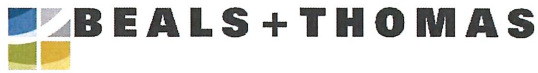
Very truly yours,



Jessica L. Malcolm
Manager
Planning and Programs

cc: The Honorable Michael J. Rodrigues
 The Honorable Norman J. Orrall
 Evagelia Fabian, Vice Chair, Select Board
 John Olivieri, Jr., Chair, Zoning Board of Appeals
 Ari J. Sky, Town Administrator

2f



February 8, 2023

Town of Lakeville Zoning Board of Appeals
c/o Marc Resnick, Town Planner
Town of Lakeville
346 Bedford Street
Lakeville, Massachusetts 02347

Via: Email to mresnick@lakevillema.org

Reference: Chapter 40B Comprehensive Permit Application
North Bedford Crossing
109 Bedford Street
Lakeville, Massachusetts
B+T Project No. 3420.01

Dear Mr. Resnick and Members of the Zoning Board of Appeals:

Beals and Thomas, Inc. (B+T) is pleased to assist the Town of Lakeville Zoning Board of Appeals (the Board) with the peer review of the proposed Chapter 40B Comprehensive Permit Application for North Bedford Crossing (the Project). We understand that North Bedford Crossing, LLC (the Applicant) proposes to develop a 12-lot residential subdivision, comprised of 12 three-bedroom homes at 109 Bedford Street (the Site). The Project also consists of associated site improvements including, landscaping, utility connections, and a stormwater management system (the Project).

As directed by the Board, our review has focused on site layout/constructability considerations and stormwater management. Evaluation of other items, such as landscaping, pedestrian and vehicular access, waiver requests, etc. have not been thoroughly considered.

We received the following documentation, which served as the basis of our review:

- *Comprehensive Permit Site Plan, "North Bedford Crossing" 109 Bedford Street, Lakeville, Massachusetts*, dated November 22, 2022, prepared by Zenith Consulting Engineering, LLC (ZCE) (9 sheets)
- *Stormwater Management Report, Residential Development, "North Bedford Crossing" 109 Bedford Street, Lakeville, Massachusetts*, November 22, 2022, prepared by ZCE (105 pages)

We have reviewed the documentation submitted by the Applicant with respect to the requirements of the Town of Lakeville Rules and Regulations of the Planning Board Governing the Subdivision of Land (the Regulations); the Town of Lakeville Zoning By-law (the By-law); the Massachusetts Department of Environmental Protection (MassDEP) Stormwater Regulations and Handbook (the Handbook); and generally accepted engineering practice.

Project Summary

The Site is located in the Residential Zoning District and is identified as Assessor's Parcel ID #025-003-051. The Site is approximately ±5.5-acres in area, with frontage on Bedford Street (Route 18). The Site is within a Zone II for a drinking water supply well. The Site is currently developed with a single-family home with an accessory building (garage), both designated to be razed. The balance of the Site is largely wooded with a wetland resource area that encumbers the extreme western portion of the Site. The Site is surrounded by abutting residential uses. The Site topography is relatively flat, sloping toward the rear of the property and the wetland resource area.

The Applicant proposes to construct a 12-lot residential subdivision comprised of three-bedroom homes. Two additional open space parcels are also proposed that will be the site of the stormwater basin and unbuildable land associated with the wetlands to the west and a small open parcel adjacent to Bedford Street. The Project consists of associated site improvements including, landscaping, utility connections, and a stormwater management system. The Project is proposed to be served by municipal water available from Bedford Street. Wastewater management is proposed via individual septic systems on each lot. The Project proposes a stormwater management system comprised of a surface stormwater infiltration basin with a sediment forebay.



Google Earth aerial image of site and surroundings.

Site Visit:

We conducted a reconnaissance visit on February 7, 2023 to familiarize ourselves with the Site and adjacent area, and to evaluate the existing conditions relative to the proposed development. Photographs are included herein to illustrate conditions at the Site and to provide context for our comments.



Proposed subdivision roadway location at Bedford Street; characterization of existing home



Bedford Street at proposed subdivision roadway location viewed to the north



Bedford Street at proposed subdivision roadway location viewed to the south



Characterization of existing on-site vegetation



Characterization of on-site wetland resource areas to the west



Characterization of property line fence encumbrance to the south



Characterization of property line driveway encumbrance to the south

General Comments

1. The Applicant does not appear to have submitted any formal waiver requests from the Regulations or By-law. Understanding the Project is a 40B Comprehensive Permit Application and the applicability of the local requirements can be waived by the Board, the requirements of the underlying zoning relative to lot size, setbacks, right-of-way width, etc. are not being met as proposed. We recommend that the Applicant confirm which waivers from the local regulations are being sought for the benefit and consideration of the Board.
2. It is unclear if the Project will remain as private property or if the intent is for "Maple Lane" to be a future accepted public way. It is also unclear whom will control/own the open space parcels. Assuming the property is to remain private, we recommend that as a potential condition of approval the Applicant document accommodations for typical services (trash and snow removal, etc.) to the satisfaction of the Board. We acknowledge the snow storage areas proposed by the Applicant. We recommend that storing snow off the western end of the roadway (and toward the adjacent stormwater basin) be prohibited as a potential condition of approval.
3. As depicted on the existing conditions plan, an existing gravel drive and fences of the abutting property at #113 Bedford Street encumbers the southern property line. #113 Bedford Street's overhead electric service (and poles) and natural gas service are also over the property line. Proposed grading in this area will potentially impact future use of this access drive and will require the fence to be removed. We request that the Applicant clarify what arrangements are being made with the abutting property owner to facilitate the Project as proposed including maintaining utility service.

4. The length of the proposed roadway exceeds the maximum of 750' as prescribed by Section IV.5.a of the Regulations. The Applicant has proposed a paved hammer head style turnaround located 750' from Bedford Street, though the roadway continues for an overall length of over 900'. As noted herein, waivers from the typical Regulations have not been identified. We note the proposed final condition for the benefit of the Board when considering potential conditions of approval. We defer to Lakeville Fire Department personnel regarding the ultimate review and approval the adequacy of the emergency access provided by the hammer head.
5. The proposed roadway is designed to be superelevated without a crown, shedding all stormwater runoff to the south. Catch basins and Cape Cod style curb are only proposed on the southern side of the road, not in accordance with Section IV.7.a Regulations which require the referenced infrastructure to be on both sides of a typical subdivision roadway. As noted herein, waivers from the typical Regulations have not been identified. We note the proposed final condition for the benefit of the Board when considering potential conditions of approval.
6. The Project is proposed without sidewalks. As noted herein, waivers from the typical Regulations have not been identified. We note the proposed final condition for the benefit of the Board when considering potential conditions of approval.
7. The design of the water distribution network is unclear. The size and material of the proposed water main appears to be undefined. An analysis of the available capacity of the existing water main in Bedford Street has not been provided. We defer the adequacy of the water main design to Department of Public Works personnel.
8. The Project is proposed to be served by on-site septic systems for wastewater collection. As noted herein, the lot sizes do not conform to the underlying zoning. The underlying zoning would allow three buildable lots and not the 12 lots proposed by the Applicant. Therefore, a higher density of septic systems on lots smaller than required is proposed. We note the proposed final condition for the benefit of the Board when considering potential conditions of approval and defer ultimate review and approval of individual lot septic system designs to the Board of Health review process. We recommend that the Applicant demonstrate to the satisfaction of the Board that conceptually the Site can support the density and quantity of septic systems proposed.
9. A single fire hydrant is proposed at the end of the subdivision roadway, approximately 900' from Bedford Street. Typical hydrant spacing is half of that length. We note the proposed final condition for the benefit of the Board when considering potential conditions of approval. We defer ultimate review and approval of the adequacy of the proposed hydrant spacing to Lakeville Fire Department personnel.

10. The Applicant has not depicted a corridor or layout for private electrical and telecommunication services. Understanding these services will need to be coordinated with the specific utility providers, we request that the Applicant provide and depict a proposed corridor for the referenced utilities.
11. Monumentation to define lotting and property line limits does not appear to be included in the submission. We recommend that as a potential condition of approval that the Board consider that the Applicant provide typical monumentation.
12. The Applicant is proposing individual light posts on all lots and not typical streetlights. We note the proposed deviation from the Regulations for the benefit of the Board when considering potential conditions of approval. The light pole on Lot 10 is located within the proposed driveway; the Applicant should revise the plan to relocate the light pole.
13. Outside of the Comprehensive Permit review process, the Project will be subject to Conservation Commission review and will need to submit a Notice of Intent (NOI). Wetland flags have either deteriorated or were observed to be missing. We recommend that the wetland line be reestablished in the field for the NOI review process.
14. Route 18 (Bedford Street) appears to be under MassDOT jurisdiction. We request, to the satisfaction of the Board, that the Applicant provide an update on the required MassDOT permitting process.
15. Existing overhead utility service exists on the southbound side of Bedford Street with existing poles and guy wires on the Site. We recommend that notations be added to the plans to protect and maintain this existing infrastructure throughout the duration of construction.
16. The Project will require the demolition of multiple on-site structures and the decommissioning on an existing septic system. We recommend, as a potential condition of approval, that the proper abatement, demolition and decommissioning of the existing on-site infrastructure be executed as part of the 40B Comprehensive Permit process.
17. The Applicant has not proposed deciduous trees every 40' on each side of the subdivision road as required by Section IV.K.1 of the Regulations. The proposed plan does include a single row of plantings consisting of deciduous trees as well as small shrubs, and a 40' long section of 6' high privacy fence along the southern edge of the property, presumably to screen the development from the abutting property. We recommend that the proposed plantings be revised to include a variety of large evergreen trees and shrubs, supplemented with fencing where necessary to provide the intended screening.

18. The Typical Unit Landscaping Detail appears to be rather sparse. We recommend additional plantings be included in the plan to provide separation/screening between lots and plantings between the roadway and houses to provide visual interest along the northern side of the road.

Stormwater Management Comments

19. Standard 2 of the Handbook requires documentation that post-construction runoff rates match or be less than pre-construction runoff rates. The Drainage Summary table provided is inconsistent with the modeling provided. We request that the Applicant revise the documentation accordingly for clarity of the Administrative Record.
20. Standard 3 of the Handbook requires documentation that infiltrative best management practices (BMPs) completely dewater within 72 hours. Though the Applicant indicates that the referenced analysis has been provided on the MassDEP Stormwater Report Checklist, the calculation does not appear to have been provided. We request that the Applicant provide the referenced calculation.
21. Standard 4 of the Handbook requires documentation relative to the water quality volume required and provided in the proposed design. We request that the Applicant provide the required calculations.
22. Standard 6 of the Handbook stipulates that specific design consideration be addressed when in the presence of a critical area; in the case of this Project the Zone II well protection zone. The plans indicate that the Project is not in the Zone II; however, the stormwater report indicates that it is. We request that the Applicant clarify this discrepancy. The Handbook requires that prior to infiltration, 44% of the total suspended solids (TSS) needs to be treated and removed. As proposed, it appears the sediment forebay will allow for infiltration prior to this requirement being met. We request that the Applicant clarify and document compliance with Standard 6 of the Handbook.
23. Standard 8 of the Handbook stipulates requirements for construction period controls and the submission of a Stormwater Pollution Prevention Plan (SWPPP). We note that a SWPPP or draft SWPPP has not been provided by the Applicant. We recommend that the submission of a SWPPP prior to construction be considered as a potential condition of approval.

24. Standard 10 of the Handbook requires that an executed Illicit Discharge Statement be provided for the Project. We acknowledge the Illicit Discharge Statement provided by the Applicant; however, we note it is not signed. We recommend that a fully executed Illicit Discharge Statement be submitted prior to construction, be considered as a potential condition of approval.
25. The hydrologic modeling provided by the Applicant is unclear. We note the following:
 - a. The infiltration rate used for the stormwater basin is inconsistent with the assumed soil type. A hydrologic soil group (HSG) "A" infiltration rate is used when the Site is assumed to be comprised of mostly HSG B soils. We request that the Applicant clarify the infiltration rate used.
 - b. In the pre-construction modeling, the curve number (CN) used for "grass good" is inconsistent with the assumed soil type. We request that the Applicant clarify the CN used.
 - c. In the post-construction modeling, a ground cover type of "woods fair" is used when the same ground cover type is not assumed within the pre-construction ground covers. We request that the Applicant clarify the ground cover types used in the post-construction analysis.
26. The source of the storm event assumptions do not appear to have been provided by the Applicant. We recommend that the analysis be conducted using the NOAA Atlas 14 rainfall data.
27. We acknowledge the pipe design calculations provided by the Applicant. In multiple instances, the velocity of discharge being reported is greater than the theoretical pipe flowing full velocity. We request the Applicant clarify the referenced condition and revise the calculations as may be applicable.
28. The depiction of the outlet control structure from the stormwater basin is unclear. The invert elevation of the 24" discharge pipe is reported to be 6" below the weir elevation though the weir elevation is shown to be at an elevation above the crown of the pipe. We request that the Applicant clarify the design intent of this proposed infrastructure.

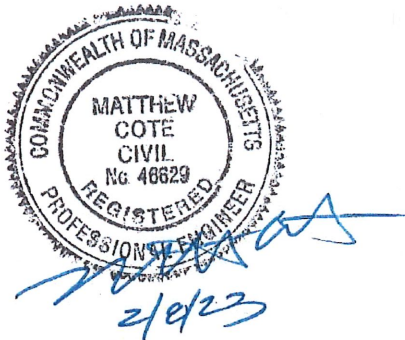
Town of Lakeville Zoning Board of Appeals
c/o Marc Resnick, Town Planner
February 8, 2023
Page 11

B+T will be available to attend the next Board public hearing, upon request, to present the results of our review and be available for discussion regarding the comments listed herein.

We thank you for the opportunity to assist the Town of Lakeville with the review of this Project. Should you have any questions, please do not hesitate to contact our office.

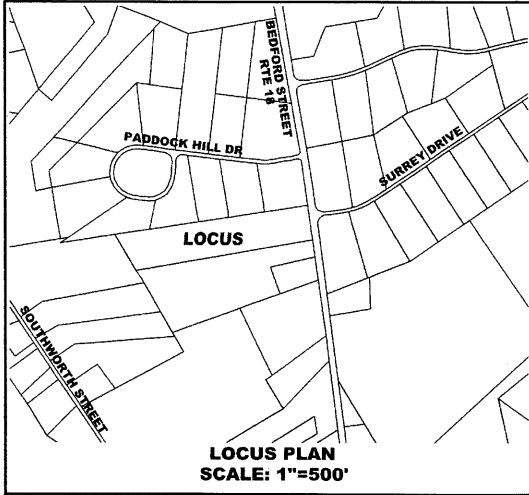
Very truly yours,

BEALS AND THOMAS, INC.



Matthew Cote, PE, SITES AP, ENV SP
Senior Civil Engineer

David J. LaPointe, RLA, LEED AP, CPSI
Principal



SITE NOTES:

1. THE SITE IS LISTED ON THE TOWN OF LAKEVILLE ASSESSORS PROPERTY RECORD CARDS AS PARCEL ID 025-003-021.
2. PROPERTY LINE AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A FIELD SURVEY BY ZENITH LAND SURVEYORS, LLC.
3. PLYMOUTH COUNTY REGISTRY OF DEEDS.
DEED REFERENCE: BOOK 55084 PAGE 286
4. THE SUBJECT PROPERTY IS LOCATED IN ZONE X, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (F.I.R.M.) OF PLYMOUTH COUNTY, MASSACHUSETTS, MAP NUMBER 25023C0314J, MAP REVISED JULY 17, 2012.
5. WETLANDS SHOWN WERE DELINEATED BY BOB GRAY OF SABATIA, INC. IN JUNE 2021.

SURVEY COMPANY OF RECORD:

ZLS
ZENITH LAND SURVEYORS, LLC
1162 ROCKDALE AVENUE
NEW BEDFORD, MA 02740
(508) 995-0100

COMMONWEALTH OF MASSACHUSETTS
JONATHAN J. FINE
NO. 41787
REGISTERED PROFESSIONAL LAND SURVEYOR

Jonathan J. Fine 11-22-22

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE ZONING BOARD OF APPEALS WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

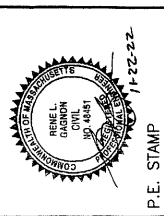
DATE _____

LAKEVILLE ZONING BOARD OF APPEALS

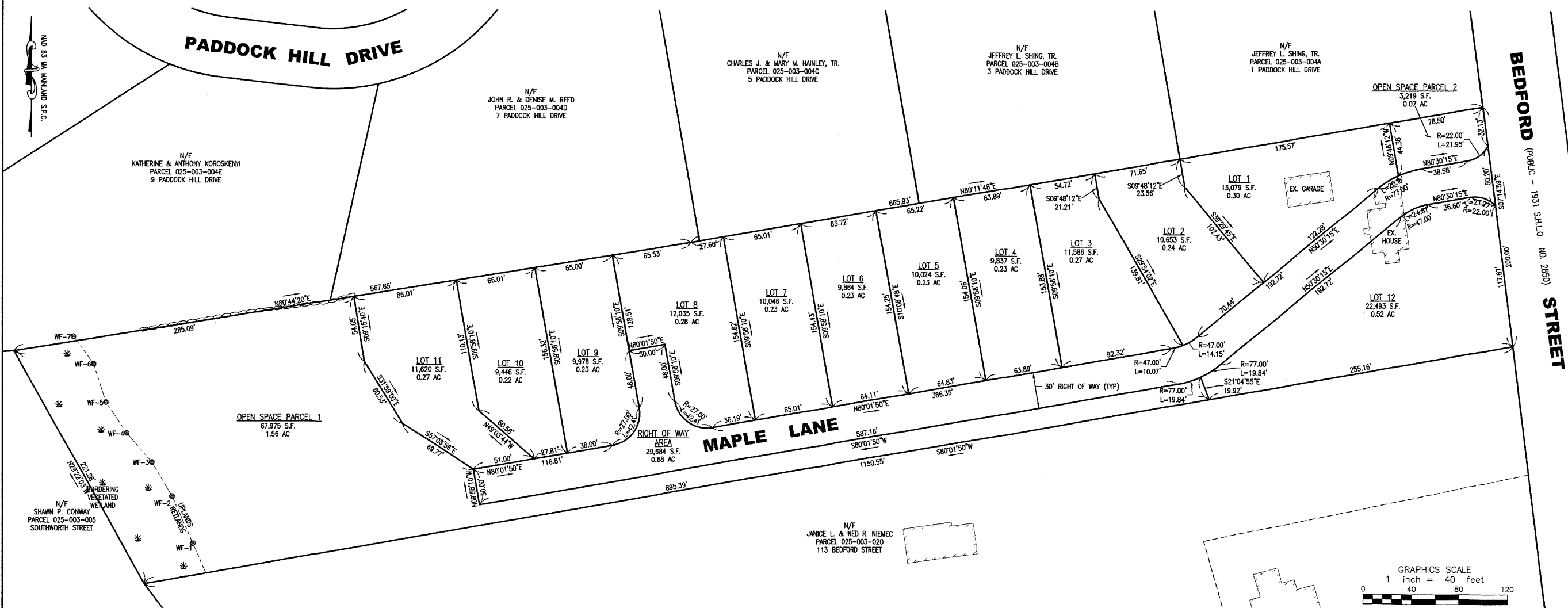
APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS

APPROVED: _____

ENDORSED: _____



ZCE
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208



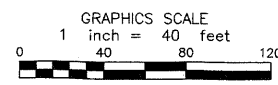
DATE	REV.	DATE	DESCRIPTION	BY	APP.
11/22/2022					

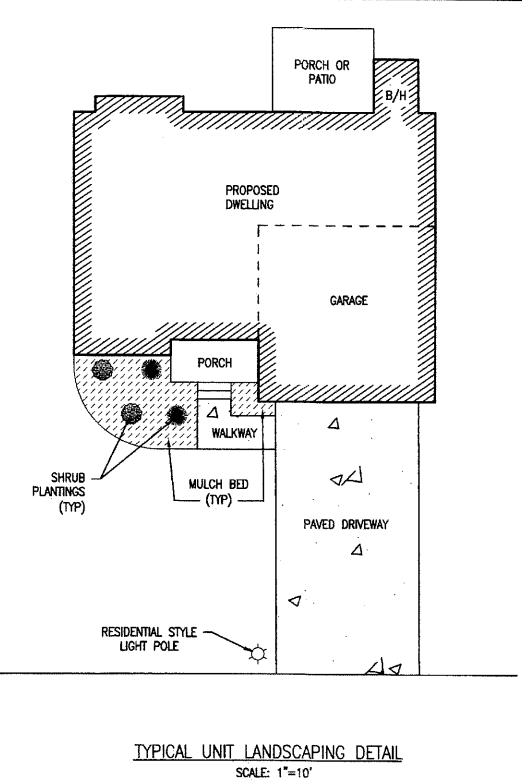
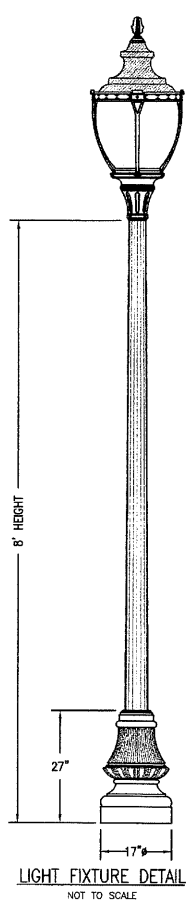
DRAWN BY: RLG	DESIGNED BY: RLG	CHECKED BY: RNF	APPROVED BY: JLB
PROJECT NUMBER: 0143-13-01	SCALE: 1"=40'	SHEET ID: R	

LOTING SHEET

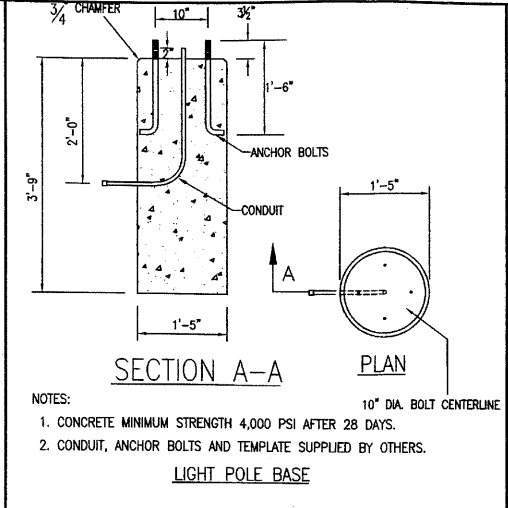
109 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS

NORTH BEDFORD CROSSING LLC,
1 LAKEVILLE BUSINESS PARK DRIVE
LAKEVILLE, MASSACHUSETTS





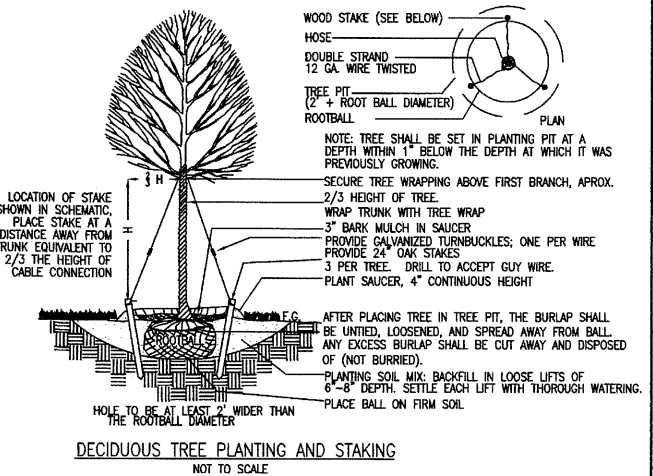
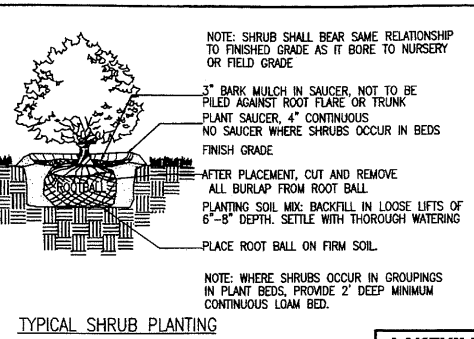
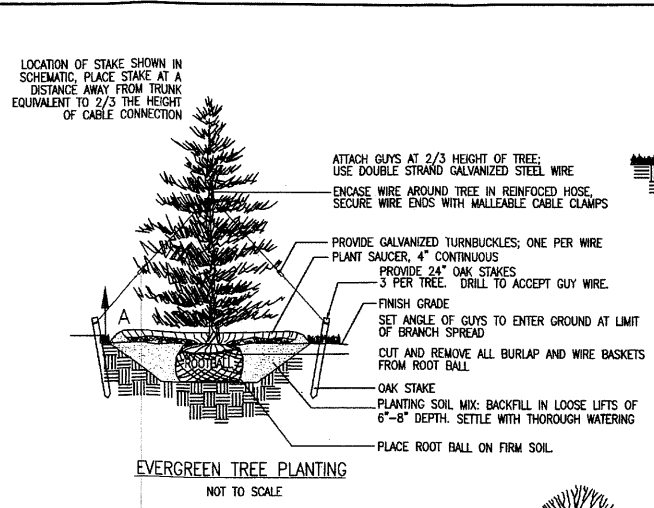
*NOTE:
LIGHTING SHALL CONFORM WITH THE TOWN OF LAKEVILLE GENERAL BY-LAW FOR OUTDOOR LIGHTING.



PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
☉	CORNUS KOUSA	KOUSA DOGWOOD	5' HEIGHT (MIN.)
☉	ACER SACCHARUM	SUGAR MAPLE	2.5" CALIPER (MIN.)
☉	QUERCUS RUBRA	RED OAK	2.5" CALIPER (MIN.)
☉	QUERCUS ALBA	WHITE OAK	2.5" CALIPER (MIN.)
☉	AZALEA "DELAWARE VALLEY"	DELAWARE VALLEY WHITE AZALEA	2' HEIGHT (MIN.)
●	JUNIPERUS PFITZERIANA	PFITZER JUNIPER	18" - 24" HEIGHT (MIN.)

NOTE:
1. THE FOLLOWING TREES MAY BE SUBSTITUTED FOR THE SPECIES LISTED IN THIS SCHEDULE: GREEN ASH, RED SUNSET MAPLE, LINDEN, LONDON PLAN TREE, NORTHERN RED OAK, AND LOCUST.
2. ALTERNATE SHRUB SPECIES MAY ALSO BE CONSIDERED AS LONG AS THEY ARE A MINIMUM OF 2 FEET IN HEIGHT AND DO NOT OBSTRUCT VEHICLE SITE LINES.



FOR REGISTRY USE ONLY

LAKEVILLE ZONING BOARD OF APPEALS
APPROVED AND ENDORSED UNDER M.G.L.C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS

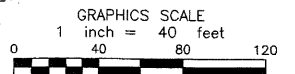
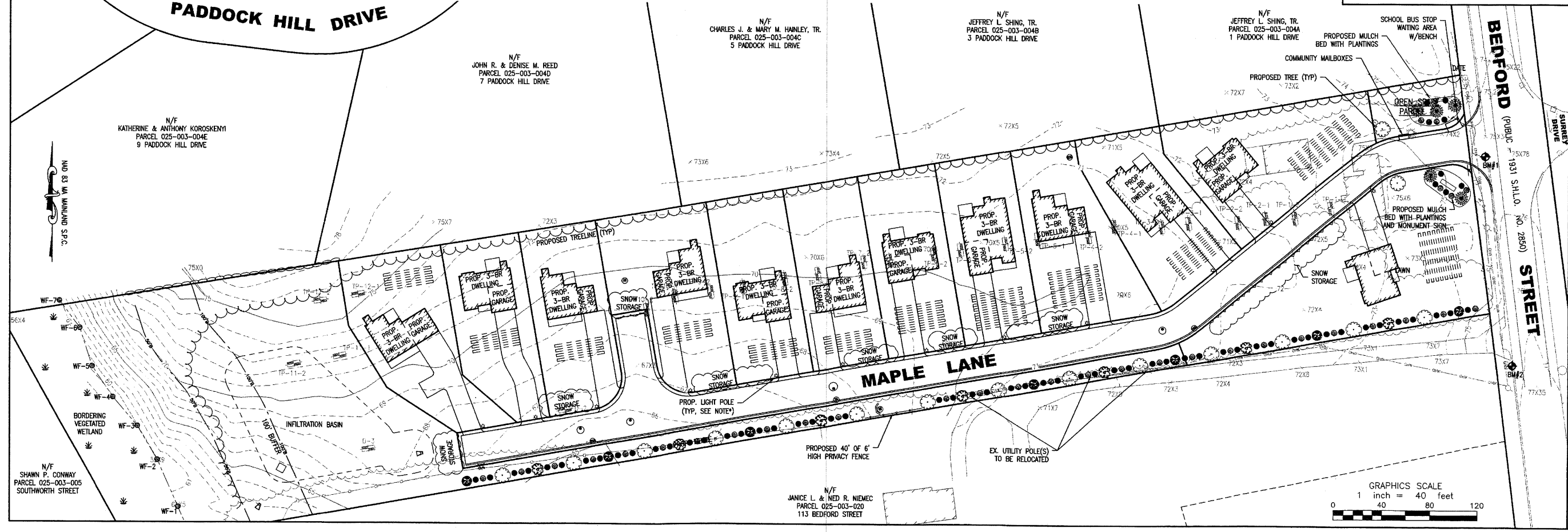
APPROVED: _____
ENDORSED: _____

I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE ZONING BOARD OF APPEALS WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE _____



ZCE ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

DATE: 11/22/2022
PROJECT NUMBER: 0143-13-01
SCALE: 1"=40'
SHEET ID: V

LANDSCAPING PLAN
109 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS
NORTH BEDFORD CROSSING LLC,
1 LAKEVILLE BUSINESS PARK DRIVE
LAKEVILLE, MASSACHUSETTS

APPROVED BY: _____
DESIGNED BY: _____
CHECKED BY: _____
DATE: _____

EROSION AND SEDIMENTATION CONTROL NOTES

THE FOLLOWING MEASURES SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PHASE OF THE PROJECT.

CATCH BASIN PROTECTION

PROPOSED CATCH BASINS SHALL BE PROTECTED WITH SILT SACKS PRIOR TO THE COMPLETION OF PAVING. IF EXCESSIVE SILTATION IS DISCOVERED TO BE ENTERING THE CATCH BASIN INLETS, THEN HAY BALES SHALL ALSO BE PLACED AROUND GRATES AND CATCH BASINS WITHIN THE CONSTRUCTION/DEMOLITION AREAS TO ENSURE THAT RUNOFF ENTERING THE CATCH BASIN HAS BEEN FILTERED THROUGH THE BALES PRIOR TO DISCHARGE.

STABILIZED CONSTRUCTION ENTRANCE

A TEMPORARY STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. THE PURPOSE OF THE CONSTRUCTION ENTRANCE IS TO REMOVE SEDIMENT ATTACHED TO VEHICLE TIRES AND MINIMIZE ITS TRANSPORT AND DEPOSITION ONTO PUBLIC ROAD SURFACES. THE CONSTRUCTION ENTRANCE SHALL BE COMPOSED OF A 6-INCH THICK (MINIMUM) BED OF 2-INCH DIAMETER CRUSHED STONE THAT EXTENDS A MINIMUM OF 50 FEET. THE CONSTRUCTION ENTRANCE SHALL BE A MINIMUM OF 25 FEET WIDE, AND SHALL FLARE TO A MINIMUM WIDTH OF 45 FEET WIDE AT THE JUNCTION WITH THE ROADWAY. THE CRUSHED STONE BED SHALL BE REMOVED AND REPLISHED AS NECESSARY TO MAINTAIN THE PROPER FUNCTION.

EROSION AND SEDIMENT CONTROL - MAINTENANCE

THE PROJECT GENERAL CONTRACTOR SHALL HAVE PRIMARY RESPONSIBILITY FOR IMPLEMENTING TEMPORARY AND PERMANENT CONTROLS DESCRIBED IN THE PLAN AND SHALL BE RESPONSIBLE FOR ASSURING CONTRACTOR COMPLIANCE WITH CONTRACT DOCUMENTS INCLUDING ALL EROSION AND SEDIMENT CONTROL MEASURES.

- DAMAGED OR DETERIORATED ITEMS SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER IDENTIFICATION.
- THE UNDERSIDE OF HAYBALES SHOULD BE KEPT IN CLOSE CONTACT WITH THE EARTH AND RESET AS NECESSARY.
- SILT SOCKS SHALL BE INSPECTED AFTER EVERY MAJOR RAINFALL RUNOFF EVENT (OVER 1/2" DEPTH OF PRECIPITATION) OR EVERY 14 DAYS, WHICHEVER OCCURS FIRST. ALL DAMAGED OR MISALIGNED FENCES SHALL BE IMMEDIATELY REPAIRED. SILT SHALL BE IMMEDIATELY REMOVED FROM ALL AREAS OF THE SILT FENCE WHEN DEPTH OF ACCUMULATION EXCEEDS 9 INCHES. EACH REPORT SHALL BE DOCUMENTED ON THE FORM ENCLOSED IN APPENDIX E.
- SUMPS SHALL BE INSPECTED AFTER EVERY MAJOR RAINFALL RUNOFF EVENT (OVER 1/2" DEPTH OF PRECIPITATION) OR EVERY 14 DAYS, WHICHEVER OCCURS FIRST. SILT SHALL BE IMMEDIATELY REMOVED FROM ALL SUMPS WHERE THE DEPTH OF ACCUMULATION EXCEEDS 9 INCHES.
- ALL EXPOSED CONSTRUCTION AREAS SHALL BE STABILIZED UPON COMPLETION IN ORDER TO MINIMIZE THE TIME THAT THESE AREAS ARE UNSTABILIZED.

MATERIALS MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF. THE CONTRACTOR'S SUPERINTENDENT SHALL BE RESPONSIBLE FOR ENSURING THAT THESE PROCEDURES ARE FOLLOWED:

- GOOD HOUSEKEEPING**

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHALL BE FOLLOWED ON-SITE DURING CONSTRUCTION:

 - AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCTS REQUIRED TO DO THE JOB.
 - ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER AND, IF POSSIBLE, UNDER A ROOF OR IN A CONTAINMENT AREA. AT A MINIMUM, ALL CONTAINERS SHALL BE STORED WITH THEIR LIDS ON WHEN NOT IN USE. DRIP PANS SHALL BE PROVIDED UNDER ALL DISPENSERS.
 - PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL IN LEGIBLE CONDITION.
 - SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
 - WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
 - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 - THE CONTRACTOR'S SUPERINTENDENT SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
- HAZARDOUS SUBSTANCES**

THESE PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS SUBSTANCES. MATERIAL SAFETY DATA SHEETS (MSDS'S) FOR EACH PRODUCT WITH HAZARDOUS PROPERTIES THAT IS USED AT THE PROJECT SHALL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS

SHALL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS SHALL BE MAINTAINED IN THE JOB TRAILER AT THE PROJECT. EACH EMPLOYEE WHO MUST HANDLE A HAZARDOUS SUBSTANCE SHALL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

- PRODUCTS SHALL BE KEPT IN ORIGINAL CONTAINERS WITH THE ORIGINAL LABELS IN LEGIBLE CONDITION.
- ORIGINAL LABELS AND MSDS'S SHALL BE PROCURED AND USED FOR EACH PRODUCT.
- IF SURPLUS PRODUCT MUST BE DISPOSED, MANUFACTURER'S AND LOCAL/STATE/FEDERAL REQUIRED METHODS FOR PROPER DISPOSAL MUST BE FOLLOWED.

HAZARDOUS WASTE
IT IS IMPERATIVE THAT ALL HAZARDOUS WASTE BE PROPERLY IDENTIFIED AND HANDLED IN ACCORDANCE WITH ALL APPLICABLE HAZARDOUS WASTE STANDARDS, INCLUDING THE STORAGE, TRANSPORT AND DISPOSAL OF THE HAZARDOUS WASTES. THERE ARE SIGNIFICANT PENALTIES FOR THE IMPROPER HANDLING OF HAZARDOUS WASTES. IT IS IMPORTANT THAT THE SITE SUPERINTENDENT SEEKS APPROPRIATE ASSISTANCE IN MAKING THE DETERMINATION OF WHETHER A SUBSTANCE OR MATERIAL IS A HAZARDOUS WASTE. FOR EXAMPLE, HAZARDOUS WASTE MAY INCLUDE CERTAIN HAZARDOUS SUBSTANCES, AS WELL AS PESTICIDES, PAINTS, PAINT SOLVENTS, CLEANING SOLVENTS, PESTICIDES, CONTAMINATED SOILS, AND OTHER MATERIALS, SUBSTANCES OR CHEMICALS THAT HAVE BEEN DISCARDED (OR ARE TO BE DISCARDED) AS BEING OUT-OF-DATE, CONTAMINATED OR OTHERWISE UNSALVAGEABLE, AND CAN INCLUDE THE CONTAINERS FOR THOSE SUBSTANCES; OTHER MATERIALS AND SUBSTANCES CAN ALSO BE OR BECOME HAZARDOUS WASTES, HOWEVER, THE CONTRACTOR'S SUPERINTENDENT IS ALSO RESPONSIBLE FOR ENSURING THAT ALL SITE PERSONNEL ARE INSTRUCTED AS TO THESE HAZARDOUS WASTE REQUIREMENTS AND ALSO THAT THE REQUIREMENTS ARE BEING FOLLOWED.

PRODUCT SPECIFIC PRACTICES
THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON THE JOB SITE:

PETROLEUM PRODUCTS
ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. PETROLEUM STORAGE TANKS SHALL BE LOCATED AT MINIMUM 100 LINEAR FEET FROM DRAINAGE WAYS, INLETS AND SURFACE WATERS. ANY PETROLEUM STORAGE TANKS STORED ON-SITE SHALL BE LOCATED WITHIN A CONTAINMENT AREA THAT IS DESIGNED WITH AN IMPERVIOUS SURFACE BETWEEN THE TANK AND THE GROUND. THE SECONDARY CONTAINMENT MUST BE DESIGNED TO PROVIDE A CONTAINMENT VOLUME THAT IS EQUAL TO 110% OF THE VOLUME OF THE LARGEST TANK. ANY MOBILE PETROLEUM TANK SHALL BE PARKED IN A VEHICULAR SERVICE AREA SURROUNDED BY A BERM THAT PROVIDES A CONTAINMENT VOLUME THAT IS EQUAL TO 110% OF THE VOLUME OF THE LARGEST TANK. CONTAINMENT MUST PROVIDE SUFFICIENT VOLUME TO CONTAIN EXPECTED PRECIPITATION AND 110% VOLUME OF THE LARGEST TANK. ACCUMULATED RAINWATER OR SPILLS FROM CONTAINMENT AREAS ARE TO BE PROMPTLY PUMPED INTO A CONTAINMENT DEVICE AND DISPOSED PROPERLY BY A LICENSED HAZARDOUS WASTE TRANSPORTER. DRIP PANS SHALL BE PROVIDED FOR ALL DISPENSERS. ANY ASPHALT SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE LOCATION OF ANY FUEL TANKS AND/OR EQUIPMENT STORAGE AREAS MUST BE IDENTIFIED ON THE EROSION CONTROL PLAN BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.

