

TOWN OF LAKEVILLE MEETING POSTING & AGENDA

Town Clerk's Time Stamp
received & posted;

K. DeGuzia

LAKEVILLE TOWN CLERK
RCUD 2023 APR 8 PM 3:37

48-hr notice effective
when time stamped

Notice of every meeting of a local public body must be filed and time-stamped with the Town Clerk's Office at least 48 hours prior to such meeting (excluding Saturdays, Sundays and legal holidays) and **posted thereafter in accordance with the provisions of the Open Meeting Law, MGL 30A §18-22 (Ch. 28-2009)**. Such notice shall contain a listing of topics the Chair reasonably anticipates will be discussed at the meeting.

Name of Board or Committee:	Zoning Board of Appeals
Date & Time of Meeting:	Thursday, April 20, 2023 at 7:00 p.m.
Location of Meeting:	Lakeville Public Library 4 Precinct Street, Lakeville, MA 02347
Clerk/Board Member posting notice:	Cathy Murray

Cancelled/Postponed to: _____ (circle one)

Clerk/Board Member Cancelling/Postponing: _____

A G E N D A

1. **Eiseman hearing – 26 Rush Pond Road** – request for a **Variance** under 5.1 to construct a porch that would be within the front setback.
2. **McCready hearing – 14 Coombs Street**– request for a **Variance** under 5.1 to place a shed that would be within the side setback on a pre-existing, non-conforming lot.
3. **North Bedford Crossing LLC hearing– 109 Bedford Street, continued** – request for a **Comprehensive Permit** to construct twelve (12) single family residential dwellings of which three (3) units or twenty-five (25%) will be affordable to households earning up to eighty (80%) of the Area Median Income. Review and vote on Decision.
4. **The Residences at LeBaron Hills, LLC, hearing, continued** – request to modify their **Comprehensive Permit** and add three ten-unit buildings and one five-unit building in Phase 5. Review and vote on Decision.
5. **Approve Meeting Minutes for March 30, 2023.**
6. **Correspondence**
7. **Next meeting . . . Thursday, May 18, 2023 at the Lakeville Public Library.**
8. **Adjourn**

*Please be aware that this agenda is subject to change. If other issues requiring immediate attention of the **Zoning Board of Appeals** arise after the posting of this agenda, they may be addressed at this meeting*

Town of Lakeville
ZONING BOARD OF APPEALS
346 Bedford Street
Lakeville, MA 02347



The LAKEVILLE ZONING BOARD OF APPEALS, acting in accordance with MASS GENERAL LAWS CHAPTER 40A, as amended, will conduct a public hearing on Thursday, April 20, 2023, at 7:00 P.M. in the LAKEVILLE PUBLIC LIBRARY, 4 PRECINCT STREET, upon the petition of **Elizabeth Eisman**. A **Variance** is requested under **5.1** to construct a porch that would be within the front setback. The property site is **26 Rush Pond Road** and is owned by **Elizabeth Eisman** and **Erica Dean**.

The application and assorted documents can be viewed in the Planning Department by appointment, or on the Town of Lakeville Zoning Board of Appeals web page.

John Olivieri, Jr., Chairman

April 6, 2023 & April 13, 2023



Town of Lakeville
Board of Health
241 Main Street
Lakeville, MA 02347

Board of Health
(508) 946-3473
(508) 946-8805
(508) 946-3971 fax

April 10, 2023

Town of Lakeville
Zoning Board of Appeals
Attn: John Olivieri, Chairman
346 Bedford Street
Lakeville, MA 02347

Re: 26 Rush Pond Road

Dear Chairman Olivieri:

We received a copy of the Petition for Hearing for 26 Rush Pond Rd. The Board of Health has reviewed the septic as-built plan for 26 Rush Pond Rd, which shows the existing septic tank 12 ft from the foundation. The proposed decks shows concrete sonotubes 9.5 ft from the foundation. The Lakeville Board of Health regulation 2.4 requires that

No structure (like sonotubes, decks, sheds, etc.) shall be within 5 feet of any component.

The applicant needs to confirm that no sonotube will be within 5 ft of the existing septic tank prior to building, or request a waiver from the Board of Health.

If you should have any further questions feel free to contact this office.

Sincerely
For the Board of Health

Edward Cullen
Health Agent

Petition to be filed with Town Clerk

EXHIBIT "A"

TOWN OF LAKEVILLE MASSACHUSETTS

ZONING BOARD OF APPEALS PETITION FOR HEARING

RECEIVED MAR 23 2023 BOARD OF APPEALS

Name of Petitioner: Elizabeth Eisman

Mailing Address: 26 Rush Pond Rd. Lakeville, MA 02347

Name of Property Owner: Elizabeth Eisman & Erica Dean

Location of Property: 26 Rush Pond Rd.

Property is located in a residential X business industrial (zone)

Registry of Deeds: Book No. 55279 Page No. 0139

Map 060 Block 007 Lot 028B 028B

Petitioner is: X owner tenant licensee prospective purchaser

Nature of Relief Sought:

- Special Permit under Section (s) of the Zoning Bylaws
X Variance from Section (s) 8.2.2 of the Zoning Bylaws.
Appeal from Decision of the Building Inspector/Zoning Enforcement Officer
Date of Denial

Brief to the Board: (See instructions on reverse side - use additional paper if necessary.)

We are requesting a variance to encroach on the front setback.

I HEREBY REQUEST A HEARING BEFORE THE ZONING BOARD OF APPEALS WITH REFERENCE TO THE ABOVE PETITION OR APPEAL. ALL OF THE INFORMATION ON THIS PETITION, TO THE BEST OF MY KNOWLEDGE, IS COMPLETE AND ACCURATE AND CONFORMS TO THE REQUIREMENTS ON THE BACK OF THIS PETITION FORM.

Petitioner: Elizabeth Eisman

Date: 3/23/23

Signed: [Signature]

Telephone: 508.292.3897

Owner Signature: (If not petitioner)

Owner Telephone: 508.292.3897

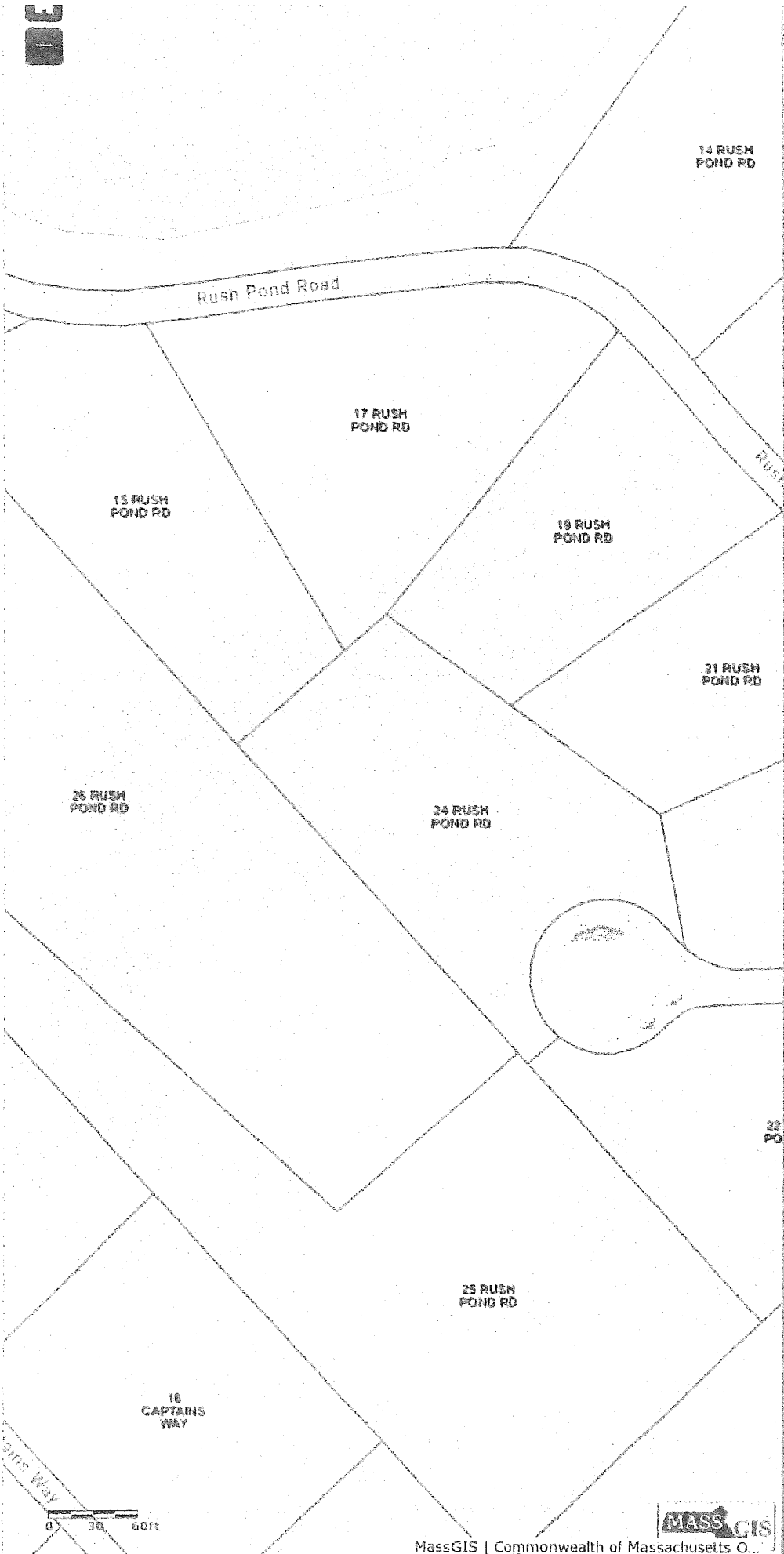
Email: e.eisman@comcast.net

WILL YOU HAVE A REPRESENTATIVE OTHER THAN YOURSELF?

X Yes No

Thomas Dorechue, TnA Contracting (774) 400-3274 (Name and Title)

DE

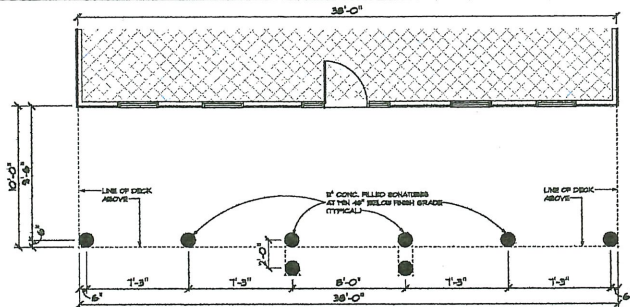


0 30 60ft



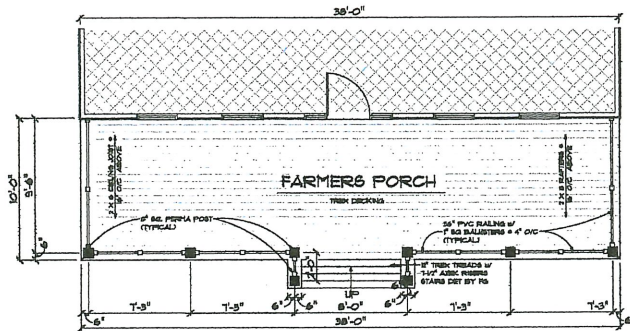
DEAN / EISEMAN RESIDENCE

26 RUSH POND RD., LAKEVILLE, MA



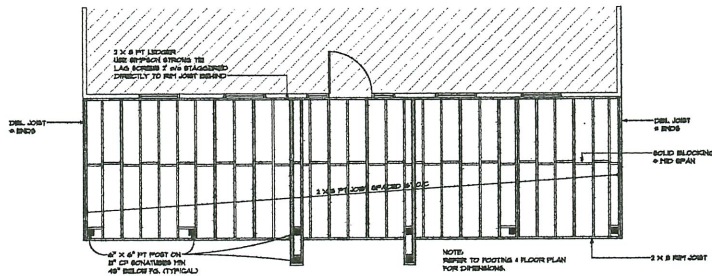
FOOTING PLAN

SCALE: 1/4" = 1'-0"



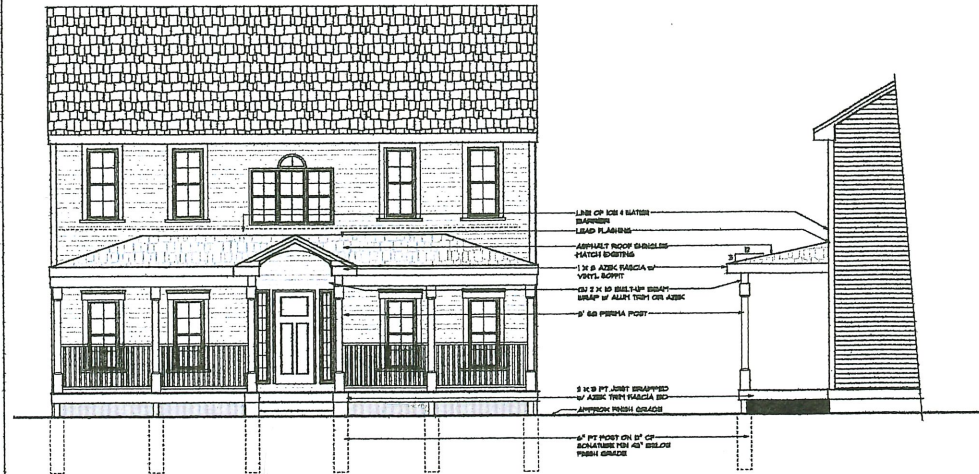
FLOOR PLAN

SCALE: 1/4" = 1'-0"



FRAMING PLAN

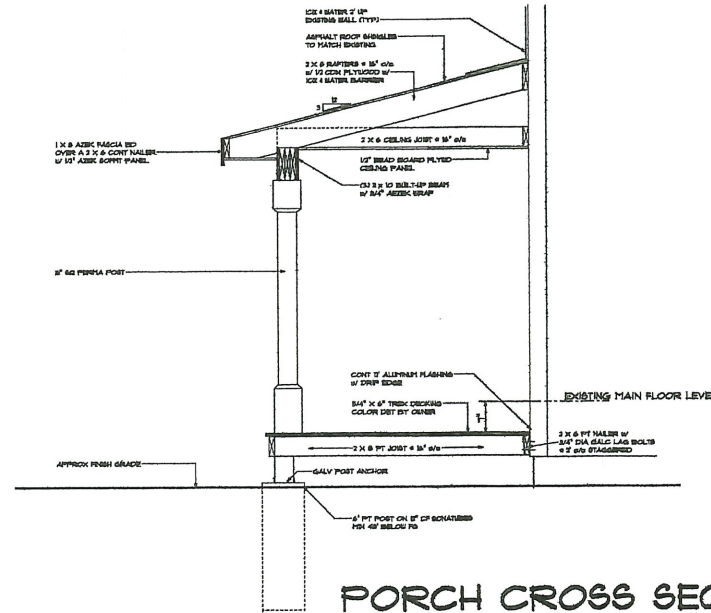
SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

SIDE ELEVATION



PORCH CROSS SECTION

For Construction

No.	Date	Revision

Traditional Design
ARCHITECTS
DESIGNERS - CONSULTANTS
311 Perry Road
Lakeville, MA 02453
Tel: (603) 257-7333
traditionaldesign.com

Project Name:
**FARMERS PORCH
ADDITION
for
DEAN / EISEMAN
RESIDENCE**

26 RUSH POND RD.
LAKEVILLE, MA 02451

PREPARED FOR:
TNA CONTRACTING
65 PRINCESS KATE CIRCLE
TAUNTON, MA 02780

Drawing Title:
**FOOTING PLAN
DECK PLAN
FRAMING PLAN
SECTION**

Drawing approved by:

Drawn by: **VMP** Checked by: **VMP**

Date: **FEB. 21, 2023**

Project No.: **2023-09**

File Path: **Traditional Design\PROJECTS\2023-09 - MA - 26 RUSH POND**

These plans are intended for the project referenced above. Drawings are not to be copied or reproduced without the written permission of Traditional Design.