FERTILIZERS
FERTILIZERS SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER SHALL BE WORKED IN THE SOIL TO LIMIT EXPOSURE TO STORMWATER. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

CLEANING SOLVENTS
ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT IN USE. EXCESS SOLVENTS SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM, BUT SHALL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND FEDERAL REGULATIONS.

CONCRETE WASTES
CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE PROJECT SITE, BUT ONLY IN SPECIFICALLY DESIGNATED DIKED AND IMPERVIOUS WASHOUTS WHICH HAVE BEEN PREPARED TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER. WASTE GENERATED FROM CONCRETE WASH WATER SHALL NOT BE ALLOWED TO FLOW INTO DRAINAGE WAYS, INLETS, RECEIVING WATERS OR ANY LOCATION OTHER THAN THE DESIGNATED CONCRETE WASHOUT. WASTE CONCRETE MAY BE POURED INTO FORMS TO MAKE RIP-RAP OR OTHER USEFUL CONCRETE PRODUCTS. CONCRETE WASHOUTS SHALL BE LOCATED AT MINIMUM 100 LINEAR FEET FROM DRAINAGE WAYS, INLETS, SURFACE WATERS AND WETLAND RESOURCE AREAS.

THE HARDENED RESIDUE FROM THE CONCRETE WASHOUT DIKED AREAS SHALL BE DISPOSED IN THE SAME MANNER AS OTHER NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS OR MAY BE BROKEN UP AND USED ON SITE AS DEEMED APPROPRIATE BY THE CONTRACTOR. MAINTENANCE OF THE WASHOUT IS TO INCLUDE REMOVAL OF HARDENED CONCRETE. FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY AND SHALL BE CLEANED OUT ONCE 75% FULL UNLESS A NEW FACILITY IS CONSTRUCTED. THE CONTRACTOR'S SUPERINTENDENT SHALL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. SAW-CUT PORTLAND CEMENT CONCRETE (PCC) SLURRY SHALL NOT BE ALLOWED TO ENTER STORM DRAINS OR WATERCOURSES. SAW-CUT

RESIDUE SHOULD NOT BE LEFT ON THE SURFACE OF PAVEMENT OR BE ALLOWED TO FLOW OVER AND OFF PAVEMENT. RESIDUE FROM SAW-CUTTING AND GRINDING SHALL BE COLLECTED BY VACUUM AND DISPOSED OF IN THE CONCRETE WASHOUT FACILITY.

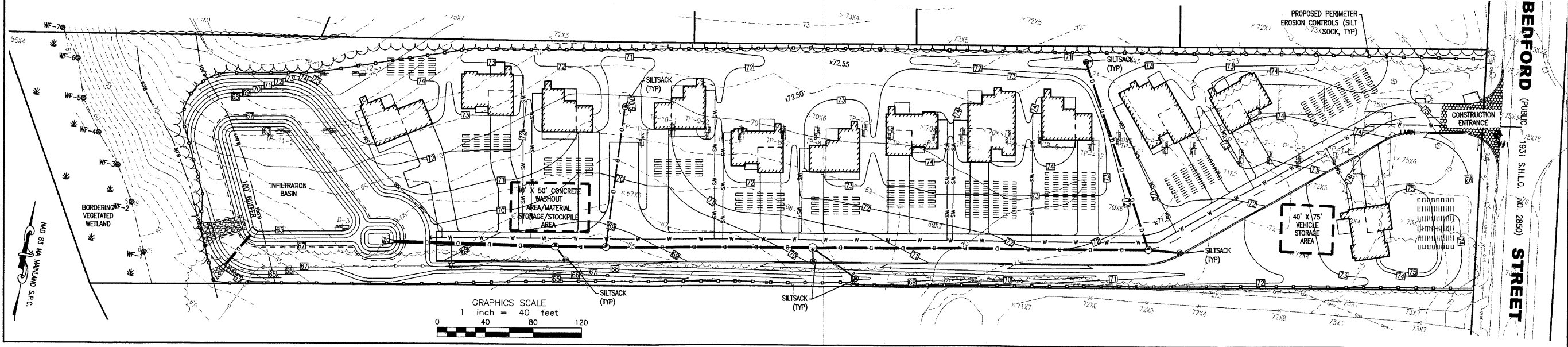
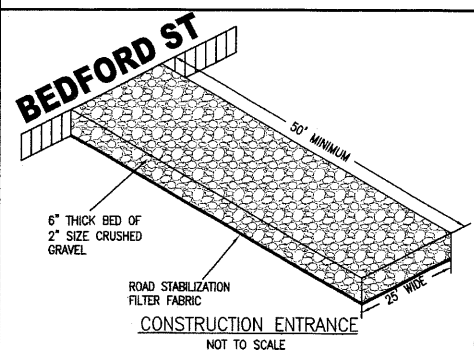
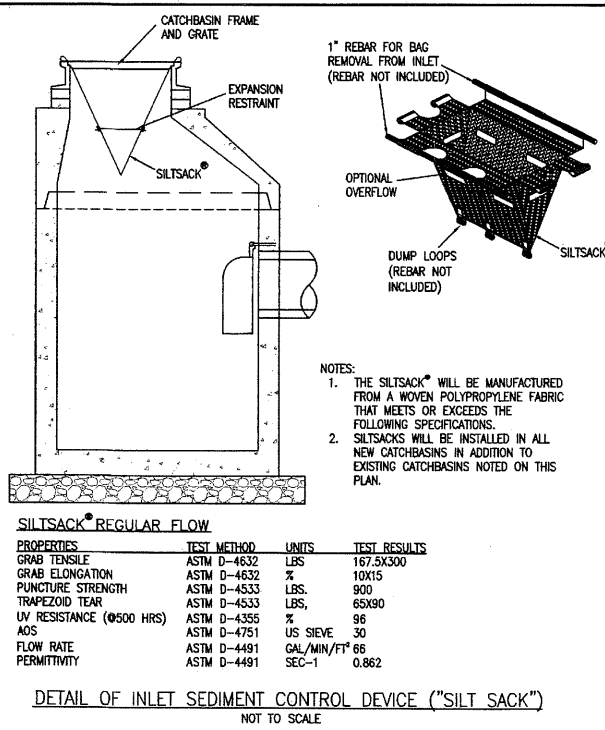
SOLID AND CONSTRUCTION WASTES
ALL WASTE MATERIALS SHALL BE COLLECTED AND DISPOSED OF AT AN APPROPRIATE SOLID WASTE DISPOSAL AREA.

SANITARY WASTES
A MINIMUM OF ONE PORTABLE SANITARY UNIT SHALL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS.

ALL SANITARY WASTE UNITS SHALL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORMWATER DISCHARGES IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BUMPS MUST BE IMPLEMENTED, SUCH AS GRAVEL BUMPS OR SPECIALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORMWATER DISCHARGES.

CONTAMINATED SOILS
ANY CONTAMINATED SOILS (RESULTING FROM SPILLS OF HAZARDOUS SUBSTANCES OR OIL OR DISCOVERED DURING THE COURSE OF CONSTRUCTION) WHICH MAY RESULT FROM CONSTRUCTION ACTIVITIES SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY IN ACCORDANCE WITH THE PROCEDURES GIVEN IN THE MATERIAL MANAGEMENT PLAN AND IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS. CONTAMINATED SOILS NOT RESULTING FROM CONSTRUCTION ACTIVITIES, OR WHICH PRE-EXISTED CONSTRUCTION ACTIVITIES, BUT WHICH ARE DISCOVERED BY VIRTUE OF CONSTRUCTION ACTIVITIES, SHOULD BE REPORTED IN THE SAME MANNER AS SPILLS, BUT WITH SUFFICIENT INFORMATION TO INDICATE THAT THE DISCOVERY OF AN EXISTING CONDITION IS BEING REPORTED. IF THERE IS A RELEASE THAT OCCURS BY VIRTUE OF THE DISCOVERY OF EXISTING CONTAMINATION, THIS SHOULD BE REPORTED AS A SPILL, IF IT OTHERWISE MEETS THE REQUIREMENTS FOR A REPORTABLE SPILL.

- CONSTRUCTION OPERATION AND MAINTENANCE SCHEDULE**
THE OPERATION AND MAINTENANCE (O&M) SCHEDULE DURING THE CONSTRUCTION PHASE IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR. THE OUTLINE BELOW SHALL BE ADHERED TO AS CLOSELY AS POSSIBLE TO ENSURE THE PROPER CONSTRUCTION AND FUNCTION OF THE DRAINAGE SYSTEM.
- PRIOR TO CONSTRUCTION, SILT SOCK SHALL BE INSTALLED PER THE APPROVED PLANS. THE SILT SOCK SHALL BE INSPECTED PRIOR TO A LARGE STORM EVENT TO ENSURE THAT THE EROSION CONTROL WILL FUNCTION AS REQUIRED AND FOLLOWING A STORM TO INSPECT FOR DAMAGE TO THE EROSION CONTROL ELEMENTS. ANY DAMAGE OR IMPROPER INSTALLATION THAT IS NOTICED PRIOR TO OR FOLLOWING A STORM EVENT SHALL BE PROMPTLY REPAIRED OR REPLACED IN A SATISFACTORY MANNER SO AS TO PREVENT SEDIMENT FROM BYPASSING THE EROSION CONTROL BARRIER.
 - THE LIMIT OF CLEARING SHOWN ON THE APPROVED PLAN SHALL BE STRICTLY ADHERED TO. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LEVEL OF SAFETY OF STANDING TREES.
 - IN CONJUNCTION WITH THE SITE CONSTRUCTION, ALL DRAINAGE STRUCTURES, INCLUDING THE STORMTRAP SYSTEM, SHALL BE CONSTRUCTED AND STABILIZED AS SOON AS POSSIBLE. METHODS OF STABILIZATION INCLUDE, BUT ARE NOT LIMITED TO, HYDROSEED, LOAM AND SEED, STRAW MULCH, EROSION CONTROL BLANKETS, ETC.
 - THE CATCH BASINS, DRAINAGE MANHOLES, AND SEDIMENT FOREBAY SHALL BE INSPECTED WEEKLY DURING CONSTRUCTION. ANY SEDIMENT BUILDUP OF EIGHT (8) INCH DEPTH IN EITHER OF THE STRUCTURES SHALL BE PROMPTLY REMOVED BY HAND OR MECHANICAL METHODS AND ALL DEBRIS REMOVED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.



P. E. STAMP

LAKEVILLE ZONING BOARD OF APPEALS

APPROVED AND ENDORSED UNDER M.G.L.C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS

APPROVED: _____

ENDORSED: _____

ZCE
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

REV.	DATE	DESCRIPTION

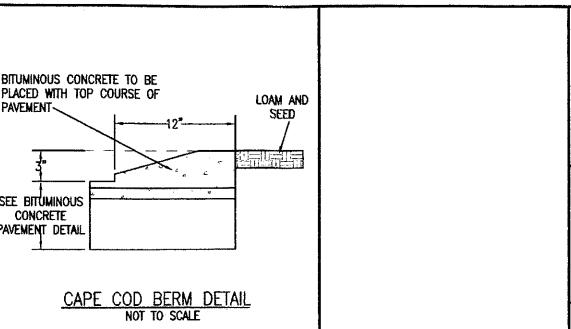
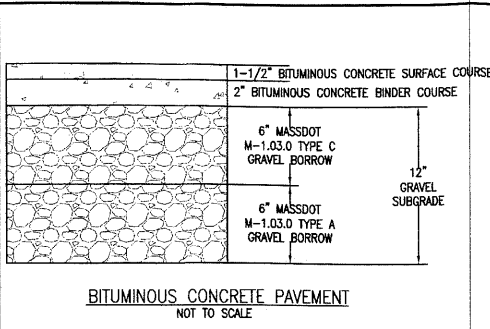
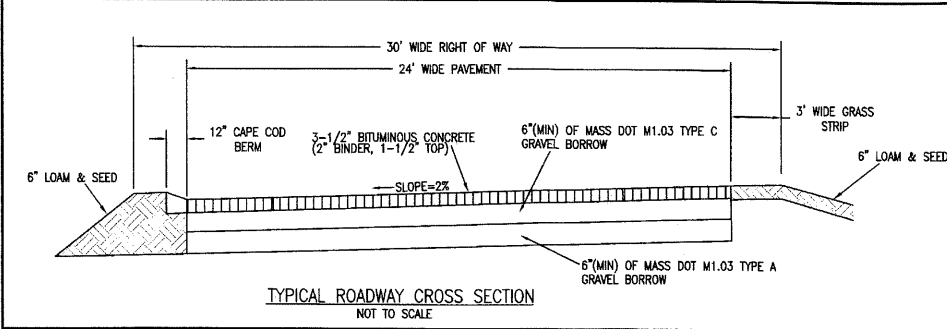
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PROJECT NUMBER:	0145-13-01
SCALE:	1"=40'
SHEET ID:	E

DRAWN BY:	RLC	DATE:	11/22/2022
DESIGNED BY:	RLC	PROJECT NUMBER:	0145-13-01
CHECKED BY:	RNF	SCALE:	1"=40'
APPROVED BY:		SHEET ID:	E

EROSION CONTROL PLAN

109 BEDFORD STREET
LAKEVILLE, MASSACHUSETTS

CLIENT INFO:
NORTH BEDFORD CROSSING LLC,
1 LAKEVILLE BUSINESS PARK DRIVE
LAKEVILLE, MASSACHUSETTS



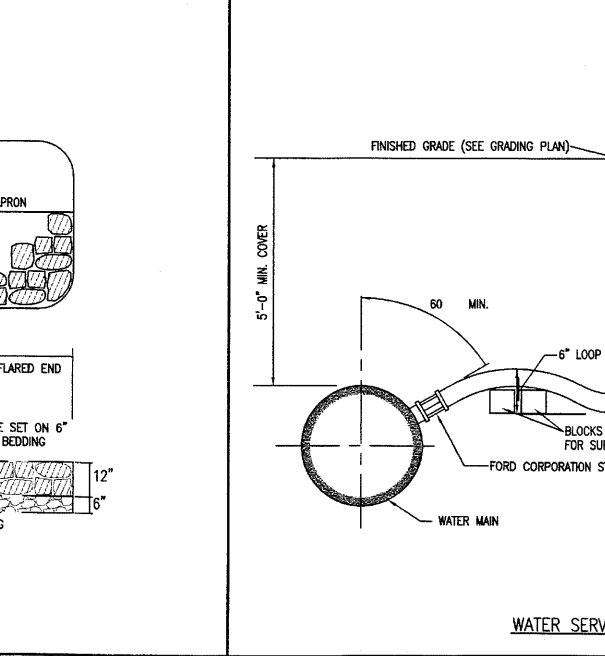
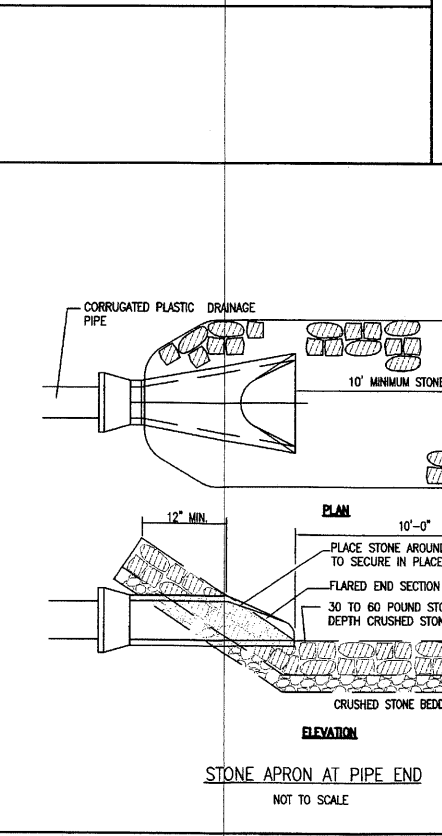
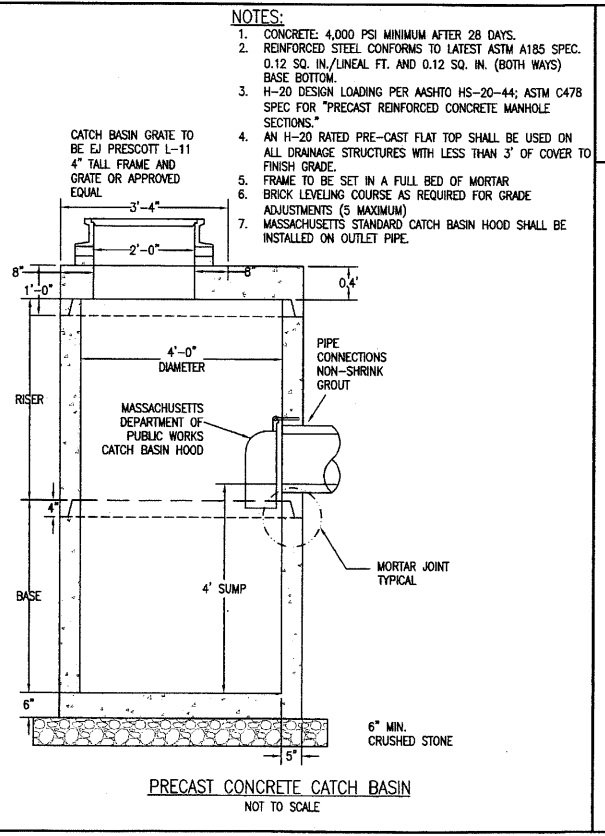
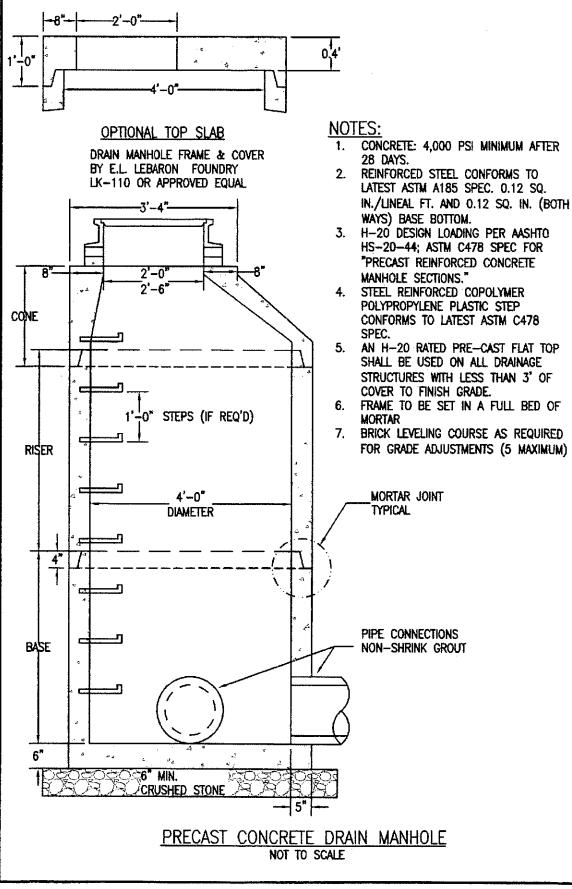
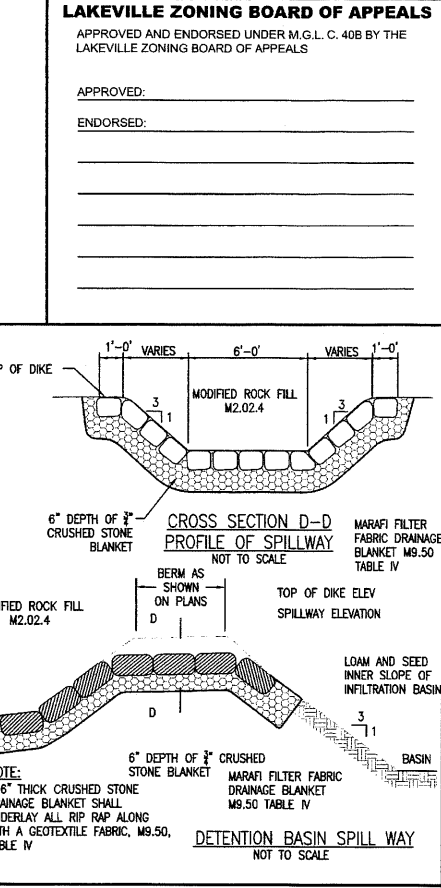
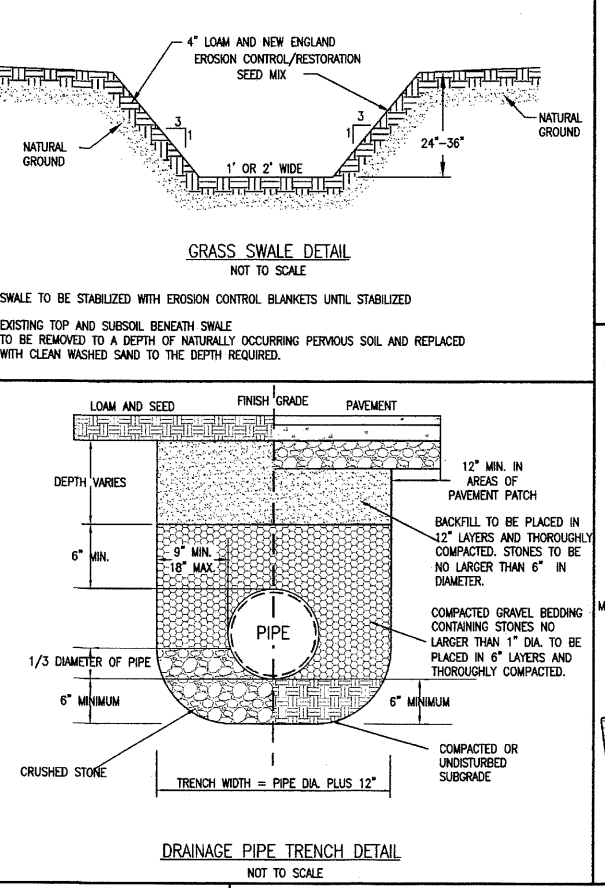
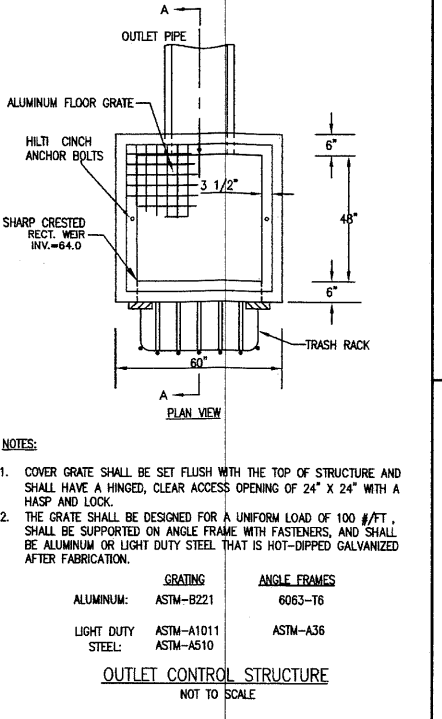
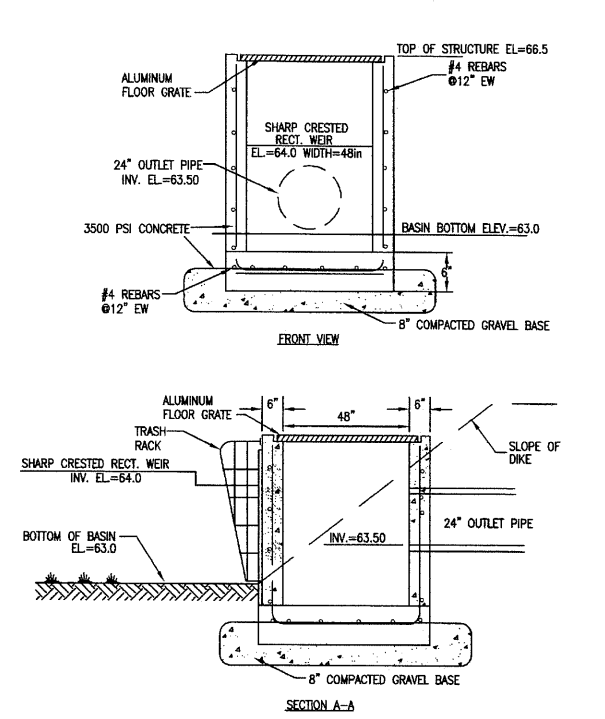
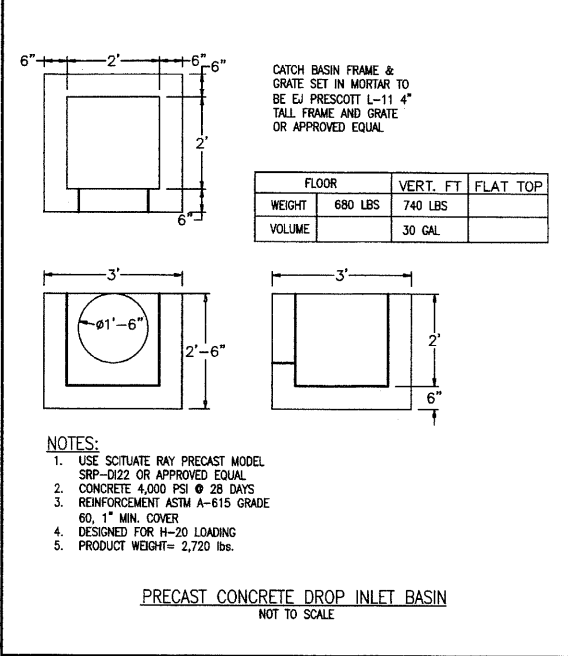
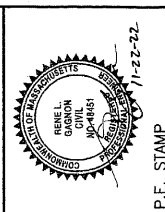
I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE LAKEVILLE ZONING BOARD OF APPEALS WAS RECEIVED AND RECORDED ON _____ AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE.

TOWN CLERK, LAKEVILLE, MA DATE _____

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE _____

FOR REGISTRY USE ONLY



ZENITH CONSULTING ENGINEERS, LLC
 3 MAIN STREET LAKEVILLE, MA 02347
 PHONE: (508) 947-4208

DATE: 11/22/2022
 PROJECT NUMBER: 0143-13-01
 SCALE: NOT TO SCALE
 SHEET ID: D1

109 BEDFORD STREET
 LAKEVILLE, MASSACHUSETTS
 NORTH BEDFORD CROSSING LLC.
 1 LAKEVILLE BUSINESS PARK DRIVE
 LAKEVILLE, MASSACHUSETTS



*Town of Lakeville
Conservation Commission
346 Bedford St.
Lakeville, MA 02347*

Phone: (508) 946-8823 FAX: (508) 946-0112

To: Zoning Board of Appeals
From: Conservation Commission
Date: January 18, 2023

Subject: LeBaron, Beals and Thomas

I have reviewed the materials forwarded to the Commission from Beals & Thomas, our environmental consultant. They have provided the Town with a review of the proposed Phase 5 modification to the plan contained in the approved Order of Resource Area Delineation (ORAD). The review recommends a series of concerns and recommendations relative to the proposed alteration. The following is a summary of these concerns the Commission requests be considered.

- The proposed plan should include any changes to the existing plan.
- A plan which shows wetland flags revised by Beals & Thomas.
- A Notice of Intent (NOI) must be submitted to include any and all revisions.
- The identification of any adverse impacts to the buffer zone area as a result of work related activities including building and drainage.
- No test pit data was included. A series of test pits are recommended to identify soils, water table, and conditions which may affect drainage.

Sincerely,

Robert Bouchard
Conservation Agent



January 17, 2023

Town of Lakeville Zoning Board of Appeals
c/o Marc Resnick, Town Planner
Town of Lakeville
346 Bedford Street
Lakeville, Massachusetts 02347

Via: Email to mresnick@lakevillema.org

Reference: Chapter 40B Comprehensive Permit Modification
The Residences at LeBaron Hills - Phase 5 Modification
LeBaron Boulevard
Lakeville, Massachusetts
B+T Project No. M3420.00

Dear Mr. Resnick and Members of the Zoning Board of Appeals:

Beals and Thomas, Inc. (B+T) is pleased to assist the Town of Lakeville Zoning Board of Appeals (the Board) with the peer review of the proposed modification of the Chapter 40B Comprehensive Permit for Phase 5 of The Residences at LeBaron Hills. We understand that The Residences at LeBaron Hills LLC (the Applicant) proposes to develop four (4) condominium buildings consisting of 35 total units (the Project) on the vacant land between the previously approved Phases 2 and 5 on LeBaron Boulevard (the Site). The Project consists of associated site improvements including driveways, parking, landscaping, utility connections, and a stormwater management system (the Project).

We received the following documentation, which served as the basis of our review:

- *"The Estates at LeBaron Hills" Phase V Modification, A Residential Subdivision in Lakeville, Mass.,* dated December 12, 2022, prepared by Outback Engineering Incorporated (10 sheets)
- *Drainage Report, The Residences at LeBaron Hills, Phase 5 Modification in Lakeville, Massachusetts,* December 12, 2022, prepared by Outback Engineering Incorporated (94 pages)

We have reviewed the documentation submitted by the Applicant with respect to the requirements of the Town of Lakeville Zoning By-law (the By-law); the Massachusetts Department of Environmental Protection (MassDEP) Stormwater Regulations and Handbook (the Handbook); and, generally accepted engineering practice.

Project Summary

The Site is zoned as part of the Residential Zoning District and is identified as Assessor's Parcel ID #026-003-010. The Site is approximately ±4-acres in area, with frontage on LeBaron Boulevard. The Site is currently undeveloped and wooded with an extensive wetland resource system to the west associated with Thompson Brook. The Site is surrounded by abutting residential uses. The Site topography is fairly flat, radiating out in each direction from a central highpoint at approximate elevation 88-ft.

The Applicant proposes to construct four (4) condominium buildings consisting of 35 total units; three (3) buildings of ten (10) units and one (1) building of five (5) units) with associated site improvements. The Project proposes 82 external parking spaces. The Project is proposed to be served by municipal water (supplied by Taunton). Wastewater management is proposed via an existing on-site wastewater treatment system. The Project proposes a stormwater management system comprised of multiple subsurface drainage units and a surface stormwater infiltration basin.



Google Earth aerial image of site and surroundings.

Site Visit:

We conducted a reconnaissance visit on January 11, 2023 to familiarize ourselves with the Site and adjacent area, and to evaluate the existing conditions relative to the proposed development. Photographs are included herein to illustrate conditions at the Site and to provide context for our comments.



Proposed southern driveway location at LeBaron Boulevard viewed to the southwest



LeBaron Boulevard at proposed driveway location viewed to the southeast



Proposed northern driveway location at LeBaron Boulevard viewed to the southwest



LeBaron Boulevard at proposed driveway location viewed to the southwest



Characterization of on-site wetland resource areas to the west and Thompson Brook



Characterization of existing on-site vegetation

General Comments

1. The Applicant has not submitted any formal waiver requests. Relative to the Residential Zoning District, the intensity regulations (one principal structure per lot) and front yard setbacks for the Project, as prescribed by Section 5.0 of the By-law, do not appear to be met as designed. We request that the Applicant confirm that no waivers from the local regulations are being sought.

2. Standing water channelization and typical wetland plants (Cattails (typha sp.) and common reed(Phragmites australis)) were observed in the vicinity of proposed Building #1. A current existing conditions plan has not been provided by the Applicant that would better define this area. We acknowledge the Order of Resource Area Delineation (ORAD) referenced that established the limits of the resource area for Thompson Brook; however, this area in question does not appear to be mapped. During, if not before, we recommend that this area be addressed in the Notice of Intent (NOI) submission with the Conservation Commission under the Wetland Projection Act regulations that are outside the Comprehensive Permit review process currently before the Board.



Observed on-site conditions in the vicinity of Building #1

3. In relation to the modification of the Comprehensive Permit being sought, the Applicant has not provided any indication of the percentage or quantity of units that will be deemed affordable for this Project relative to the inventory at The Residence at LeBaron Hills and the Town of Lakeville overall. We request that the Applicant quantify the number of affordable units being proposed for the benefit of the Board.
4. Documentation relative to the potential traffic impacts of the Project has not been provided. This modification of Phase 5, relative to the total number of units, appears to mimic the unit count for the entirety of Phase 3. We request that the Applicant document the traffic implications of the Project as proposed.
5. The Project does not appear to include any provisions for pedestrian circulation. Internal paths, walks, or gathering areas have not been provided. A crosswalk to the existing sidewalk on the east side of LeBaron Boulevard has not been provided. We request that the Applicant evaluate the potential of pedestrian circulation within the Project scope.

6. The Applicant has not provided a turning movement swept path analysis for emergency response vehicles, particularly a fire engine. We request that the Applicant provide a turning movement swept path analysis and defer ultimate review of the adequacy of the access provided to Lakeville Fire Department personnel.
7. The layout and alignment of the southern access drive appears to conflict with the existing parking layout for the northernmost Phase 5 condo building. We request that the Applicant clarify the design intent for this area and if existing parking spaces will be removed or relocated.
8. The design intent for the curbing is unclear. Materials and limits for the curbs, both internal to the Project and externally on LeBaron Boulevard, are not clearly defined. We request that the Applicant clarify the design intent for the proposed curbing.
9. Section 6.5.3.3 of the By-law prescribes parking requirements. The Applicant is providing 82 parking spaces (exceeds the 70 required at 2 parking spaces per unit); however, the Project does not appear to meet the requirement for accessible parking. Proposed Building #3 does not have an accessible parking space within 50-ft of the building. We request that the Applicant clarify the design intent and revise the parking layout as necessary.
10. The Residences at LeBaron Hills is currently served by municipal water service from the City of Taunton. The Applicant has not provided any analysis on adequacy of the supply and capacity for the existing distribution network to provide the proposed Project with the required domestic and fire demands. We request that the Applicant clarify if adequate water supply is available.
11. Water supply is proposed around the perimeter of the Project primarily behind the buildings and off paved areas. Fire hydrants are not depicted. We request that the Applicant clarify the water system design intent relative to providing for firefighting requirements.
12. The Residence at LeBaron Hills is currently served by an on-site wastewater treatment system and an existing MassDEP Groundwater Discharge Permit. The Applicant has not provided any analysis on the adequacy and capacity for this system to serve the proposed Project. We request that the Applicant clarify if adequate sewer capacity is available under the existing MassDEP approvals.

13. Sewer manholes SHM2 and SHM3 are designed with a 4-ft internal diameter with multiple acute angles for the lateral connections. We request that the Applicant clarify the structural design of each of these structures and determine if the diameters need to be up-sized to accommodate the layout proposed. Additionally, the sewer lateral connections from Building #4 do not appear to intercept the trunk line. We presume this is a drafting error; however, request that the Applicant clarify the sewer design intent.
14. The Applicant has not depicted a corridor or layout for private electrical and telecommunication services. Understanding these services will need to be coordinated with the specific utility providers, we request that the Applicant provide and depict a proposed corridor for the reference utilities.
15. The Applicant has not provided architectural plans to document the character of the proposed buildings relative to the surrounding uses. Without elevations, building heights cannot be confirmed. We request that architectural plans be provided for the Administrative Record. The Applicant should also provide the design intent with regard to the Massachusetts Architectural Access Board (MAAB) regulations (521 CMR) and whether the buildings are considered "Multiple Dwelling" buildings with respect to the required number of accessible units and accessible entrances.
16. The Applicant has not provided a lighting design or a photometric analysis. We request that the Applicant clarify the design intent for site lighting.
17. The Applicant has not delineated snow storage areas. We request that the Applicant delineate adequate snow storage areas or provide protocols for removing and disposing snow from the Project as may be necessary.
18. The Applicant has not provided provisions for solid waste collection. A dumpster pad has not been provided. We request that the Applicant clarify the proposed protocols for solid waste collection.
19. Outside of the Comprehensive Permit review process, the Project will be subject to Conservation Commission review and will need to submit an NOI. Wetland flags were not observed on-site. We recommend that the wetland line be reestablished in the field for the NOI review process.
20. The Applicant should review the grading design as it appears that there are some proposed contours missing or are mislabeled.

Stormwater Management Comments

21. Standard 8 of the Handbook stipulates requirements for construction period controls and the submission of a Stormwater Pollution Prevention Plan (SWPPP). We note that a SWPPP or draft SWPPP has not been provided by the Applicant. We recommend that the submission of a SWPPP prior to construction be considered as a potential condition of approval.
22. Test pit information, specifically in the areas of the proposed stormwater management system components, has not been provided. This information is critical to determine the in-situ soil characteristics in the location of each system and to establish the seasonal high groundwater elevation. The Handbook requires a 2-ft vertical separation between the seasonal high groundwater elevation and the bottom of infiltrative Best Management Practices (BMPs). Those systems designed to attenuate the 10-year design storm and above also need to demonstrate a 4-ft vertical separation to groundwater or a mounding analysis is required. We request that the Applicant document and establish the seasonal high groundwater elevation for each of the infiltrative BMPs.
23. We acknowledge the stormwater basin design and the outlet control structure proposed. However, the basin design does not include an emergency spillway if the outlet control structure becomes clogged or comprised. If the basin were to overtop, we recommend a spillway for this to happen in a controlled manner in a single area to limit erosion. We request that the Applicant clarify the stormwater basin design.
24. The modeling of the leaching pits is unclear. The elevations used do not appear to correlate to the model. The modeling assumes 1-ft of stone below these structures where the detail does not. We request that the Applicant clarify the design intent for the referenced infrastructure.
25. The modeling of the leaching pits LP-1 and LP-4 is unclear. The elevations noted on the plans do not appear to correlate to those used in the model. We request that the Applicant clarify the design intent for the referenced infrastructure.
26. Roof drainage is proposed to be discharged to subsurface leaching structures. These systems do not appear to be designed with emergency overflows. We request that the Applicant clarify the roof drainage system designs.

Town of Lakeville Zoning Board of Appeals
c/o Marc Resnick, Town Planner
January 17, 2023
Page 10

Landscape Comments

27. The landscape plan provided does not provide for vegetative screening between the proposed Project and the existing residential uses to the north or south. We request that the Applicant reevaluate the need for screening between the Project and the existing on-site developments.