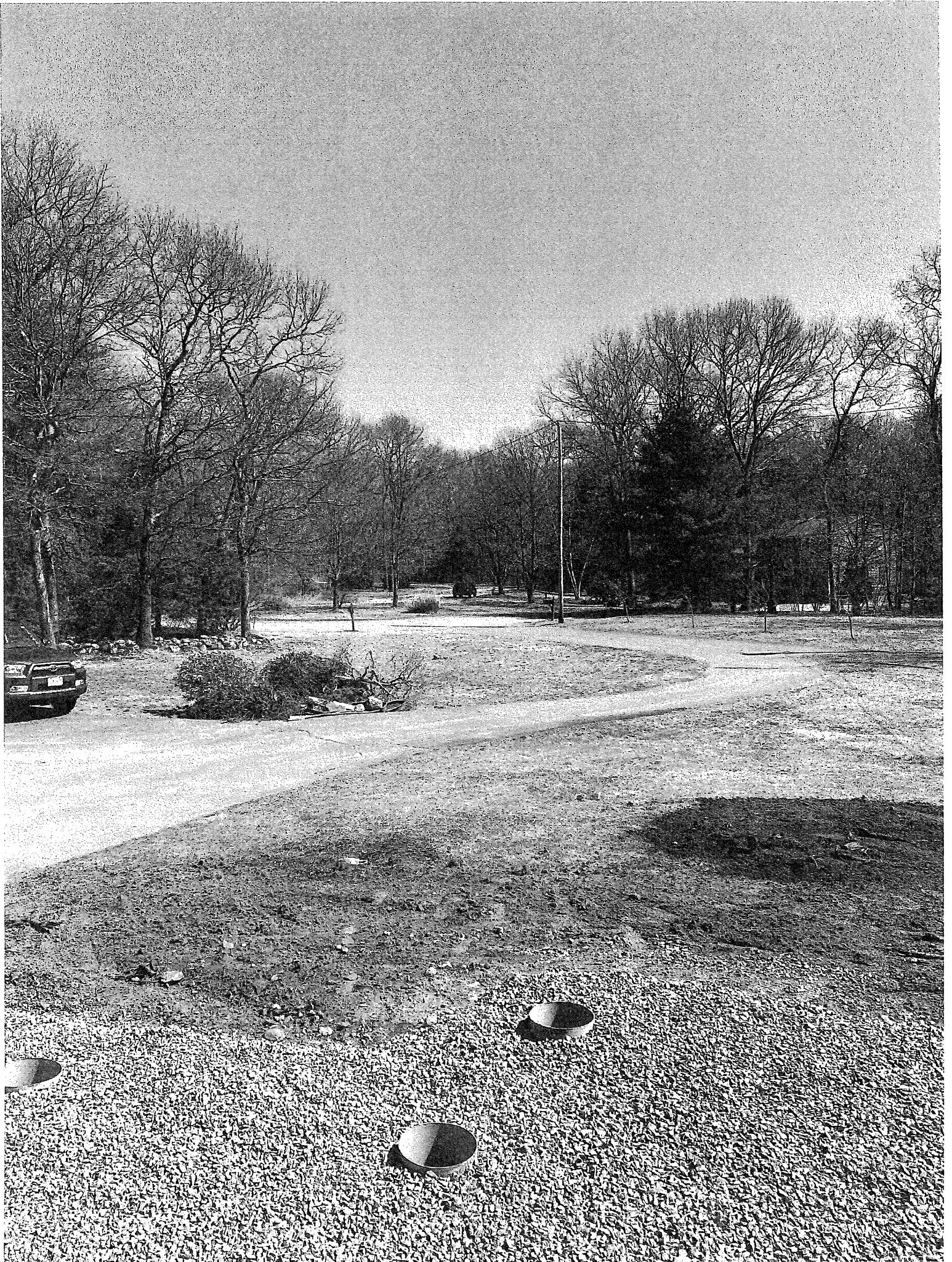
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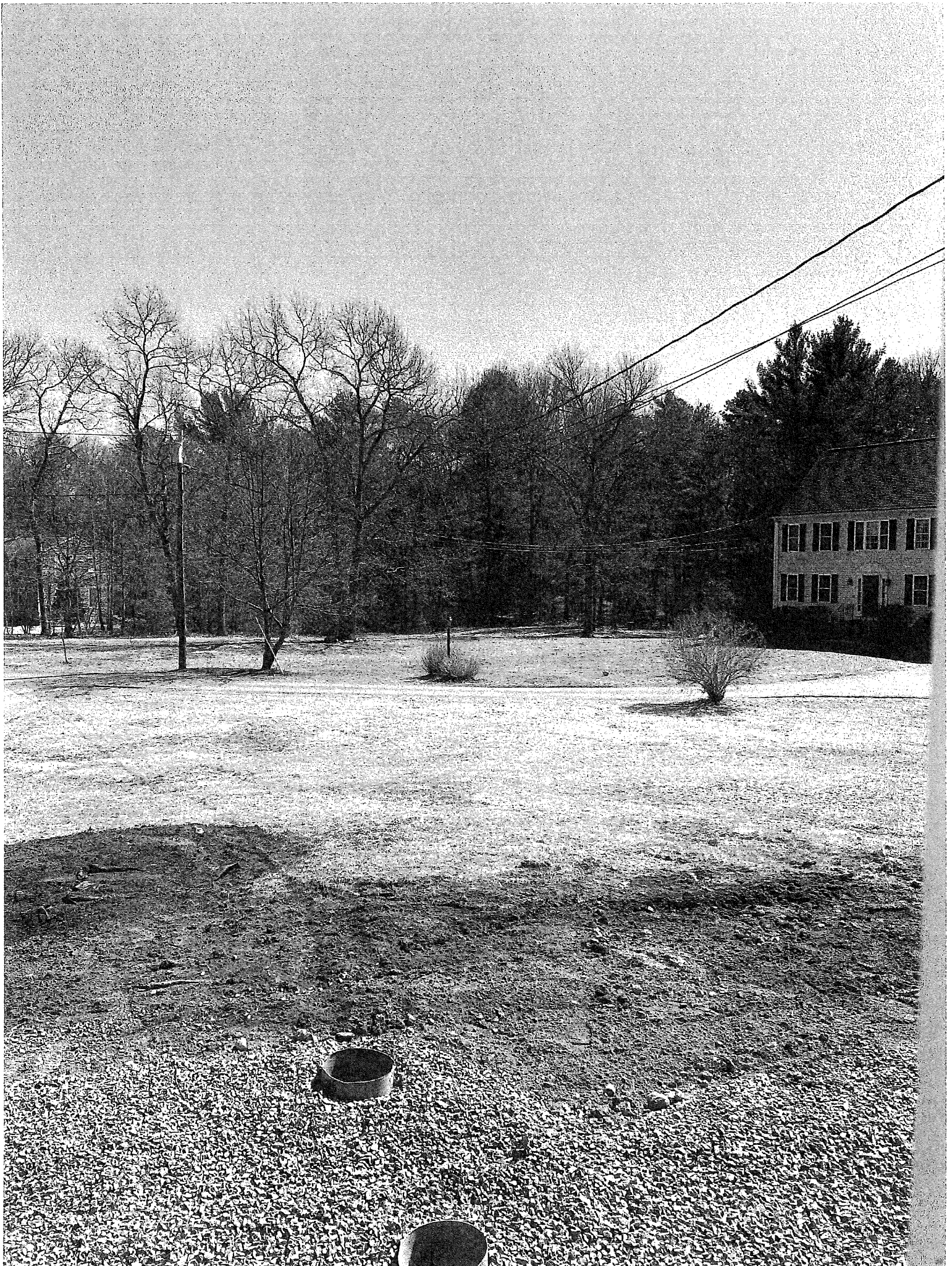
A-1

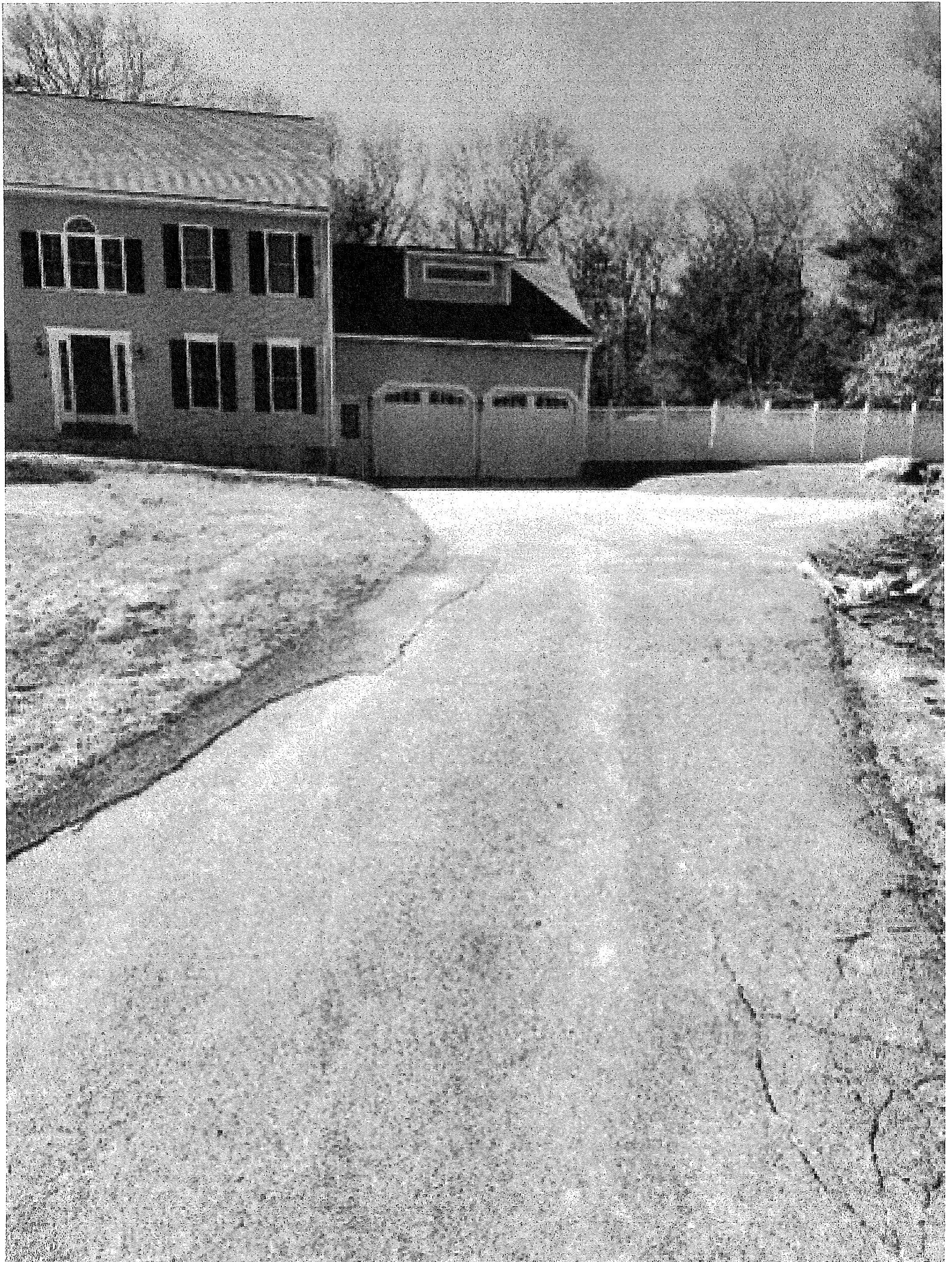


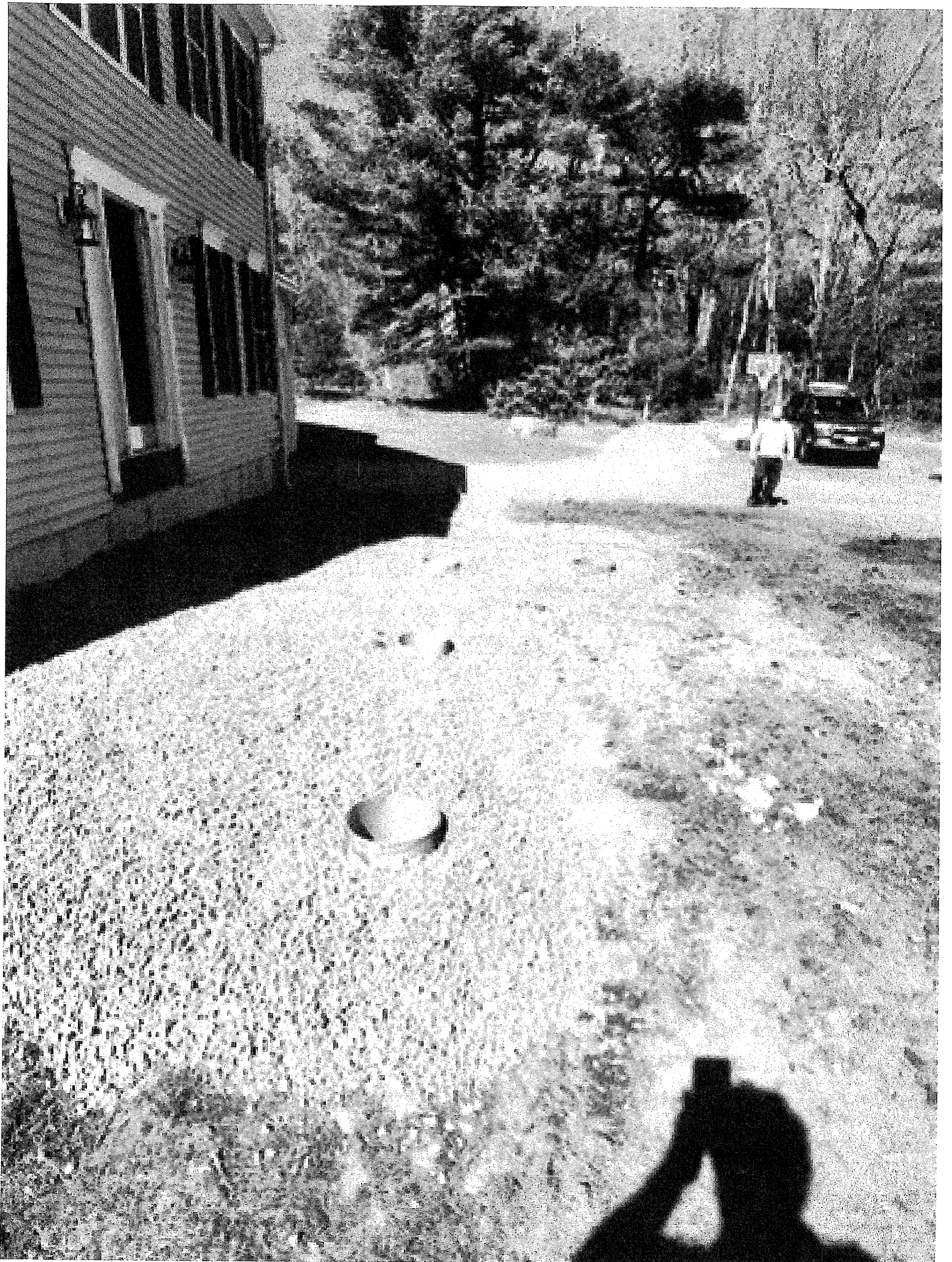
SOLD

Jack
Conway
REALTOR
508.339.0022
www.jackconway.com











26 Rush Pond Rd



Google

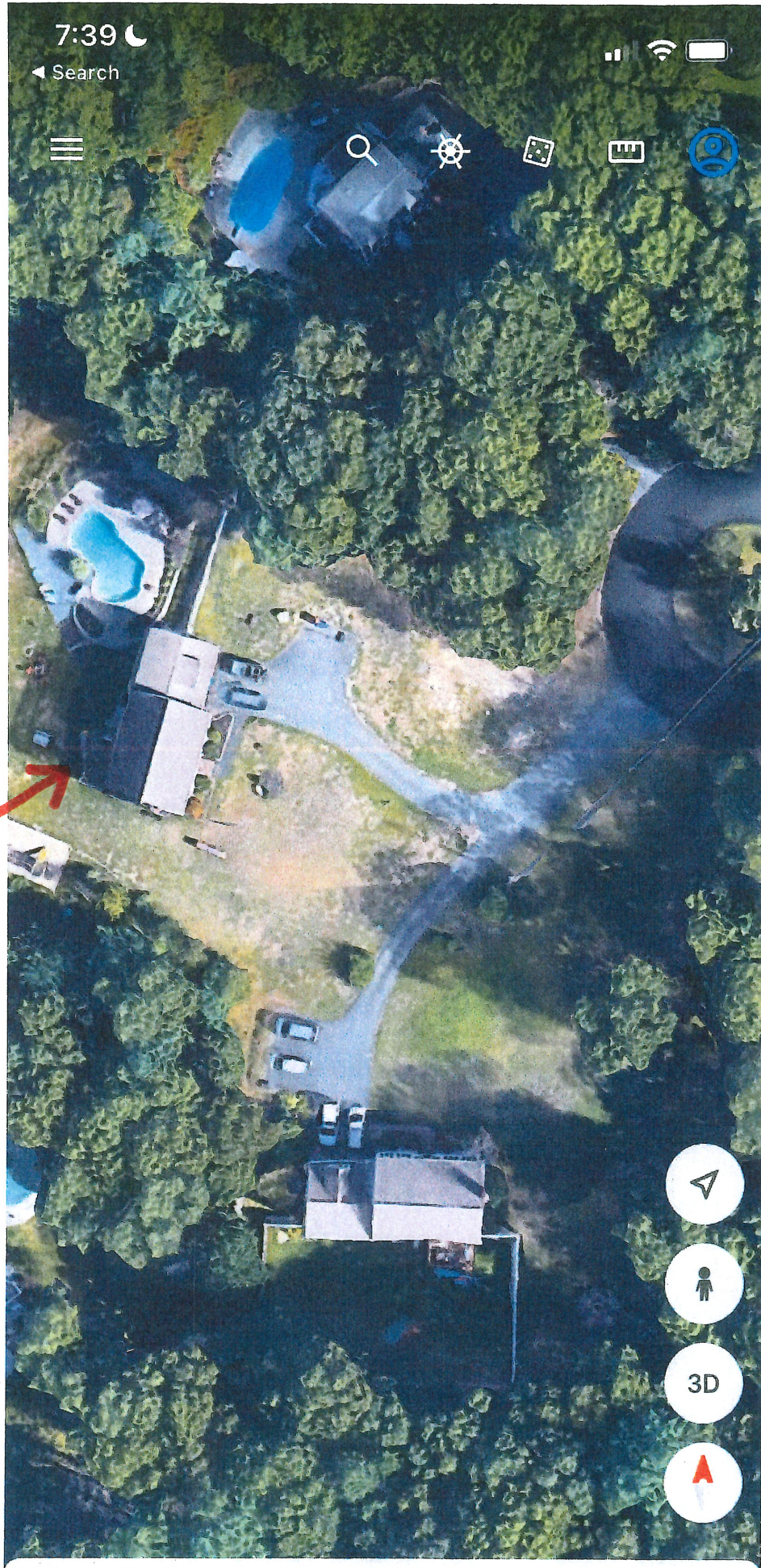
(41°52'28"N 70°55'52"W) 822 ft

7:39

Search



26 Rush
Pond Rd



Google

(41°52'28"N 70°55'54"W) 1,061 ft



Rush Pond road

17 RUSH POND RD

19 RUSH POND RD

21 RUSH POND RD