B+T will be available to attend the next Board public hearing, upon request, to present the results of our review and be available for discussion regarding the comments listed herein.

We thank you for the opportunity to assist the Town of Lakeville with the review of this Project. Should you have any questions, please do not hesitate to contact our office.

Very truly yours,

BEALS AND THOMAS, INC.



Matthew Cote, PE, SITES AP, ENV SP
Senior Civil Engineer

A handwritten signature in black ink that reads "David J. LaPointe".

David J. LaPointe, RLA, LEED AP, CPSI
Principal

MC/djl/aak/342000LT001

"THE ESTATES AT LEBARON HILLS"

PHASE V MODIFICATION

A RESIDENTIAL SUBDIVISION IN LAKEVILLE, MASS.



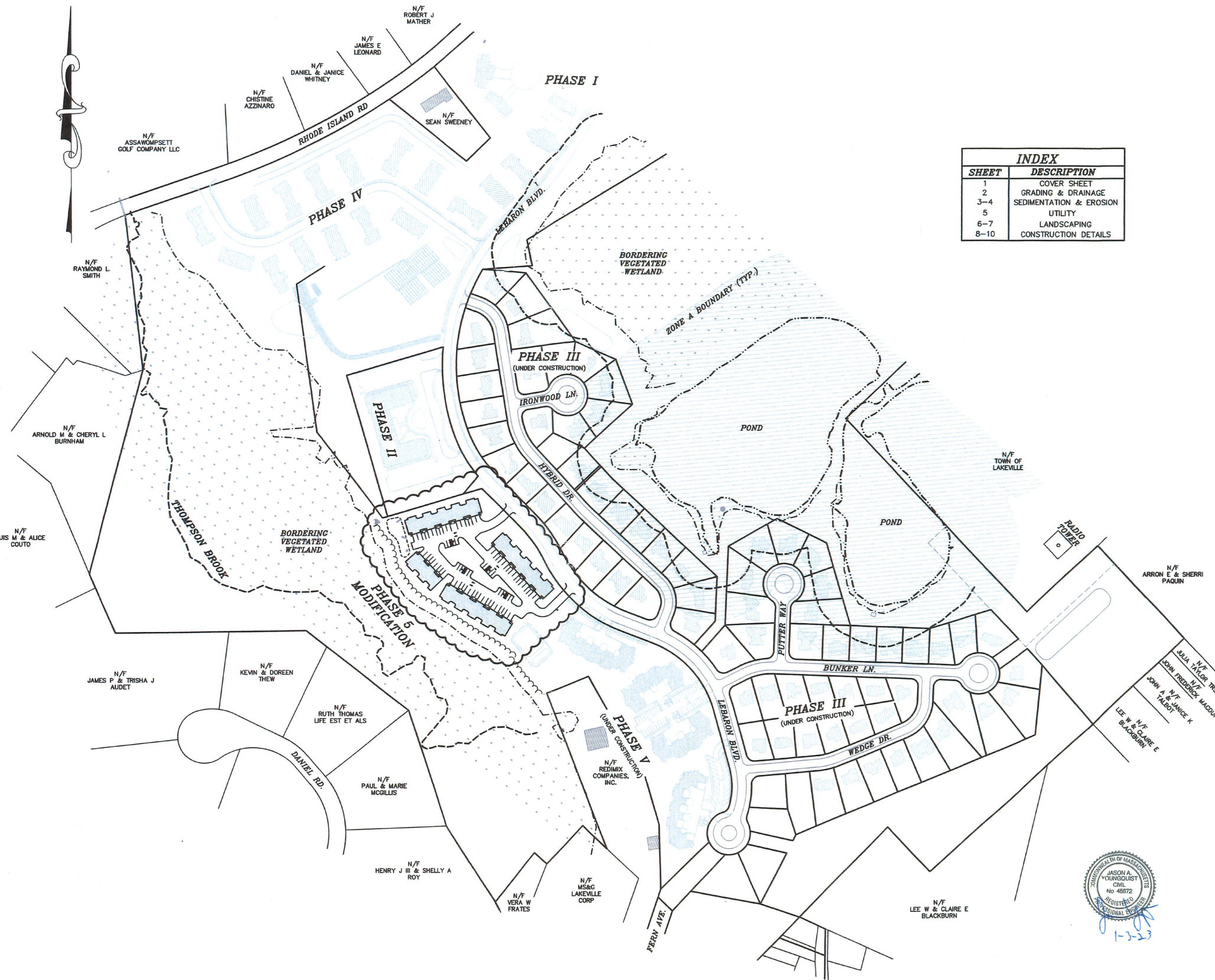
TOUGS MAP
N.T.S.

GENERAL NOTES

- THIS PLAN IS A MODIFICATION OF THE COMPREHENSIVE PERMIT ISSUED BY THE LAKEVILLE ZONING BOARD DATED JUNE 18TH, 2004.
- THE TOPOGRAPHICAL DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM SURVEYS PERFORMED BY OUTBACK ENGINEERING INC.
- FLOOD PLAIN INFORMATION WAS OBTAINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 25023004254, EFFECTIVE ON 07/17/2012. THE SITE IS ENTIRELY IN ZONE X.
- WETLAND APPROVAL
 - EASTERLY WETLAND LINE APPROVED BY THE LAKEVILLE CONSERVATION COMMISSION IN AN ORDER OF RESOURCE AREA DELINEATION ISSUED ON 8-24-10.
 - WESTERLY WETLAND LINE AND THOMPSON BROOK LOCATION APPROVED BY THE LAKEVILLE CONSERVATION COMMISSION IN A MEETING CLOSED ON 8-24-21.
- CONTRACTORS SHALL NOTIFY DIOSAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO THE ONSET OF CONSTRUCTION TO HAVE ALL EXISTING UTILITIES ALONG LEBARON BOULEVARD CLEARLY LOCATED AND MARKED.
- THE PROPERTY IS NOT LOCATED WITHIN AN ESTIMATED HABITAT OF RARE WILDLIFE AND CERTIFIED VERNAL POOLS AS SHOWN ON THE LATEST MASSACHUSETTS NATURAL HERITAGE MAPS AVAILABLE ONLINE.
- ALL WATER CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE CITY OF TAUNTON. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PERMITS AND APPROVALS ARE OBTAINED BEFORE STARTING CONSTRUCTION.
- THE PROPERTY IS PROPOSED TO BE SERVICED BY UNDERGROUND ELECTRIC, TELEPHONE, CABLE, SEWER LINES, AND MUNICIPAL WATER.
- THE SEPTIC SYSTEM SHOWN AS WELL AS THE PROPOSED WASTEWATER TREATMENT PLANT ARE DESIGNED BY OTHERS.
- ALL DISTURBED AREAS TO BE LOAM AND SEEDED.
- ALL ELEVATIONS REFER TO NGVD 29 DATUM.
- GAS, TELEPHONE, AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH MECHANICAL, ELECTRIC, AND PLUMBING CONSULTANTS. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES AND DESIGN OF NEW UTILITIES WITH APPROPRIATE UTILITY DEPARTMENT.
- INSTALL WATER LINES WITH A MINIMUM OF FIVE FEET OF COVER AND A MAXIMUM OF SEVEN FEET.
- MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SEWER AND WATER LINES. WHEREVER THERE IS LESS THAN 18" OF VERTICAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE AND A PROPOSED OR EXISTING WATER LINE, BOTH UTILITIES SHALL BE SLEEVED OR ENCASED IN CONCRETE. WHEREVER THERE IS LESS THAN 10 FEET OF HORIZONTAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE AND A PROPOSED OR EXISTING WATER LINE, BOTH UTILITIES SHALL BE PLACED IN SEPARATE TRENCHES AND BOTH UTILITIES SHALL BE SLEEVED OR ENCASED IN CONCRETE.

LEGEND


EXISTING	PROPOSED	DESCRIPTION
-80	-80	MAJOR CONTOUR
-82	-82	MINOR CONTOUR
82X0	82X0	SPOT ELEVATION
[Symbol]	[Symbol]	BORDERING VEGETATED WETLANDS
[Symbol]	[Symbol]	100' BUFFER FROM WETLANDS
[Symbol]	[Symbol]	CHAIN-LINK FENCE
[Symbol]	[Symbol]	EASEMENT
[Symbol]	[Symbol]	BUILDING SETBACK LINE
[Symbol]	[Symbol]	WATER MAIN
[Symbol]	[Symbol]	WATER SERVICE
[Symbol]	[Symbol]	WATER SERVICE SHUTOFF
[Symbol]	[Symbol]	WATER GATE
[Symbol]	[Symbol]	FIRE HYDRANT
[Symbol]	[Symbol]	UNDERGROUND ELEC, TELE, & CABLE
[Symbol]	[Symbol]	OVERHEAD WIRES
[Symbol]	[Symbol]	UTILITY POLE
[Symbol]	[Symbol]	DRAINAGE
[Symbol]	[Symbol]	CATCH BASIN
[Symbol]	[Symbol]	DRAIN MANHOLE
[Symbol]	[Symbol]	DRILL HOLE
[Symbol]	[Symbol]	IRON PIPE
[Symbol]	[Symbol]	BOUND
[Symbol]	[Symbol]	TEST PIT
[Symbol]	[Symbol]	TREELINE
[Symbol]	[Symbol]	WETLAND FLAG
[Symbol]	[Symbol]	FLOW LINE



INDEX	
SHEET	DESCRIPTION
1	COVER SHEET
2	GRADING & DRAINAGE
3-4	SEDIMENTATION & EROSION
5	UTILITY
6-7	LANDSCAPING
8-10	CONSTRUCTION DETAILS

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



1-3-15
DATE PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____

LAKEVILLE ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND THAT NO APPEAL HAS BEEN FILED AT THIS OFFICE.

TOWN CLERK-TOWN OF LAKEVILLE

OWNER & APPLICANT

THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375

ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
ASSESSORS MAP: 18 BLOCK: 3 LOTS: 1 & 2

REVISIONS		
NO.	DATE	DESCRIPTION

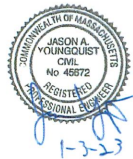
COVER SHEET
"THE ESTATES AT LEBARON HILLS"
PHASE V MODIFICATION
A
RESIDENTIAL SUBDIVISION
IN
LAKEVILLE
MASSACHUSETTS

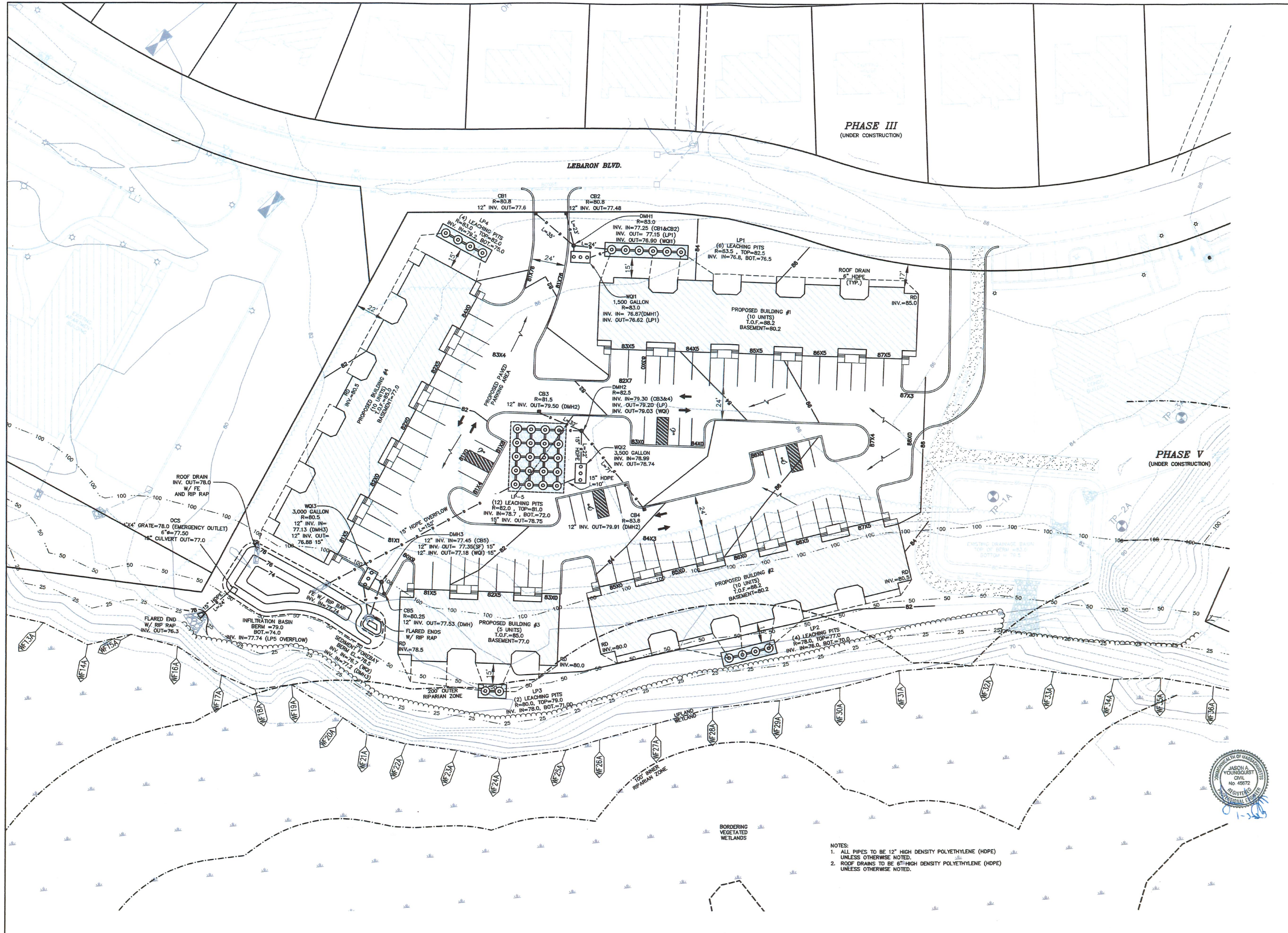
Outback Engineering
Incorporated

165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508)-946-9231

DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
DATE: 12-12-22 PROJECT No. 1865E
1865E MASTER.dwg SHEET 1 OF 10

0' 150' 300' 450'
SCALE: 1"=150'





PHASE III
(UNDER CONSTRUCTION)

LEBARON BLVD.

PHASE V
(UNDER CONSTRUCTION)

FOR REGISTRY USE ONLY
I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



1-3-23
DATE PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____

LAKEVILLE ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND THAT NO APPEAL HAS BEEN FILED AT THIS OFFICE.

TOWN CLERK-TOWN OF LAKEVILLE

OWNER & APPLICANT

THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
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REVISIONS

NO.	DATE	DESCRIPTION

GRADING & DRAINAGE
"THE ESTATES AT LEBARON HILLS"
PHASE V MODIFICATION
A
RESIDENTIAL SUBDIVISION
IN
LAKEVILLE
MASSACHUSETTS

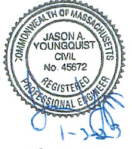


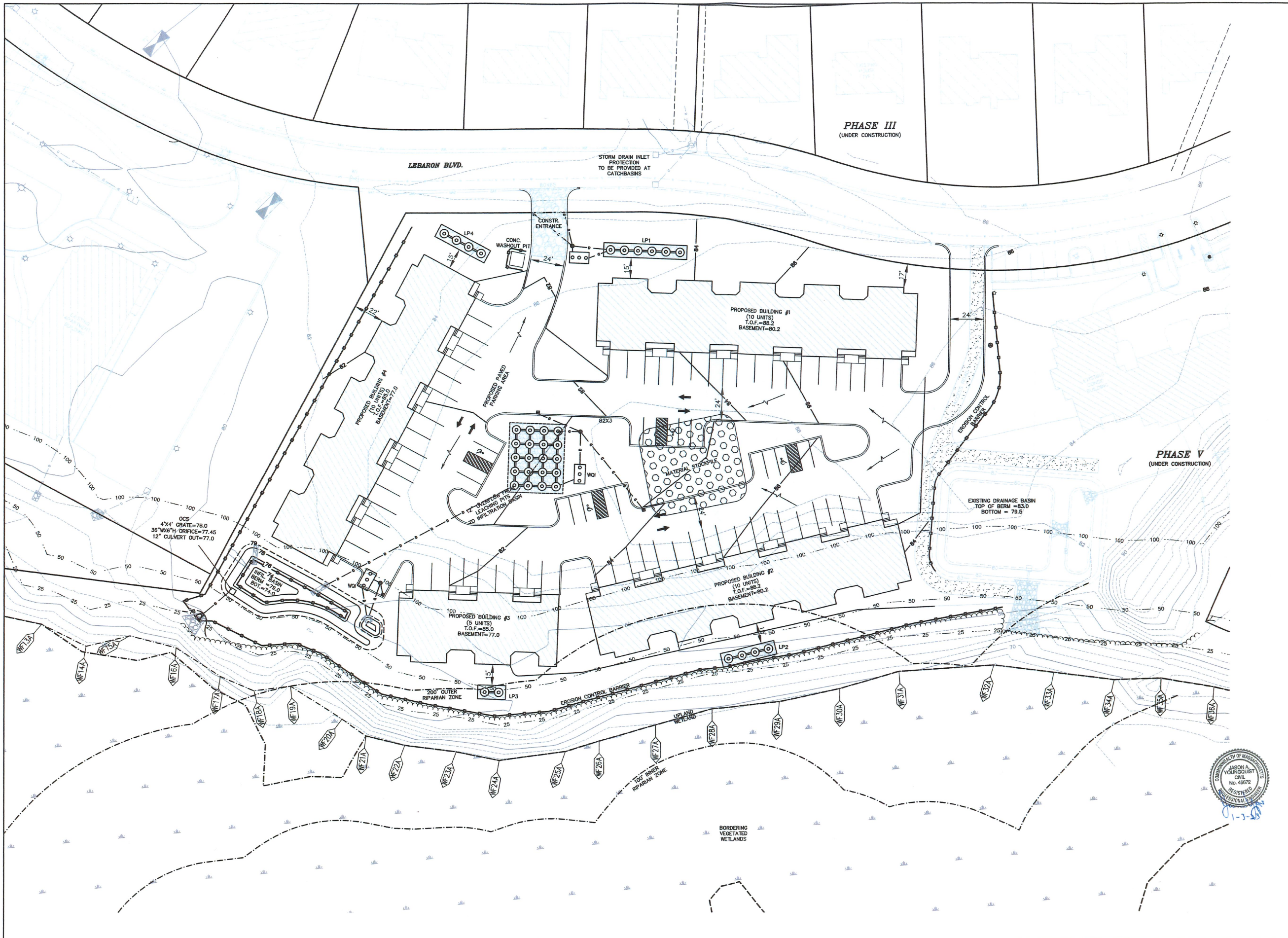
165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508)-946-9231

DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
DATE: 12-12-22 PROJECT No. 1865E
1865E MASTER.dwg SHEET 2 OF 10

SCALE: 1"=30'

- NOTES:
1. ALL PIPES TO BE 12" HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE NOTED.
2. ROOF DRAINS TO BE 6" HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE NOTED.





FOR REGISTRY USE ONLY
 I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



1-9-23
 DATE PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____

 LAKEVILLE ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND THAT NO APPEAL HAS BEEN FILED AT THIS OFFICE.

TOWN CLERK - TOWN OF LAKEVILLE

OWNER & APPLICANT
 THE RESIDENCES AT LEBARON HILLS, LLC
 32 NORFOLK AVENUE
 SOUTH EASTON, MA 02375
 ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
 ASSESSORS MAP: 18 BLOCK: 3 LOTS: 1 & 2

REVISIONS		
NO.	DATE	DESCRIPTION

SEDIMENTATION & EROSION CONTROL
"THE ESTATES AT LEBARON HILLS"
PHASE V MODIFICATION
 A
RESIDENTIAL SUBDIVISION
IN LAKEVILLE MASSACHUSETTS



165 EAST GROVE STREET
 MIDDLEBOROUGH, MA 02346
 TEL: (508)-946-9231

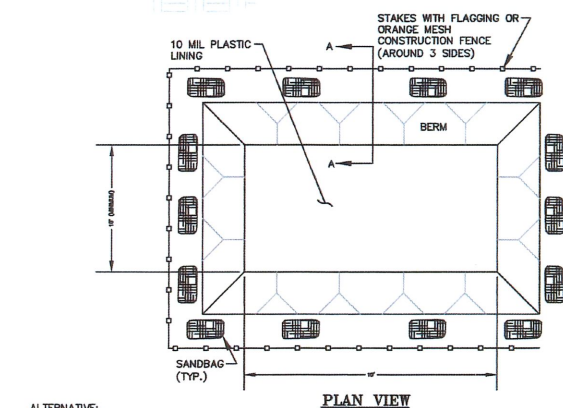
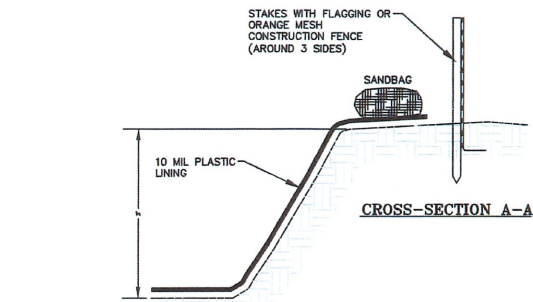
DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
 DATE: 12-12-22 PROJECT No. 1865E
 1865E MASTER.dwg SHEET 3 OF 10

0' 30' 60' 90'
 SCALE: 1"=30'

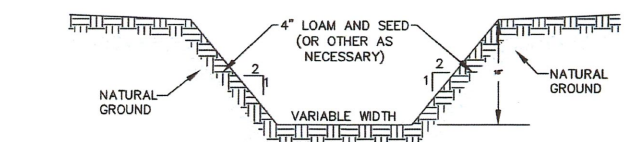


Operation and Maintenance Schedule

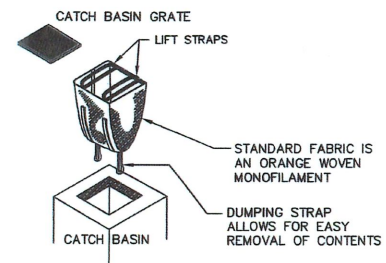
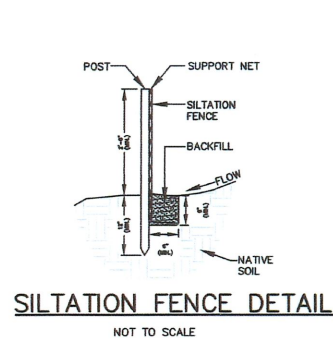
- A) Construction Operation and Maintenance Schedule
 The Operation and Maintenance (O&M) Schedule during the construction period is the responsibility of the Developer/Contractor. The outline below shall be followed as closely as possible to ensure the proper construction and function of the drainage facility.
- Minimum clearing should occur during the construction process. The limit of clearing is shown on the Definitive Plan and should be adhered to as closely as possible, with the only tree removal in areas necessary for site design and safety. It shall be the contractor's responsibility to determine level of safety regarding standing trees. In conjunction with roadway construction, the infiltration basins shall be constructed and side slopes stabilized as soon as possible (i.e. loam and seed, hydroseed, etc.). Once upslope area are stabilized and it is determined that no sediment is entering the basins, they shall be cleaned free of fine sediment.
 - Haybales and/or all fence shall be placed at the bottom of the interior slope of the infiltration basins until they are stabilized. Upon stabilization of upslope areas, the haybales and/or silt fence and accumulated sediment shall be removed to prevent sediment from clogging the basins.
 - Silt socks to be placed in catch basins. Fabric shall be inspected weekly and replaced when clogged. Filter Fabric to remain until disturbed areas are stabilized to the satisfaction of the design engineer.
 - Catch basins and water quality tanks shall be inspected weekly during construction. If there is sediment buildup observed in any structure, the structure shall be cleaned immediately.
 - The infiltration basins shall be inspected weekly and after large storms. If there is evidence of erosion, the eroded area shall be re-stabilized and measures shall be taken to prevent a similar occurrence. Any sediment build-up shall be removed. Trash racks with outlets shall be cleaned of debris.
 - During individual lot construction, measures should be taken to reduce the amount of sediment entering the roadway. This may include placing silt fence or simply constructing a temporary berm along the lot line.
 - This schedule must be adhered to by the contractor/owner until the roadway is completed.
- B) Post-development Operation and Maintenance Schedule
 Once construction is completed, the following shall be carried out by the contractor/owner, the Homeowners Association once the roadway is constructed, or once the Home Association assumes responsibility for maintenance. The outline below shall be carried out as closely as possible to ensure proper operation of the drainage facility.
- Sweep streets two times annually. Sweeping shall be done during the beginning to middle of the spring season after all snow has melted and road sand or de-icer can be easily swept. As with any sweeping, collected debris shall be disposed of in accordance with local, state, and federal guidelines and regulations.
 - Inspect catch basins and water quality tanks once monthly and clean at least once annually. All sediment and hydrocarbons should be properly handled and disposed of in accordance with local, state, and federal guidelines and regulations.
 - Inspect infiltration basins once monthly after construction and after every major storm. Once it is determined that the infiltration basins are properly stabilized, the basins shall be inspected at least twice annually. At least one of the routine inspections shall be in the spring to inspect for cracking or erosion of side slopes, accumulation of sediment, and litter. Perform sediment and/or litter removal, earth repair, and reseeding immediately, if necessary. Sediment removal should not take place until the floors of the basins are thoroughly dry. The grass in the basins shall be mowed and grass clippings, organic matter, and accumulated litter and debris removed at least twice during the growing season.
 - The stormwater system to be inspected by a professional engineer yearly for the first five years of operation.



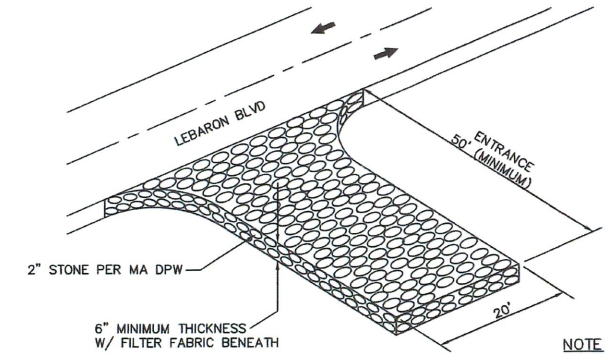
BELOW GRADE CONCRETE WASHOUT PIT
 NOT TO SCALE



CONTRACTOR SHALL STABILIZE AS NECESSARY USING RIP RAP, CRUSHED STONE, EROSION CONTROL BLANKETS, AND/OR LOAM & SEED

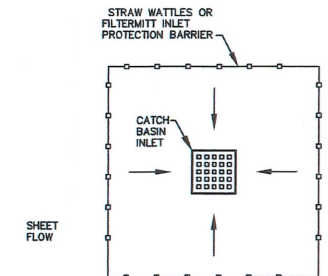


NOTE: SILT SACKS TO BE INSTALLED AT CATCH BASINS ONLY AFTER ROAD IS CONSTRUCTED TO BASE COURSE PAVEMENT

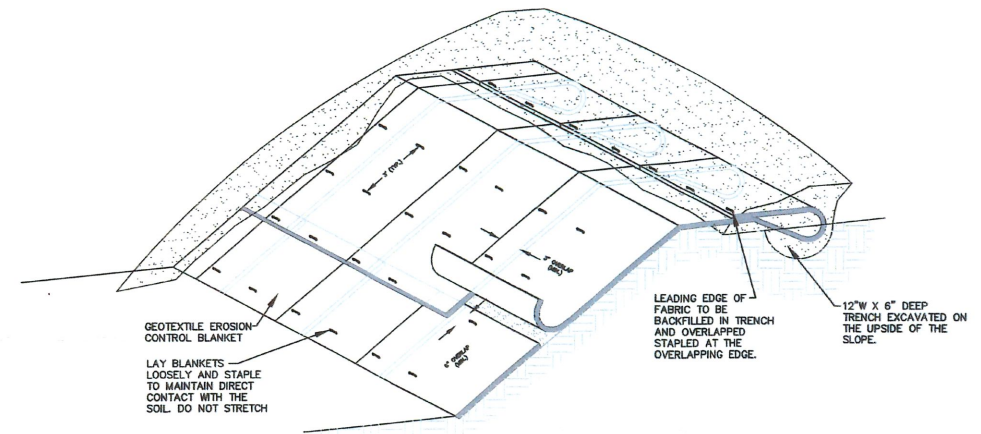


NOTE: STONE TO BE INSPECTED WEEKLY DURING CONSTRUCTION AND REPLACED WHEN CLOGGED WITH SILT

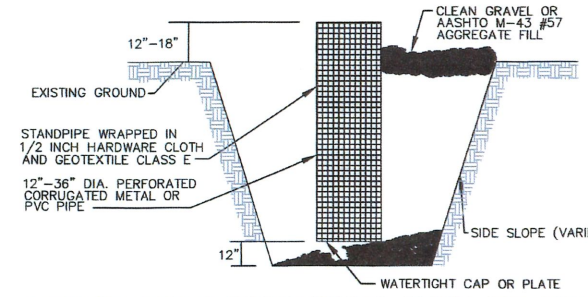
TEMPORARY SITE CONSTRUCTION ENTRANCE PAD
 N.T.S.



- NOTES:
- FILTERMITT SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS THE EXPECTED FLOW PATH.
 - FILTERMITT OR OTHER TO BE INSTALLED PER DETAIL SPECIFICATIONS.
 - TO BE INSTALLED AT ALL CATCHBASINS UNTIL SITE IS FULLY STABILIZED.

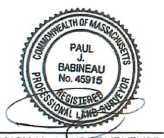


GEOTEXTILE EROSION CONTROL BLANKET
 NOT TO SCALE



NOTE: IN LOCATIONS WHERE DEWATERING IS REQUIRED, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING SUMP PIT IN ACCORDANCE WITH THE DETAIL PROVIDED. TO PREVENT THE MIGRATION OF SILT AND SEDIMENT, THE CONTRACTOR SHALL FIT THE DISCHARGE END OF THE PUMP HOSE WITH A COMPOSITE SOCK AND ALL FLOW SHALL BE DISCHARGED INTO A SEDIMENT CONTROL TRAP PRIOR TO CONVEYANCE INTO THE STORM DRAIN SYSTEM. THE SEDIMENT CONTROL TRAP SHALL BE CONSTRUCTED UTILIZING AN ENCLOSED AREA OF SILT FENCE AND/OR FILTERMITT IN ACCORDANCE WITH THE DETAIL SHOWN. SEDIMENT TRAPS SHALL BE PLACED IN UPLAND AREAS ONLY AWAY FROM WETLANDS.

FOR REGISTRY USE ONLY
 I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



1-2-23
 DATE PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____

 LAKEVILLE ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND THAT NO APPEAL HAS BEEN FILED AT THIS OFFICE.

TOWN CLERK—TOWN OF LAKEVILLE

OWNER & APPLICANT

THE RESIDENCES AT LEBARON HILLS, LLC
 32 NORFOLK AVENUE
 SOUTH EASTON, MA 02375
 ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
 ASSESSORS MAP: 18 BLOCK: 3 LOTS: 1 & 2

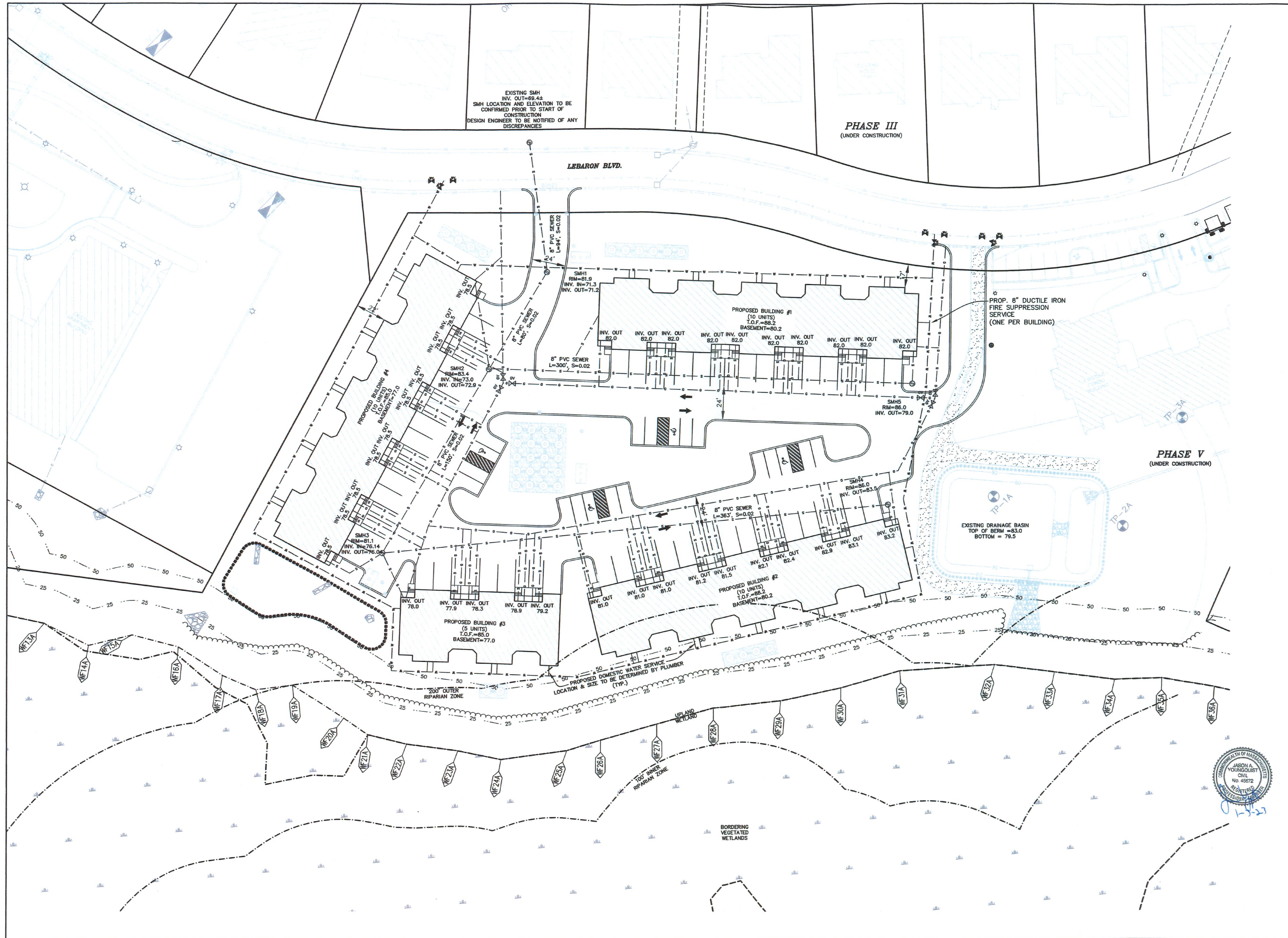
REVISIONS

NO.	DATE	DESCRIPTION

SEDIMENTATION & EROSION CONTROL DETAILS
"THE ESTATES AT LEBARON HILLS"
 PHASE V MODIFICATION
 A
 RESIDENTIAL SUBDIVISION
 IN
 LAKEVILLE
 MASSACHUSETTS



165 EAST GROVE STREET
 MIDDLEBOROUGH, MA 02346
 TEL: (508)-946-9231
 DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
 DATE: 12-12-22 PROJECT No. 1865E
 1865E MASTER.dwg SHEET 4 OF 10



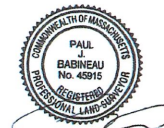
EXISTING SMH
INV. OUT=69.42
SMH LOCATION AND ELEVATION TO BE
CONFIRMED PRIOR TO START OF
CONSTRUCTION
DESIGN ENGINEER TO BE NOTIFIED OF ANY
DISCREPANCIES

PHASE III
(UNDER CONSTRUCTION)

LEBARON BLVD.

PHASE V
(UNDER CONSTRUCTION)

FOR REGISTRY USE ONLY
I CERTIFY THAT THIS PLAN HAS
BEEN PREPARED IN CONFORMANCE
WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS.



1-3-22
DATE PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L.
C. 40B BY THE LAKEVILLE ZONING BOARD
OF APPEALS.

DATE: _____

LAKEVILLE ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE
ELAPSED SINCE PLANNING BOARD
APPROVAL, AND THAT NO APPEAL
HAS BEEN FILED AT THIS OFFICE.