24 RUSH POND RD

25 RUSH POND RD

16 CAPTAINS WAY

9 CAPTAINS WAY

14 CAPTAINS WAY

12 CAPTAINS WAY

14 CAPTAINS WAY

9 CAPTAINS WAY

12 CAPTAINS WAY

26 RUSH POND RD
LAKEVILLE

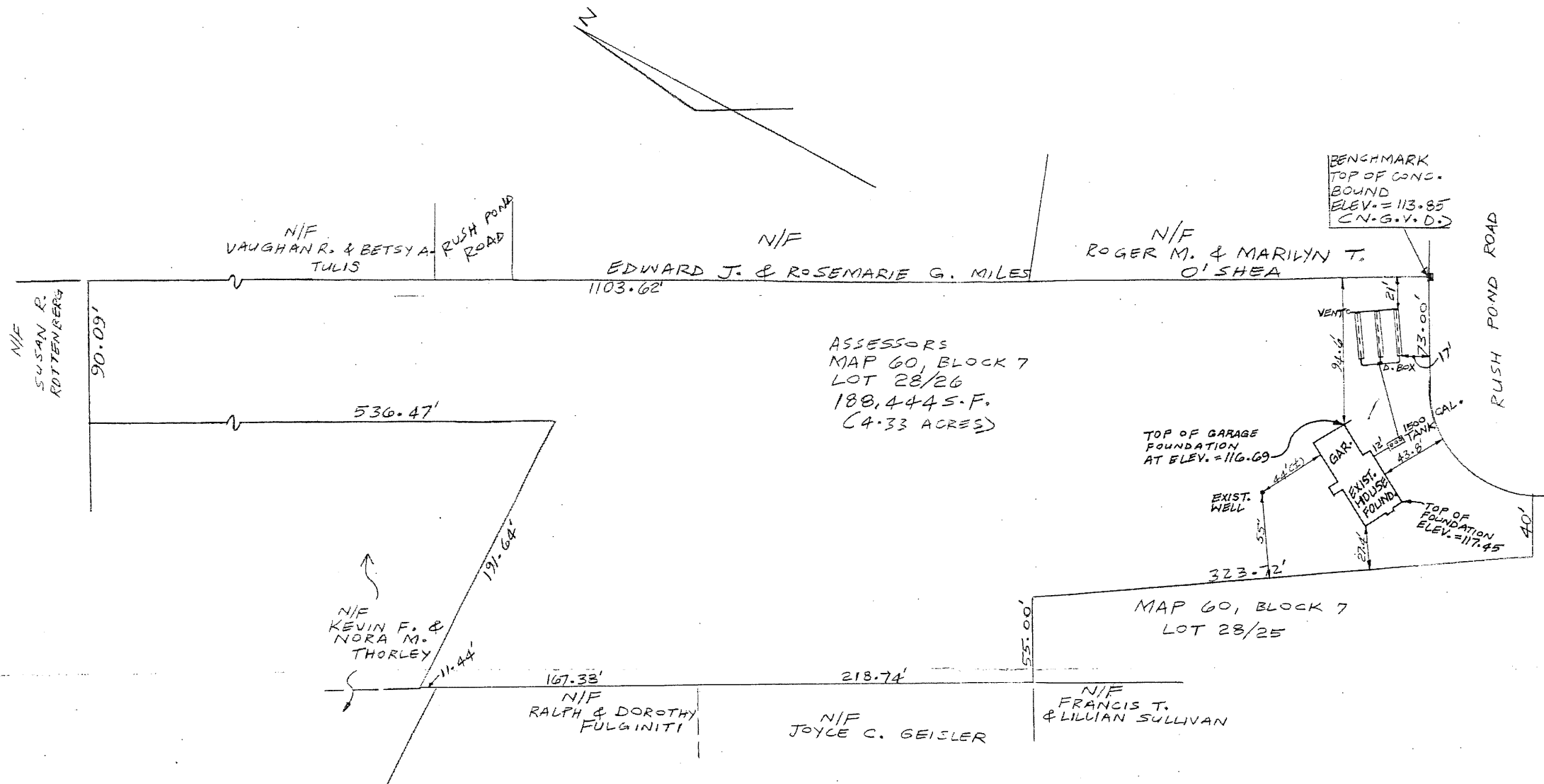
Owner: **EISEMAN ELIZABETH & DEAN ERICA**
Owner Address:
26 RUSH POND RD
LAKEVILLE, MA 02347

Building Value: \$412,300
Land Value: \$170,800
Other Value: \$13,600
Total Value: \$596,700