TOWN CLERK-TOWN OF LAKEVILLE

**OWNER &
APPLICANT**

THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
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REVISIONS

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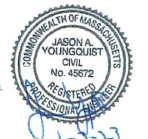
UTILITY PLAN
"THE ESTATES AT
LEBARON HILLS"
PHASE V MODIFICATION
A
RESIDENTIAL SUBDIVISION
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LAKEVILLE
MASSACHUSETTS



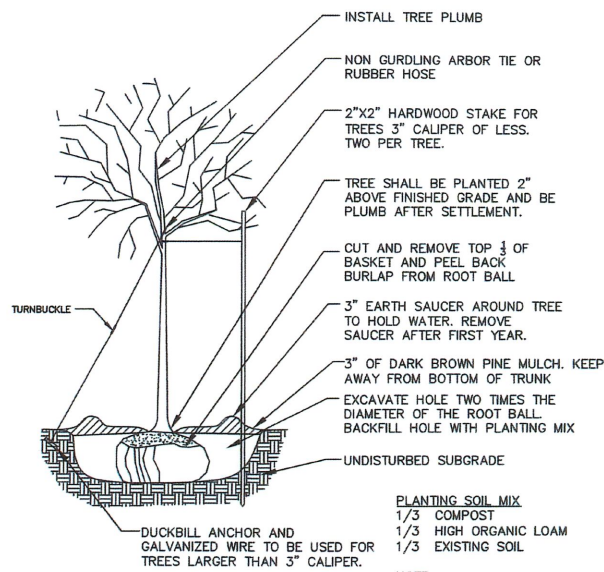
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MIDDLEBOROUGH, MA 02346
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DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
DATE: 12-12-22 PROJECT No. 1865E
1865E MASTER.dwg SHEET 5 OF 10

0' 30' 60' 90'
SCALE: 1"=30'



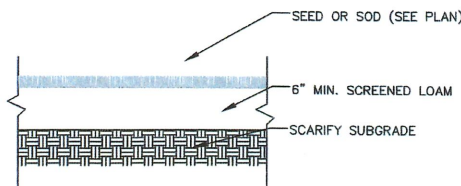
1-3-22



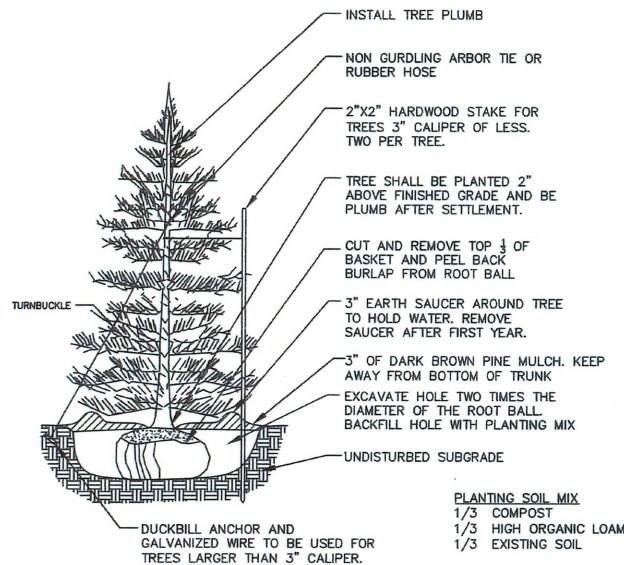
TREE PLANTING DETAIL
NOT TO SCALE

PLANTING SOIL MIX
1/3 COMPOST
1/3 HIGH ORGANIC LOAM
1/3 EXISTING SOIL

NOTE:
ALL TREES SHOULD BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING



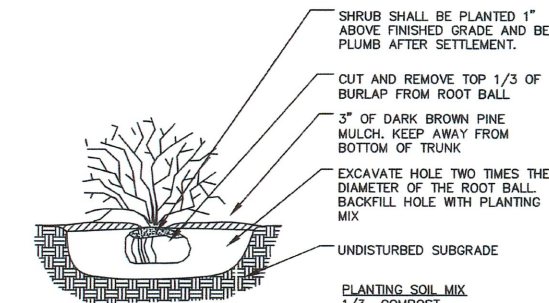
SEED/SOD
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

PLANTING SOIL MIX
1/3 COMPOST
1/3 HIGH ORGANIC LOAM
1/3 EXISTING SOIL

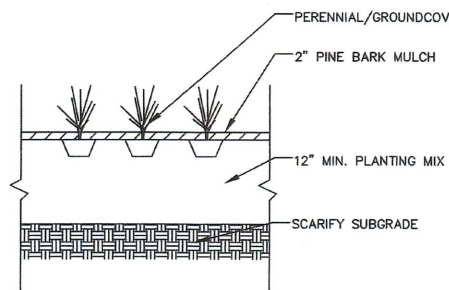
NOTE:
ALL TREES SHOULD BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING



SHRUB PLANTING DETAIL
NOT TO SCALE

PLANTING SOIL MIX
1/3 COMPOST
1/3 HIGH ORGANIC LOAM
1/3 EXISTING SOIL

NOTE:
CONTINUOUS SHRUB BEDS SHOULD HAVE A MINIMUM OF 12\"/>



PERENNIALS/GROUNDCOVERS
NOT TO SCALE

PLANT SCHEDULE

TREES	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AR		ACER RUBRUM	RED MAPLE	2-2.5\"/>	

SHRUBS	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
CA		CLETHRA ALNIFOLIA HUMMINGBIRD	SUMMERSWEET	5 GAL.	CONT.

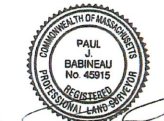
PERENNIALS AND GRASSES	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
EK		ECHINACEA PURPUREA	CONEFLOWER	1 GAL.	CONT.

LANDSCAPE NOTES

- A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF SIZES, TYPES AND NAMES HAVE BEEN INCLUDED IN THIS PLAN SET. IN THE EVENT OF DISCREPANCIES BETWEEN THE PLANTS ON THE PLANT LIST VERSUS THE PLAN THE PLAN SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE ANY DISCREPANCIES.
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL NUTRIENT TEST PRIOR TO INSTALLATION TO DETERMINE WHAT SOIL AMENDMENTS ARE NEEDED TO PROVIDE OPTIMUM GROWING CONDITIONS FOR SEEDING AND PLANTING. CONTRACTOR SHALL USE THE UNIVERSITY OF MASSACHUSETTS SOIL TESTING LAB OR AN APPROVED EQUAL.
- NO PLANT SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OR THE OWNER.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL AND LANDSCAPE IMPROVEMENTS FOR A PERIOD OF ONE YEAR AFTER FINAL APPROVAL.
- MAINTENANCE OF PLANT MATERIAL SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL FINAL APPROVAL. PLANTS ARE TO BE KEPT IN HEALTHY, GROWING CONDITION BY WATERING, PRUNING, SPRAYING, WEEDING AND ANY OTHER NECESSARY MAINTENANCE OPERATIONS.
- PLANT BEDS ARE TO BE MULCHED WITH DOUBLE SHREDDED PINE BARK. TREES AND SHRUBS ARE TO RECEIVE AN EVEN 3\"/>



FOR REGISTRY USE ONLY
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1-5-23
DATE: PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____

LAKEVILLE ZONING BOARD OF APPEALS

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TOWN CLERK - TOWN OF LAKEVILLE

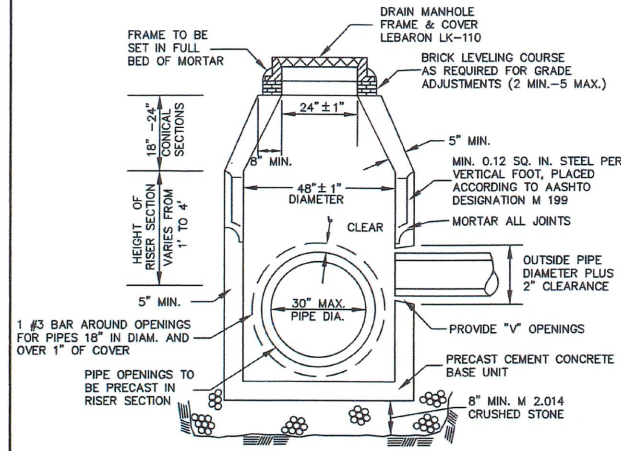
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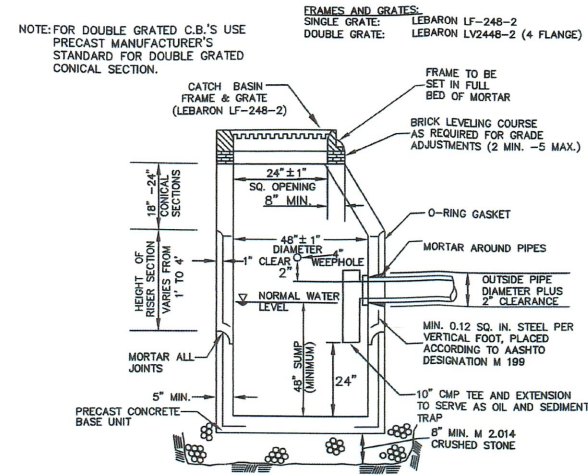
LANDSCAPING DETAILS
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1865E MASTER.dwg SHEET 7 OF 10

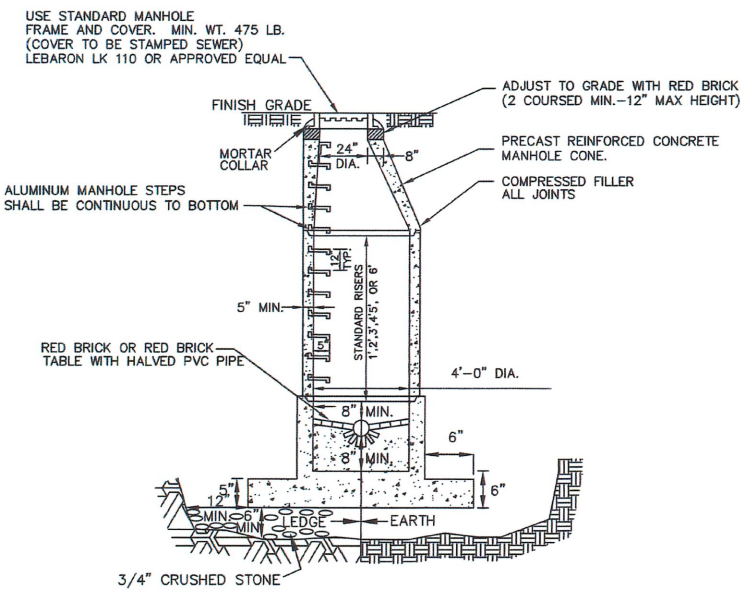


PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE

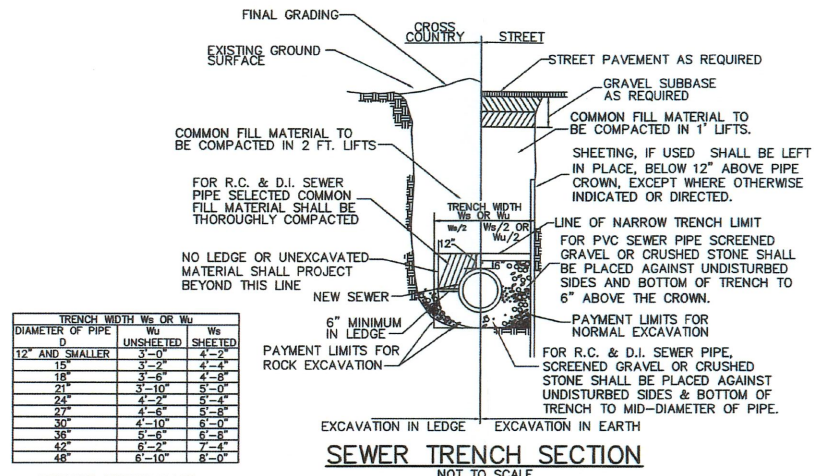


PRECAST CONCRETE CATCH BASIN
NOT TO SCALE

- Operation and Maintenance Schedule**
- A) Construction Operation and Maintenance Schedule
The Operation and Maintenance (O&M) Schedule during the construction period is the responsibility of the Developer/Contractor. The outline below shall be followed as closely as possible to ensure the proper construction and function of the drainage facility.
- Minimum clearing should occur during the construction process. The limit of clearing is shown on the Definitive Plan and should be adhered to as closely as possible, with the only tree removal in areas necessary for site design and safety. It shall be the contractor's responsibility to determine level of safety regarding standing trees. In conjunction with roadway construction, the infiltration basins shall be constructed and side slopes stabilized as soon as possible (i.e. loam and seed, hydroseed, etc.). Once upslope area is stabilized and it is determined that no sediment is entering the basins, they shall be cleaned free of fine sediment.
 - Haybales and/or silt fence shall be placed at the bottom of the interior slope of the infiltration basins until they are stabilized. Upon stabilization of upslope areas, the haybales and/or silt fence and accumulated sediment shall be removed to prevent sediment from clogging the basins.
 - Silt socks to be placed in catch basins. Fabric shall be inspected weekly and replaced when clogged. Filter Fabric to remain until disturbed areas are stabilized to the satisfaction of the design engineer.
 - Catch basins and water quality tanks shall be inspected weekly during construction. If there is sediment buildup observed in any structure, the structure shall be cleaned immediately.
 - The infiltration basins shall be inspected weekly and after large storms. If there is evidence of erosion, the eroded area shall be re-stabilized and measures shall be taken to prevent a similar occurrence. Any sediment build-up shall be removed. Trash racks with outlets shall be cleaned of debris.
 - During individual lot construction, measures should be taken to reduce the amount of sediment entering the roadway. This may include placing silt fence or simply constructing a temporary berm along the lot line.
 - This schedule must be adhered to by the contractor/owner until the roadway is completed.
- B) Post-development Operation and Maintenance Schedule
Once construction is completed, the following shall be carried out by the contractor/owner, the Homeowners Association once the roadway is constructed, or once the Home Association assumes responsibility for maintenance. The outline below shall be carried out as closely as possible to ensure proper operation of the drainage facility.
- Sweep streets two times annually. Sweeping shall be done during the beginning to middle of the spring season after all snow has melted and road sand or de-icer can be easily swept. As with any sweeping, collected debris shall be disposed of in accordance with local, state, and federal guidelines and regulations.
 - Inspect catch basins and water quality tanks once monthly and clean at least once annually. All sediment and hydrocarbons should be properly handled and disposed of in accordance with local, state, and federal guidelines and regulations.
 - Inspect infiltration basins once monthly after construction and after every major storm. Once it is determined that the infiltration basins are properly stabilized, the basins shall be inspected at least twice annually. At least one of the routine inspections shall be in the spring to inspect for cracking or erosion of side slopes, accumulation of sediment, and litter. Perform sediment and/or litter removal, earth repair, and reseeding immediately, if necessary. Sediment removal should not take place until the floors of the basins are thoroughly dry. The grass in the basins shall be mowed and grass clippings, organic matter, and accumulated litter and debris removed at least twice during the growing season.
 - The stormwater system to be inspected by a professional engineer yearly for the first five years of operation.



TYPICAL PRECAST CONCRETE SEWER MANHOLE
NOT TO SCALE

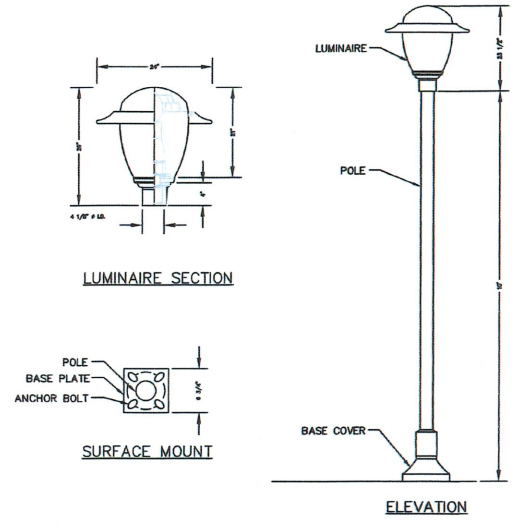


TRENCH WIDTH DATA

DIAMETER OF PIPE	TRENCH WIDTH Ws OR Wt	
	UNSHEETED	SHEETED
12" AND SMALLER	3'-0"	4'-2"
15"	3'-2"	4'-4"
18"	3'-6"	4'-8"
21"	3'-10"	5'-0"
24"	4'-2"	5'-4"
27"	4'-6"	5'-8"
30"	4'-10"	6'-0"
36"	5'-6"	6'-8"
42"	6'-2"	7'-4"
48"	6'-10"	8'-0"

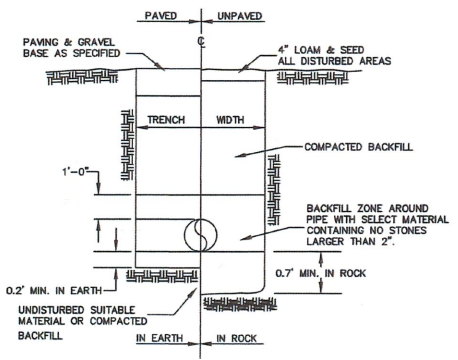
SEWER TRENCH SECTION
NOT TO SCALE

NOTE: TRENCHES LOCATED ON THE ROAD SHOULDER SHALL BE TREATED THE SAME AS STREET EXCEPT FOR PAVING

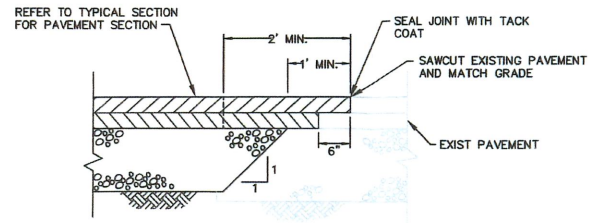


STREET LIGHT DETAIL
NOT TO SCALE

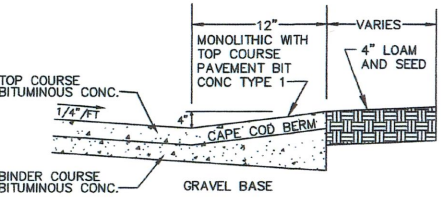
(APPROVED EQUAL MAY BE USED)



UTILITY TRENCH
NOT TO SCALE



PAVEMENT MATCHING DETAIL
NOT TO SCALE



CAPE COD BERM
NOT TO SCALE

FOR REGISTRY USE ONLY
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1-3-23
DATE PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____
LAKEVILLE ZONING BOARD OF APPEALS

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TOWN CLERK-TOWN OF LAKEVILLE

OWNER & APPLICANT
THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
ASSESSORS MAP: 18 BLOCK: 3 LOTS: 1 & 2

REVISIONS

NO.	DATE	DESCRIPTION

CONSTRUCTION DETAILS
"THE ESTATES AT LEBARON HILLS"
PHASE V MODIFICATION
A
RESIDENTIAL SUBDIVISION
IN
LAKEVILLE
MASSACHUSETTS



165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508)-946-9231
DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
DATE: 12-12-22 PROJECT No. 1865E
1865E MASTER.dwg SHEET 9 OF 10

INSPECTION AND ACCEPTANCE

ALL MATERIALS AND CONSTRUCTION ARE TO BE SUBJECT TO THE APPROVAL OF THE TAUNTON WATER DEPARTMENT AND/OR ITS DESIGNATED INSPECTOR. THE CONTRACTOR SHALL NOT COVER ANY WORK PRIOR TO APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ALL DEFICIENCIES TO THE SATISFACTION OF THE WATER DEPARTMENT AND/OR DESIGNATED INSPECTOR. APPROVAL SHALL IN NO WAY AFFECT THE OBLIGATION OF THE CONTRACTOR TO REPAIR OR RENEW SUBSEQUENT DEFICIENCIES. THE WATER DEPARTMENT MUST BE NOTIFIED 2 DAYS PRIOR FOR INSPECTIONS. THE CONTRACTOR SHALL BE INVOICED FOR INSPECTIONS AT THE COMPLETION OF CONSTRUCTION.

TESTING AND DISINFECTION

TESTING: NEW WATER MAINS SHALL BE FILLED AND FLUSHED UNDER THE DIRECT SUPERVISION OF THE WATER DEPARTMENT. ALL AIR SHALL BE EXPELLED FROM THE LINE PRIOR TO TESTING. TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE ENGINEER AND A REPRESENTATIVE OF THE TAUNTON WATER DEPARTMENT. TESTING SHALL BE IN ACCORDANCE WITH AWWA C-600. THE TEST PRESSURE SHALL BE 150 LBS. OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER. ALLOWABLE LEAKAGE SHALL BE BASED UPON SECTION 4.1 OF AWWA C-600. DISINFECTION: AFTER AN ACCEPTABLE PRESSURE TEST, THE NEW WATER MAIN SHALL BE CHLORINATED IN ACCORDANCE WITH AWWA C-651. CHLORINE SHALL BE INTRODUCED THROUGH A TAP AT ONE END OF THE PIPELINE WHILE WATER IS WITHDRAWN FROM THE OPPOSITE END. CHLORINE DOSAGE MUST BE SUFFICIENT TO PRODUCE A MINIMUM OF 50 MG/L IN THE PIPELINE. FOLLOWING A 24 HR CONTACT PERIOD, THE TREATED WATER SHALL BE FLUSHED FROM THE MAINS AND SAMPLES TAKEN FOR COLIFORM AND BACKGROUND BACTERIA. MAINS WILL NOT BE ACCEPTED OR APPROVED FOR SERVICE CONNECTIONS UNTIL SAMPLES SHOW ZERO BACTERIA COUNTS. THE CONTRACTOR SHALL REDISINFECT AND RESAMPLE UNTIL MAINS ARE ACCEPTABLE.