Assessment data from FY 2022

Lot Size: 4.33 Acres
Last Sale Price: \$775,000
[Zoom In](#)

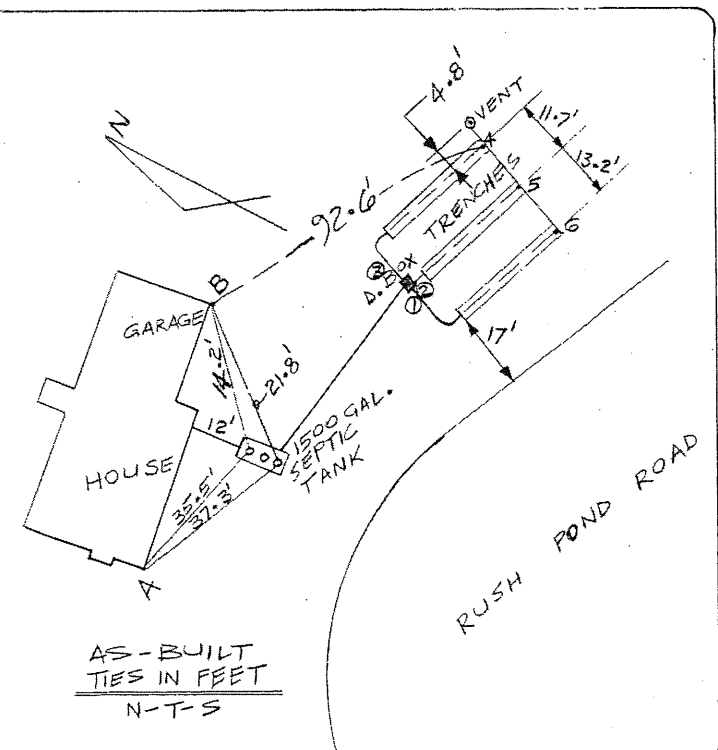




PLAN
1" = 40'

I HEREBY CERTIFY THE FOUNDATION NOW EXISTING ON BLOCK 7, LOT 28/25, MAP 60, RUSH POND ROAD IN LAKEVILLE, MA. HAS BEEN INSTALLED AS SHOWN ON THIS PLAN WITH THE DIMENSIONS AND SETBACKS AS INDICATED. IT IS FURTHER CERTIFIED TO THE COMMUNITY BANK THAT THE FOUNDATION AS INSTALLED, ALONG WITH THE LOT SHOWN AS BLOCK 7, LOT 28/25, MAP 60, CONFORM(S) TO THE TOWN OF LAKEVILLE ZONING LAWS IN EFFECT AS OF THE DATE OF THE FOUNDATION INSTALLATION, AND THE FOUNDATION ELEVATION AS APPROVED BY THE LAKEVILLE BOARD OF HEALTH.

I HEREBY CERTIFY THAT THE SEPTIC SYSTEM SHOWN HEREON HAS BEEN INSTALLED ON THE PROPERTY IDENTIFIED AS MAP 60, BLOCK 7, LOT 28, 25 RUSH POND ROAD, LAKEVILLE, MA WITH THE DEMENSIONS, SETBACKS, AND ELEVATIONS AS SHOWN HEREON. IT IS FURTHER CERTIFIED THAT THE SEPTIC SYSTEM AS INSTALLED, IS IN SUBSTANTIAL CONFORMANCE WITH TITLE 5 OF THE STATE ENVIRONMENTAL CODE, THE TOWN OF LAKEVILLE, MA BOARD OF HEALTH REGULATIONS, AND THE APPROVED PLAN PREPARED BY E. T. ENGINEERING ENTERPRISES, INC.



SYSTEM AS-BUILT ELEVATIONS

Existing Building Outlet Invert Elevation	113.01
Septic Tank Inlet Invert Elevation	112.53
Septic Tank Outlet Invert Elevation	112.28
Dist. Box Inlet Invert Elevation	111.28
Dist. Box Outlet Invert Elevation 1	111.07
Dist. Box Outlet Invert Elevation 2	111.10
Dist. Box Outlet Invert Elevation 3	111.07
End Invert Elev. For Dist. Line 4	110.87
End Invert Elev. For Dist. Line 5	110.73
End Invert Elev. For Dist. Line 6	110.75
Top of Tank at Elevation	113.56
D. Box Cover at Elevation	111.96

AS-BUILT SITE PLAN
26 RUSH POND ROAD
LAKEVILLE, MA 02347

PREPARED FOR: THOMAS SERGIO
12 RUSH POND ROAD
LAKEVILLE, MA 02347

DRAWN BY: AOE
DESIGNED:
CHECKED: CCO
APPROVED: AOE
DATE: 05-20-99
SCALE: AS NOTED

PROJECT NO.
0063-010A
DRAWING NO.
1 OF 1

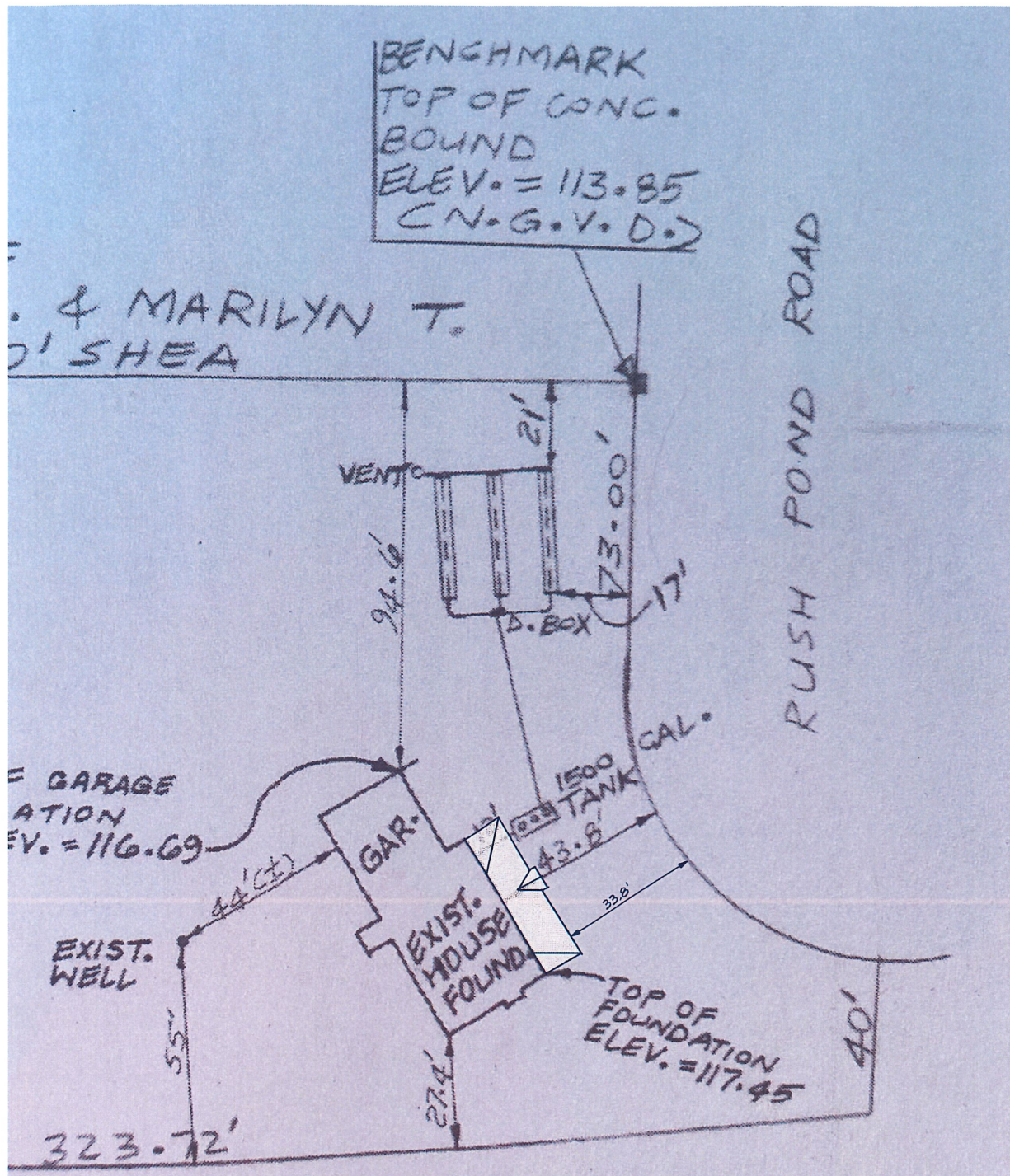
E. T. ENGINEERING ENT., INC.
Civil Engineers & Construction Managers
481 BEDFORD ST. (RTS. 18 & 28)
BRIDGEWATER, MA 02324
PHONE: (508) 697-5215 FAX: (508) 697-1451

DATE: 05-20-99
REVISION: AS-BUILT SEPTIC SYSTEM

AS-BUILT SEPTIC SYSTEM

AS-BUILT SEPTIC SYSTEM

AS-BUILT SEPTIC SYSTEM



60, BLOCK 7 PARTIAL SITE PLAN
 T 28/25

DEAN / EISEMAN RESIDENCE
 26 RUSH POND RD.
 LAKEVILLE, MA

Town of Lakeville
ZONING BOARD OF APPEALS
346 Bedford Street
Lakeville, MA 02347

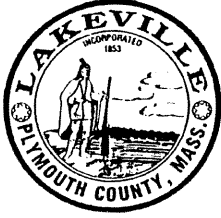


The LAKEVILLE ZONING BOARD OF APPEALS, acting in accordance with MASS GENERAL LAWS CHAPTER 40A, as amended, will conduct a public hearing on Thursday, April 20, 2023, at 7:00 P.M. in the LAKEVILLE PUBLIC LIBRARY, 4 PRECINCT STREET, upon the petition of **Christopher McCready**. A **Variance** is requested under **5.1** to place a shed that would be within the side setback on a pre-existing, non-conforming lot. The property site is **14 Coombs Street** and is owned by **Christopher McCready** and **Jane Iolli**.

The application and assorted documents can be viewed in the Planning Department by appointment, or on the Town of Lakeville Zoning Board of Appeals web page.

John Olivieri, Jr., Chairman

April 6, 2023 & April 13, 2023



Mark Knox, Chairman
Michele MacEachem, Vice Chairman
John Cabral
Nora Cline
Jack Lynch

Town of Lakeville

PLANNING BOARD
346 Bedford Street
Lakeville, MA 02347
508-946-8803

MEMORANDUM

TO: Board of Appeals
FROM: Planning Board
DATE: April 19, 2023
SUBJECT: Petition Review for McCready – 14 Coombs Street

At their Thursday, April 18, 2023, meeting, the Planning Board reviewed the above referenced Petition for Hearing from the Board of Appeals. The Board had no comments regarding this petition.



Town of Lakeville
Board of Health
241 Main Street
Lakeville, MA 02347

Board of Health
(508) 946-3473
(508) 946-8805
(508) 946-3971 fax

April 10, 2023

Town of Lakeville
Zoning Board of Appeals
Attn: John Olivieri, Chairman
346 Bedford Street
Lakeville, MA 02347

Re: 14 Coombs Street

Dear Chairman Olivieri:

We received a copy of the Petition for Hearing for 14 Coombs Street. The Board of Health has reviewed the septic as-built plan for 14 Coombs Street, which shows the existing septic components to be greater than 5 ft from the proposed shed. Therefore, the Board of Health has no objections to the proposed shed.

If you should have any further questions feel free to contact this office.

Sincerely
For the Board of Health

Edward Cullen
Health Agent

Petition to be filed with Town Clerk

TOWN OF LAKEVILLE MASSACHUSETTS

EXHIBIT "A" RECEIVED APR 4 2023 BOARD OF APPEALS

ZONING BOARD OF APPEALS PETITION FOR HEARING

Name of Petitioner: Chris McCready

Mailing Address: 14 Coombs st

Name of Property Owner: Chris Mccready

Location of Property: 14 Coombs st

Property is located in a residential business industrial (zone)

Registry of Deeds: Book No. 54362 Page No. 141

Map 59 Block 3 Lot 19

Petitioner is: owner tenant licensee prospective purchaser

Nature of Relief Sought:

10 Special Permit under Section (s) 19 of the Zoning Bylaws

Appeal from Decision of the Building Inspector/Zoning Enforcement Officer

Date of Denial

Brief to the Board: (See instructions on reverse side - use additional paper if necessary.)

I HEREBY REQUEST A HEARING BEFORE THE ZONING BOARD OF APPEALS WITH REFERENCE TO THE ABOVE PETITION OR APPEAL. ALL OF THE INFORMATION ON THIS PETITION, TO THE BEST OF MY KNOWLEDGE, IS COMPLETE AND ACCURATE AND CONFORMS TO THE REQUIREMENTS ON THE BACK OF THIS PETITION FORM.

Petitioner: Chris Mccready Date: 4/4/23

Signed: [Signature] Telephone: 7816909797

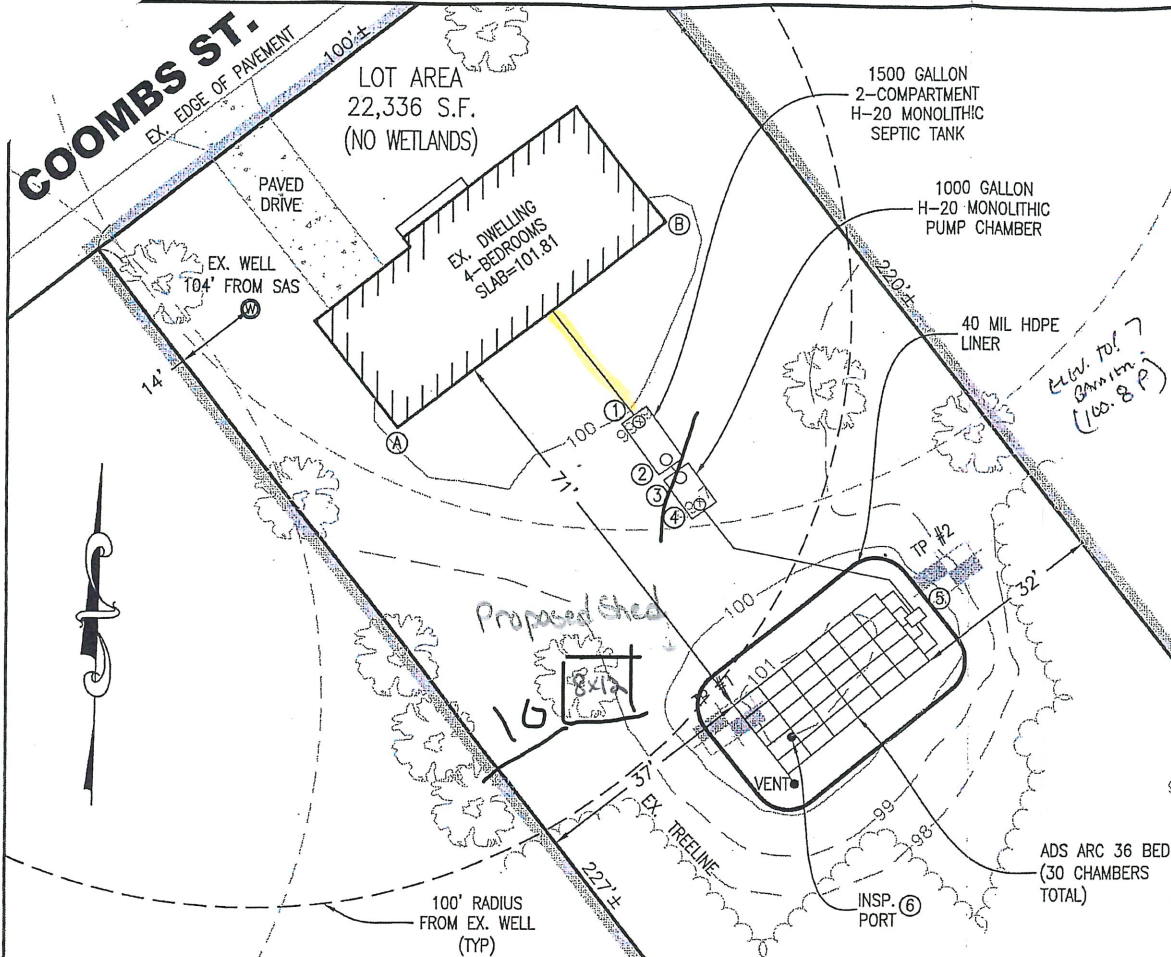
Owner Signature: (If not petitioner) Owner Telephone:

Email: Chris.mccready@comcast.net

WILL YOU HAVE A REPRESENTATIVE OTHER THAN YOURSELF?