PIPE

WATER MAINS SHALL BE DUCTILE IRON CLASS 52 WATER PIPE. PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI A21.50, A21.51 AND AWWA C-150 & C-151. ALL PIPE SHALL BE PROVIDED WITH PUSH-ON JOINTS.

FITTINGS

FITTINGS SHALL BE CEMENT-LINED DUCTILE IRON WITH BITUMEN COATING INSIDE AND OUT. FITTINGS SHALL CONFORM TO THE REQUIREMENTS OF ANSI A21.53 AND AWWA C-153. FITTINGS SHALL BE MECHANICAL JOINT CONFORMING TO ANSI A21.11 AND AWWA C-111. ALL FITTINGS SHALL BE BACKED BY CONCRETE TRUST BLOCKS AND HAVE MEGALUG RESTRAINTS AT ALL MECHANICAL JOINT ENDS.

VALVES

GATE VALVES SHALL BE IRON BODY, BRONZE MOUNTED, DOUBLE DISC, SIDE WEDGE TYPE, NON-RISING STEM WITH "O-RING SEALS". VALVES SHALL BE NEW YORK PATTERN, METROPOLITAN TYPE, CONFORMING TO THE REQUIREMENTS OF AWWA C-500. RESILIENT-SEALED GATE VALVES CONFORMING TO THE REQUIREMENTS OF AWWA C-509 ARE REQUIRED. ALL VALVES SHALL HAVE 250 PSI MECHANICAL JOINT ENDS AND SHALL OPEN LEFT OR COUNTER CLOCKWISE. VALVES SHALL BE MANUFACTURED BY AVK OR MUELLER OR APPROVED EQUAL. ALL GATE VALVES SHALL BE ACCOMPANIED BY A HEAVY CAST IRON, ADJUSTABLE SLIDE TYPE BOX HAVING A MINIMUM 5-INCH DIAMETER BARREL AND A CAST IRON COVER WITH THE WORD "WATER" CAST IN THE TOP. BOXES SHALL BE DESIGNED AND INSTALLED SUCH THAT NO PRESSURE SHALL BE EXERTED BY THE VALVE BOX ON THE WATER MAIN OR VALVE.

HYDRANTS

HYDRANTS SHALL BE MH DRESSER STYLE 129 MUELLER SUPER CENTURION 200 OR CLOW MEDALLION CONFORMING 5-1/4 INCH BREAK FLANGE CONSTRUCTION W/ONE 4 1/2" PUMPER NOZZLE TO AWWA C-502, HAVE A MINIMUM BARREL AND 2, 2 1/2" HOSE NOZZLES. THEY SHALL OPEN LEFT OR COUNTER CLOCKWISE AND A 5 FOOT DEPTH OF BURY IS RECOMMENDED.

SERVICES

CORPORATION STOPS, CURB STOPS AND FITTINGS SHALL BE BRASS CONFORMING TO AWWA C-800. COPPER SERVICE PIPE SHALL CONFORM TO AWWA C-800 AND ASTM B88. CORPORATION STOP: 1" MUELLER H-1500B WITH COMPRESSION CONNECTION OUTLET CURB STOP: 1" MUELLER MARK II ORIGINAL H-15219 WITH COMPRESSION CONNECTIONS. METER: PER WATER DEPARTMENT STANDARDS. BALL VALVES: 1-INCH, 125 LB., BRONZE BODY AS MANUFACTURED BY FORD. TUBING: 1" 200 PSI RATED COPPER TUBING SIZE PVC PIPE. CURB BOXES: CAST IRON, ADJUSTABLE SLIDE TYPE, MINIMUM DIAMETER 2-1/2 INCHES WITH CAST IRON TWO PIECE TELESCOPING TYPE.

GRANULAR FILL MATERIALS

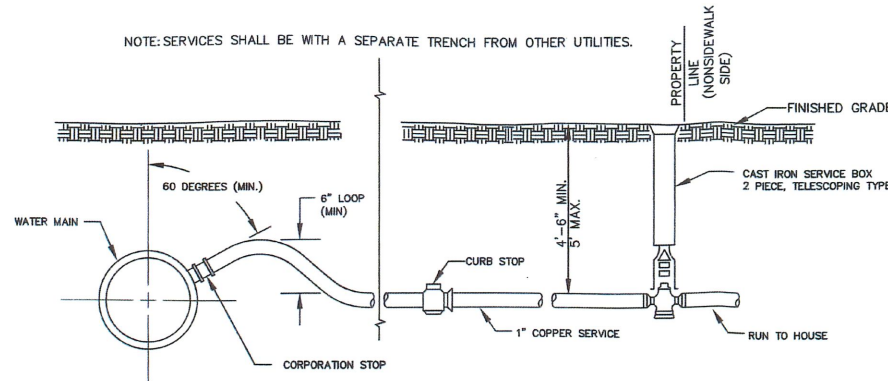
MATERIALS SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", LATEST EDITION, FOR SCREENED AND BANK RUN GRAVEL.

CONCRETE

MATERIALS SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", LATEST EDITION, FOR TYPE II CEMENT AND 3000 PSI CONCRETE.

CONSTRUCTION

TRENCHES SHALL BE EXCAVATED TO THE DEPTH AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER AND IN WIDTHS SUFFICIENT FOR LAYING OF THE NEW MAINS AND APPURTENANCES. ALL PIPES SHALL HAVE A MINIMUM OF 5' AND MAXIMUM OF 5'-6" COVER. SERVICE CONNECTIONS TO BE BURIED A MAXIMUM OF 5' DEEP WITHIN A SEPARATE TRENCH FROM OTHER UTILITIES. IF USED, WOOD SHEETING SHALL NOT BE WITHDRAWN IF DRIVEN BELOW THE MIDPOINT OF THE PIPE. SHEETING SHALL BE CUT OFF NO LOWER THAN 1 FOOT ABOVE THE TOP OF THE PIPE. BLASTING IF REQUIRED SHALL BE CONDUCTED IN FULL COMPLIANCE WITH ALL LAWS OF THE STATE AND LOCAL ORDINANCES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND ENSURING PUBLIC SAFETY. ALL VALVES AND HYDRANTS SHALL BE SET PLUMB IN TRUE VERTICAL ALIGNMENT. VALVE BOXES SHALL BE INSTALLED VERTICALLY, CENTERED OVER THE OPERATING NUT AND THE ELEVATION OF THE TOP SHALL BE SET TO FINISHED GRADE.

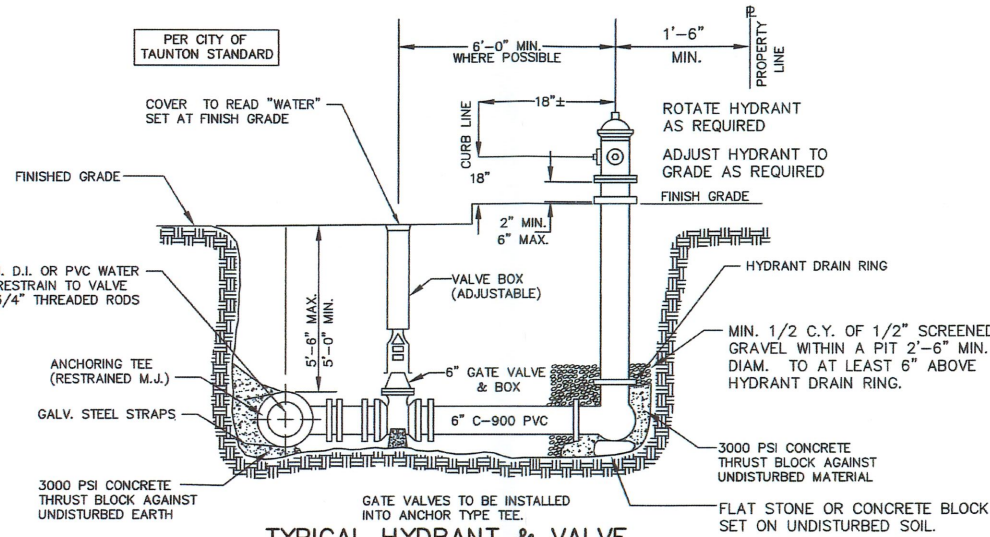


NOTE: SERVICES SHALL BE WITH A SEPARATE TRENCH FROM OTHER UTILITIES.

NOTE: SADDLES ARE REQUIRED FOR TAPS LARGER THAN 1 INCH.

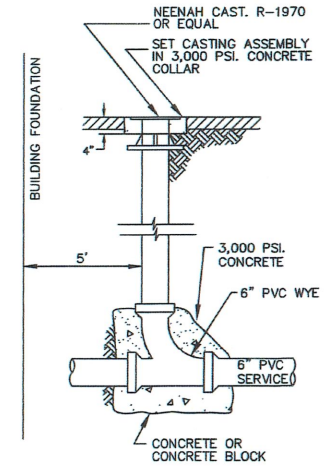
TYPICAL PERMANENT SERVICE CONNECTION

NOT TO SCALE



TYPICAL HYDRANT & VALVE

NOT TO SCALE



IN LINE CLEANOUT SANITARY SEWER CLEANOUTS

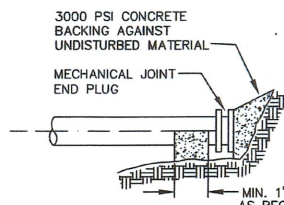
REQUIRED AT EACH BUILDING SERVICE CONNECTION

TABLE OF BEARING AREAS IN S.F. FOR WATER MAIN FITTINGS VS. UNDISTURBED MATERIAL				
SIZE OF MAIN	45° BEND	TEES & PLUGS	22 1/2° BEND	DEAD END
8" & LESS	8	10	8	6
10" & 12"	22	16	13	12

NOTES:
1. BEARING AREAS BASED ON HORIZONTAL PASSIVE SOIL PRESSURE OF 2000 PSF AND A MINIMUM INTERNAL WATER PRESSURE OF 175 PSIG. JOINTS SHALL NOT BE ENCASED IN CONCRETE. BEARING AREAS MAY BE DISREGARDED FOR TRENCHES IN ROCK WHERE THE TOP OF THE ROCK FACE IS AT OR ABOVE THE CROWN OF THE PIPE. HOWEVER, CONCRETE BACKING SHALL BE PLACED BETWEEN PIPE AND ROCK FACE.

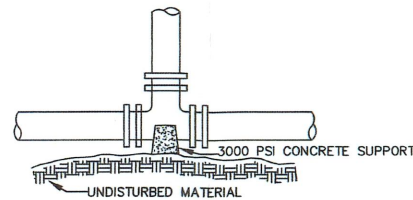
THRUST BLOCK BEARING AREAS FOR PIPE

PER CITY OF TAUNTON STANDARD



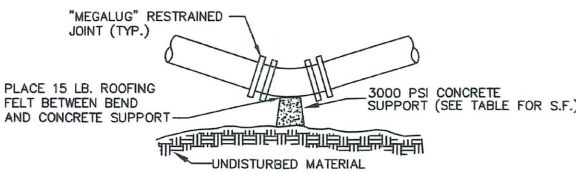
TYPICAL PLUG

NOT TO SCALE



TYPICAL TEE

NOT TO SCALE



TYPICAL BEND

NOT TO SCALE

PER CITY OF TAUNTON STANDARD

SEWER NOTES

1. THE MAXIMUM ALLOWABLE AMOUNT OF INFILTRATION INTO GRAVITY SEWERS INCLUDING MANHOLES AND PRECAST TANKS, OR EXFILTRATION FROM THE SEWERS AS DETERMINED RESPECTIVELY BY TESTS, SHALL BE NO GREATER THAN 75 GALLONS PER INCH OF PIPE DIAMETER, PER MILE OF PIPE, PER 24 HOURS AND THERE SHALL BE NO GUSHING OR SPURTING STREAMS OF WATER INTO OR FROM THE SEWERS OR MANHOLES. AN INDEPENDENT QUALIFIED CONTRACTOR APPROVED BY THE ENGINEER SHALL DO ALL TESTING.
2. LOW-PRESSURE AIR TESTS SHALL BE USED TO TEST ALL GRAVITY SEWER LINES AND SERVICE CONNECTIONS, IN ACCORDANCE WITH ASTM C828 FOR PVC PIPE. FOR MAKING LOW-PRESSURE AIR TESTS, THE CONTRACTOR SHALL USE EQUIPMENT SPECIFICALLY DESIGNED AND MANUFACTURED FOR THE PURPOSE OF TESTING SEWER PIPELINES USING LOW-PRESSURE AIR. THE EQUIPMENT SHALL BE PROVIDED WITH AN AIR REGULATOR VALVE OR AIR SAFETY VALVE SO SET THAT THE INTERNAL AIR PRESSURE IN THE PIPELINE CANNOT EXCEED 8 PSIG. THE LEAKAGE TEST SHALL BE MADE ON EACH MANHOLE-TO-MANHOLE SECTION OF PIPELINE AFTER PLACEMENT OF THE BACKFILL. LOW-PRESSURE AIR SHALL BE INTRODUCED THROUGH A SINGLE CONTROL PANEL INTO THE SEALED LINE UNTIL THE INTERNAL AIR PRESSURE REACHES 4 PSIG GREATER THAN THE MAXIMUM PRESSURE EXERTED BY THE GROUNDWATER THAT MAY BE ABOVE THE INVERT OF THE PIPE AT THE TIME OF THE TEST. HOWEVER, THE INTERNAL AIR PRESSURE IN THE SEALED LINE SHALL NOT BE ALLOWED TO EXCEED 8 PSIG. WHEN THE MAXIMUM PRESSURE EXERTED BY THE GROUNDWATER IS GREATER THAN 8 PSIG, THE CONTRACTOR SHALL CONDUCT ONLY AN INFILTRATION TEST. AT LEAST TWO MINUTES SHALL BE ALLOWED FOR THE AIR PRESSURE TO STABILIZE IN THE SECTION UNDER TEST. AFTER THE STABILIZATION PERIOD, THE LOW-PRESSURE AIR SUPPLY HOSE SHALL BE QUICKLY DISCONNECTED FROM THE CONTROL PANEL. THE TIME REQUIRED IN MINUTES FOR THE PRESSURE IN THE SECTION UNDER TEST TO DECREASE FROM 3.5 TO 2.5 PSIG (GREATER THAN THE MAXIMUM PRESSURE EXERTED BY GROUNDWATER THAT MAY BE ABOVE THE INVERT OF THE PIPE) SHALL NOT BE LESS THAN 5 MINUTES FOR 6-INCH AND 8-INCH PVC PIPE.
3. ALL SEWER LINES BELOW THE WATER TABLE SHALL BE CHECKED FOR INFILTRATION. IF, AT ANY TIME INFILTRATION EXCEEDS 100 GALLONS PER INCH OF NORMAL DIAMETER PER MILE OF SEWER PER DAY, THE CONTRACTOR SHALL LOCATE THE LEAKS AND MAKE REPAIRS AS NECESSARY TO CONTROL AND ELIMINATE THE INFILTRATION.
4. A VACUUM TEST TO BE PERFORMED ON ALL SEWER MANHOLES.

FOR REGISTRY USE ONLY

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.



DATE: 12-23
PROFESSIONAL LAND SURVEYOR

APPROVED AND ENDORSED UNDER M.G.L. C. 40B BY THE LAKEVILLE ZONING BOARD OF APPEALS.

DATE: _____
LAKEVILLE ZONING BOARD OF APPEALS

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL, AND THAT NO APPEAL HAS BEEN FILED AT THIS OFFICE.

TOWN CLERK-TOWN OF LAKEVILLE

OWNER & APPLICANT
THE RESIDENCES AT LEBARON HILLS, LLC
32 NORFOLK AVENUE
SOUTH EASTON, MA 02375
ASSESSORS MAP: 26 BLOCK: 3 LOT: 10
ASSESSORS MAP: 18 BLOCK: 3 LOTS: 1 & 2

REVISIONS		
NO.	DATE	DESCRIPTION

CONSTRUCTION DETAILS
"THE ESTATES AT LEBARON HILLS"
PHASE V MODIFICATION
A RESIDENTIAL SUBDIVISION
IN LAKEVILLE
MASSACHUSETTS



165 EAST GROVE STREET
MIDDLEBOROUGH, MA 02346
TEL: (508)-946-9231
DRAWN BY: K.A.D. CHECKED BY: J.A.Y.
DATE: 12-12-22 PROJECT No. 1865E
1865E MASTER.dwg SHEET 10 OF 10

**Zoning Board of Appeals
Lakeville, Massachusetts
Minutes of Meeting
January 19, 2023**

On January 19, 2023, the Zoning Board held a meeting at the Lakeville Public Library. The meeting was called to order by Chairman Olivieri at 7:05 p.m. LakeCam was making a video recording. Chairman Olivieri welcomed Mr. Anthony Zucco to the Board as an Associate Member. However, as they were short on members this evening, Mr. Zucco would be acting as a full member.

Members present:

John Olivieri, Jr., Chair; Jeff Youngquist, Vice-Chair; Christopher Campeau, Member; Christopher Sheedy, Associate; Anthony Zucco, Associate

North Bedford Crossing LLC hearing – 109 Bedford Street

Mr. Olivieri turned over the Chair position for this hearing to Mr. Youngquist. Mr. Youngquist then read the January 19, 2023, email from Atty. Michael O’Shaughnessy into the record. It was a request to continue the North Bedford Crossing LLC hearing as the peer review engineer had not yet completed the review of the project.

Mr. Campeau made a motion, seconded by Mr. Noble, to continue the North Bedford Crossing LLC hearing until February 16, 2023, at 7:00 p.m. The **vote** was **unanimous for**.

Mr. Campeau, Mr. Noble, Mr. Sheedy, Mr. Zucco, Mr. Youngquist - **Aye**; Mr. Olivieri - **Abstain**

The Residences at LeBaron Hills, LLC hearing – continued

Mr. Olivieri explained there is an ongoing peer review process for both of these hearings. The Town hires a firm to act on their behalf to review these projects. Their comments are shared with the applicant’s engineer where any issues are then resolved. He noted that these reviews are still in the process. For this hearing the review was just completed and the applicant’s engineer is following up and will respond. He advised the January 19, 2023, from Atty. Mather has also requested a continuance for the same reason.

Mr. Noble made a motion, seconded by Mr. Campeau, to continue The Residences at LeBaron Hills, LLC hearing until February 16, 2023, at 7:00 p.m. The **vote** was **unanimous for**.

Mr. Campeau, Mr. Noble, Mr. Sheedy, Mr. Zucco, Mr. Olivieri - **Aye**; Mr. Youngquist - **Abstain**

Meeting minutes

Mr. Campeau made a motion, seconded by Mr. Olivieri, to approve the meeting minutes from the November 17, 2022, meeting.

Mr. Campeau, Mr. Olivieri -**Aye**; Mr. Noble, Mr. Sheedy, Mr. Zucco, Mr. Youngquist – **Abstain**

Mr. Campeau made a motion, seconded by Mr. Zucco, to approve the meeting minutes from the December 15, 2022, meeting.

Mr. Campeau, Mr. Sheedy, Mr. Zucco, Mr. Olivieri -**Aye**; Mr. Noble, Mr. Youngquist – **Abstain**

Next meeting

The next meeting is scheduled for February 16, 2023, at 7:00 p.m. at the Lakeville Public Library.

Adjourn

Mr. Youngquist made a motion, seconded by Mr. Noble, to adjourn the meeting. The **vote** was **unanimous for**.

Meeting adjourned at 7:12.