Yes No

(Name and Title)

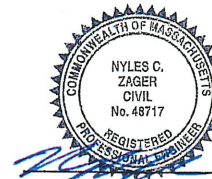


	DESCRIPTION	ELEVATION DESIGN	ELEVATION AS-BUILT	SWING TIE A	SWING TIE B	SWING TIE C
	TOP OF SLAB	101.81	101.81			
	4" INV. OUT OF HOUSE	98.0	98.00			
1	4" INV. AT SEPTIC TANK (IN)	97.80	97.70	40.3	33.7	
2	4" INV. AT SEPTIC TANK (OUT)	97.55	97.37	45.1	39.7	
3	4" INV. AT PUMP CHAMBER (IN)	97.45	97.19	47.9	42.8	
4	2" INV. AT PUMP CHAMBER (OUT)	97.20	97.00	52.0	47.5	
5	2" INV. AT D-BOX (IN)	100.50	100.50	91.8	78.0	
	4" INV. AT D-BOX (OUT)	100.33	100.33			
	4" INV INTO ARC CHAMBER	100.28	100.31			
	BOTTOM OF ARC CHAMBER	99.70	99.73			
6	INSPECTION PORT			83.0	87.7	
	GROUND WATER	95.5	95.5			

NOTES:

1. WATER PURIFICATION SYSTEM'S BACKWASH SHALL BE PROHIBITED FROM DISCHARGING INTO THE SEPTIC TANK AND SHALL DISCHARGE TO A DRYWELL OR TO THE GROUND IN ACCORDANCE WITH 310 CMR 15.004 (8). THE BACKWASH IS NOT TO BE DISCHARGED INTO OR IN THE DIRECTION OF THE SEPTIC SYSTEM.
2. THE SEPTIC SYSTEM OWNER SHALL HAVE THE SEPTIC TANK AND OUTLET FILTER INSPECTED ANNUALLY AND CLEANED AND PUMPED AS NECESSARY.
3. TOPOGRAPHIC INFORMATION SHOWN IS AS-BUILT TAKEN FROM A FIELD SURVEY BY ZENITH CONSULTING ENGINEERS, LLC IN NOVEMBER 2016.

I HEREBY CERTIFY THAT THE SUBSURFACE DISPOSAL SYSTEM HAS BEEN CONSTRUCTED IN COMPLIANCE WITH 310 CMR 15.000, THE APPROVED DESIGN PLANS AND ALL LOCAL REQUIREMENTS AND THAT ANY CHANGES TO THE DESIGN PLANS HAVE BEEN REFLECTED ON THE AS-BUILT WHICH IS HEREBY BEING SUBMITTED TO THE LAKEVILLE BOARD OF HEALTH.



NYLES ZAGER, P.E.

RECEIVED
NOV 21 2016
Board of Health
11-21-16
DATE

DESIGN CALCULATIONS:

LEACHING AREA PROVIDED: (4.8 S.F./FT.) X (150 FT.) = 720 S.F. > 446 S.F.
DAILY FLOW CAPACITY: 720 SF X 0.74 GPD/SF = 532 GPD > 330 GPD REQ'D

SHEET NAME: **SEPTIC SYSTEM AS-BUILT**

PROJECT SITE: **14 COOMBS STREET
LAKEVILLE, MASSACHUSETTS**

CLIENT INFO: **BEVERLY J PULLANO
14 COOMBS STREET
LAKEVILLE, MA 02347**

DRAWN BY: NCZ

DESIGNED BY: NCZ

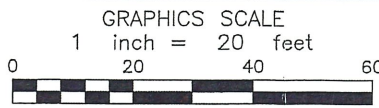
CHECKED BY: JLB

APPROVED BY: NCZ

DATE: 11-21-16

PROJECT NUMBER: 0107-12-01

SHEET ID: SEPTIC AS-BUILT



ZCE
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

NO INCREASE IN FLOW

FILE COPY

COOMBS ST.
EX. EDGE OF PAVEMENT

LOT AREA
22,336 S.F.
(NO WETLANDS)

1500 GALLON
2-COMPARTMENT
H-20 MONOLITHIC
SEPTIC TANK

1000 GALLON
H-20 MONOLITHIC
PUMP CHAMBER

40 MIL HDPE
LINER

*LEV. TO
BASELINE
(100.8 P)*

ADS ARC 36 BED
(30 CHAMBERS
TOTAL)

PAVED
DRIVE

EX. WELL
104' FROM SAS

EX. DWELLING
4-BEDROOMS
SLAB=101.81

14'

100'±

71'

100'

32'

15'

100' RADIUS
FROM EX. WELL
(TYP)

INSP. PORT

100'

99'

98'

227'±

EX. TREELINE

TP #2

VENT

101'

71'

100'

100'

100'

100'

100'

100'



DESCRIPTION	ELEVATION DESIGN	ELEVATION AS-BUILT	SWING TIE A	SWING TIE B	SWING TIE C
TOP OF SLAB	101.81	101.81			
4" INV. OUT OF HOUSE	98.0	98.00			
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4" INV INTO ARC CHAMBER	100.28	100.31			
BOTTOM OF ARC CHAMBER	99.70	99.73			
6 INSPECTION PORT			83.0	87.7	
GROUND WATER	95.5	95.5			

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 2. THE SEPTIC SYSTEM OWNER SHALL HAVE THE SEPTIC TANK AND OUTLET FILTER INSPECTED ANNUALLY AND CLEANED AND PUMPED AS NECESSARY.
 3. TOPOGRAPHIC INFORMATION SHOWN IS AS-BUILT TAKEN FROM A FIELD SURVEY BY ZENITH CONSULTING ENGINEERS, LLC IN NOVEMBER 2016.

I HEREBY CERTIFY THAT THE SUBSURFACE DISPOSAL SYSTEM HAS BEEN CONSTRUCTED IN COMPLIANCE WITH 310 CMR 15.000, THE APPROVED DESIGN PLANS AND ALL LOCAL REQUIREMENTS AND THAT ANY CHANGES TO THE DESIGN PLANS HAVE BEEN REFLECTED ON THE AS-BUILT WHICH IS HEREBY BEING SUBMITTED TO THE LAKEVILLE BOARD OF HEALTH.



NYLES ZAGER, P.E.

NO INCREASE
IN FLOW
RECEIVED
NOV 21 2016
Board of Health.

11-21-16

DATE

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DAILY FLOW CAPACITY: 720 SF X 0.74 GPD/SF = 532 GPD > 330 GPD REQ'D

SHEET NAME: **SEPTIC SYSTEM AS-BUILT**

PROJECT SITE: **14 COOMBS STREET
LAKEVILLE, MASSACHUSETTS**

CLIENT INFO: **BEVERLY J PULLANO
14 COOMBS STREET
LAKEVILLE, MA 02347**

DRAWN BY: NCZ

DESIGNED BY: NCZ

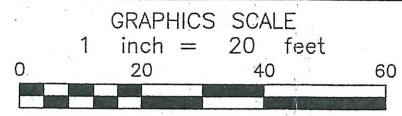
CHECKED BY: JLB

APPROVED BY: NCZ

DATE: 11-21-16

PROJECT NUMBER: 0107-12-01

SHEET ID: SEPTIC AS-BUILT



ZCE
ZENITH CONSULTING ENGINEERS, LLC
3 MAIN STREET LAKEVILLE, MA 02347
PHONE: (508) 947-4208

NO INCREASE
IN FLOW

FILE COPY